



City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT

December 21, 2017

Mr. Paul Pellicani
Otak, Inc.
51 West Third Street, Suite 201
Tempe, Arizona 85281

**Re: Minor Amendment of Jackson Street Entertainment District PUD (Z-78-08-8)
Irregular shaped area at the southwest corner of Fourth Street and Jackson
Street**

Dear Mr. Pellicani,

I have had the opportunity to review your request for a Minor Amendment to the Jackson Street Entertainment District PUD (Ord. G-5417) that you submitted on behalf of Ballpark Apartments. Section 671 Planned Unit Development of the Phoenix Zoning Ordinance, states that amendments not meeting the criteria for a major amendment shall be deemed to be a minor amendment and may be administratively approved by the Planning and Development Director.

Specifically, you have requested the following minor amendment changes to the existing PUD, with the red font indicating modifications of language from the previous version, described as follows:

1. Replace the Block 11 and Block 12 sections within the Land Use Plan (Section B, pg. 4) with revised language.

Block 11

This block is designed to accommodate a variety of uses including commercial, retail, hotel, office, and residential uses. A higher-end ~~boutique hotel and~~ residential project is envisioned for the ~~north half of the block~~. ~~Slightly larger than the Block 8 hotel, but still vastly smaller than the convention hotels, this hotel will include a full-service spa and wellness center. Multiple A-rooftop pool and garden areas along with a variety of dining options will also~~ be incorporated.

The southern portion of Block 11 will ~~provide a large and varied quantity of retail include~~ the preservation and adaptation of two (2) structures with Historic Preservation zoning on them - the El Fresnal Grocery Store and the Gerardo's

Building. The location of new structures combined with the existing historic buildings, will create a great outdoor courtyard and opportunities for patio dining.

Block 12

*This block is design~~ated~~ to accommodate a variety of uses including commercial, retail, hotel, office, and residential uses. The design envisions **a vibrant and active residential community street-level retail** surrounding **two large covered** courtyard spaces, ~~Two (2) office structures will rise from atop the retail creating the greatest concentration of office and retail space within the PUD, providing a safe and engaged environment for residents, their families, and their guests.~~*

2. Replace the language within the General Plan and Downtown Plan Conformance (Section D, pg. 10) with revised language.

Policy 3-6 - Character Area, Light Rail Corridor

Emphasis should be on ground-floor active uses such as retail and restaurants, and in minimizing the use of blank walls to increase visual connectivity between businesses, pedestrians and transit riders.

*The PUD addresses this policy by mandating active ground-floor uses, such as retail and restaurants. Outdoor dining is also allowed by right within the PUD, further fostering an active pedestrian environment and visual connectivity. **Residential units are forbidden at ground level. Residential units at ground level shall provide pedestrian access to all manner of amenities and activities in and beyond the boundaries of the PUD.** Although a theater may be incorporated into the project, the actual screen rooms would be pushed back from the street, and/or placed above street level retail. The design guidelines also incorporate stringent anti-blank wall standards.*

3. Modify the List of Uses related to permitted uses for residential uses (Section F, pg. 16) with the following changes.

A. Residential Uses

1. Multi-family Dwelling, ~~2nd story and above ground level and above~~

4. Replace the language in the Occupiable Rooftops Development Standards (Section G, pg. 21) with revised language, to only apply to Block 11 and Block 12.

*There will be an open space pool area in both phases of the project. Northern courtyard amenities will include a ~~pool, covered open air ramada with barbeques, spa, fire-pit and/or outdoor fireplace,~~ with **extensive** seating areas, and two passive recreational areas. The north half will also accommodate a clubhouse with a social gathering area and a fitness center **in the historic building at the occupiable rooftop area.** Southern courtyard podiums will feature ~~a covered an open~~ ramada with*

barbeques, spa or a small pool (spool), fire-pit, and/or outdoor fireplace and on-deck landscaping.

Minimum 10% of new rooftop area per block shall be occupiable or "green". In developments consisting of multiple buildings, overall occupiable or "green" roof areas can be combined into only one building's rooftop area. This applies only to Block 11 and Block 12.

5. Modify the Division of Land Uses (Section G, pg. 21) applicable to ground floor with revised language.

Ground Floor: No residential units allowed within Blocks 6, 7 & 8. Residential units allowed with pedestrian street access only within Blocks 11 & 12.

6. Replace the Parking Garage Screening (Section G, pg. 29) with the following revised language.

100% wrapped with occupiable space, exclusive of ingress/egress and emergency exits. Within Blocks 11 and Block 12 only, parking garage screening can also include an exterior wall or façade matching those of occupiable space above, so as to appear contiguous.

7. Modify the Off Street Loading (Section G, pg. 30 and pg. 31) with the following revised language.

Two standard (10 feet x 30 feet) loading bays-spaces will be provided within the parking structures-at the street, one for the northern phase and one for the southern phase of Block 11 and 12.

<i>Block #</i>	<i>Minimum Number of Spaces</i>
<i>6/7</i>	<i>4</i>
<i>8</i>	<i>2</i>
<i>11</i>	<i>2 1</i>
<i>12</i>	<i>2 1</i>

8. Replace the Ground Floor Street Front Transparency Design Guidelines (Section H, pg. 37) with the following revised language.

In lieu of 50% of the ground floor street front facade being developed as transparent, the-residential street fronts will have private patios with metal railings, and individual sidewalk connections where possible. The patios will have canopy covers and ample fenestration directed toward the street front, consistent with the remaining façade fenestration.

9. Add the following language to the Courtyard Design Guidelines section regarding Visual and Physical Access (Section G, pg. 38).

Courtyards within residential developments will be permitted to be controlled for resident safety and security. Residential courtyards will be required to maintain a visual connection to the public right-of-way, unless completely enclosed by structure.

10. Replace the Paving Materials/Design section regarding Parking Areas and Access Drives (Section G, pg.40) with the following revised language.

Shall be paved with permeable concrete or interlocking pavers with a minimum open area of 12% and a minimum SRI of 35.

Alleys used for parking ingress and egress only, not as a public access lane, will be exempt from this requirement.

Upon review of this material and through consultation with other Planning and Development staff, I have determined that this request is a reasonable modification to the existing PUD ordinance and I therefore approve the amendment described herein.

If you have any questions or need further assistance, I can be reached at 602-262-6656 or alan.stephenson@phoenix.gov.

Sincerely,



Alan Stephenson
Planning and Development Director

Attachments:

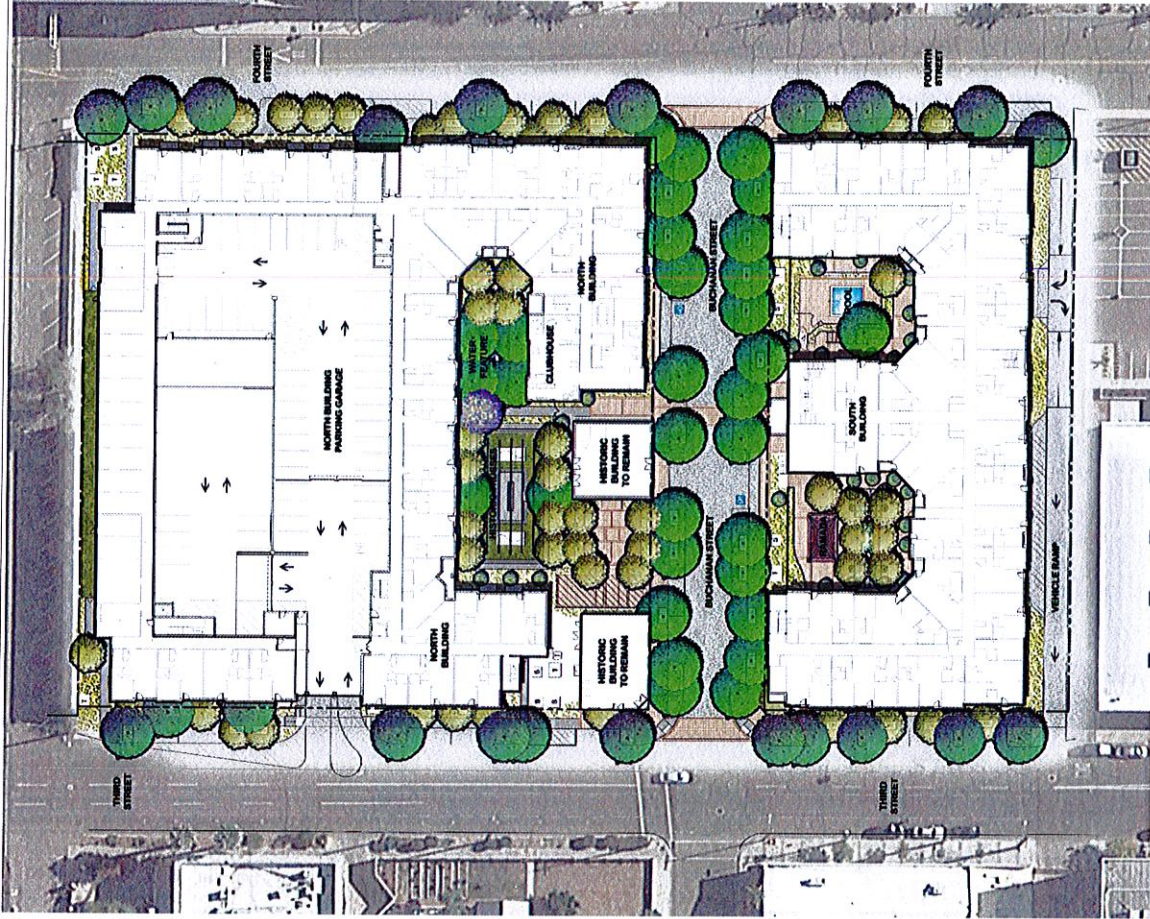
Proposed Changes to PUD narrative, date stamped November 22, 2017
Conceptual Site Plan, date stamped November 22, 2017
Conceptual Elevations, date stamped November 22, 2017

cc: Z-78-08-8 file

CITY OF PHOENIX

NOV 22 2017

Planning & Development
Department



SHADING CALCULATION
 18.4% OF SURFACE IN P.O.W.
 18.4% OF SURFACE IN P.O.W.
 18.4% OF SURFACE IN P.O.W.
 18.4% OF SURFACE IN P.O.W.
 18.4% OF SURFACE IN P.O.W.
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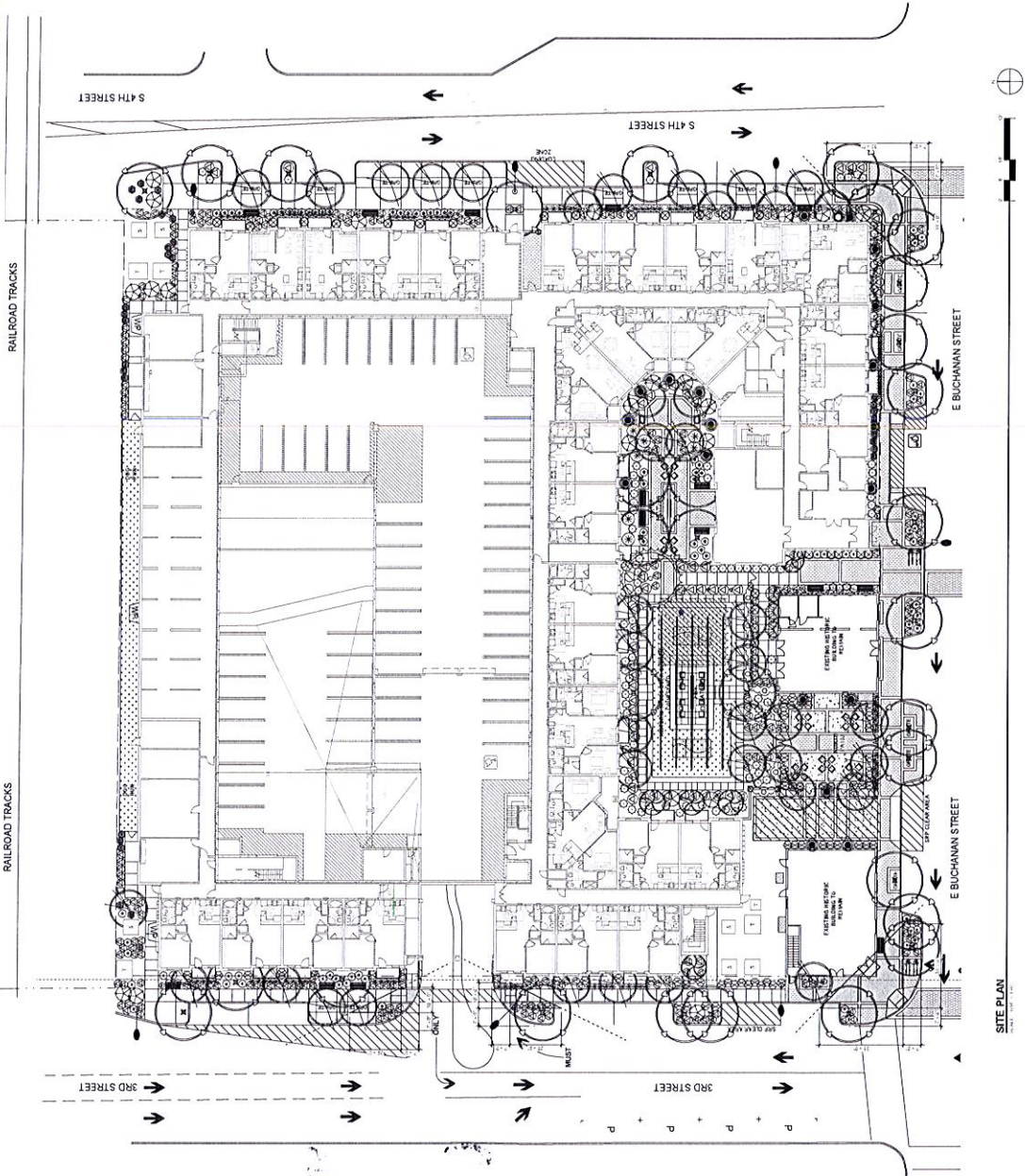


Phoenix Ballpark
Residences, LLC

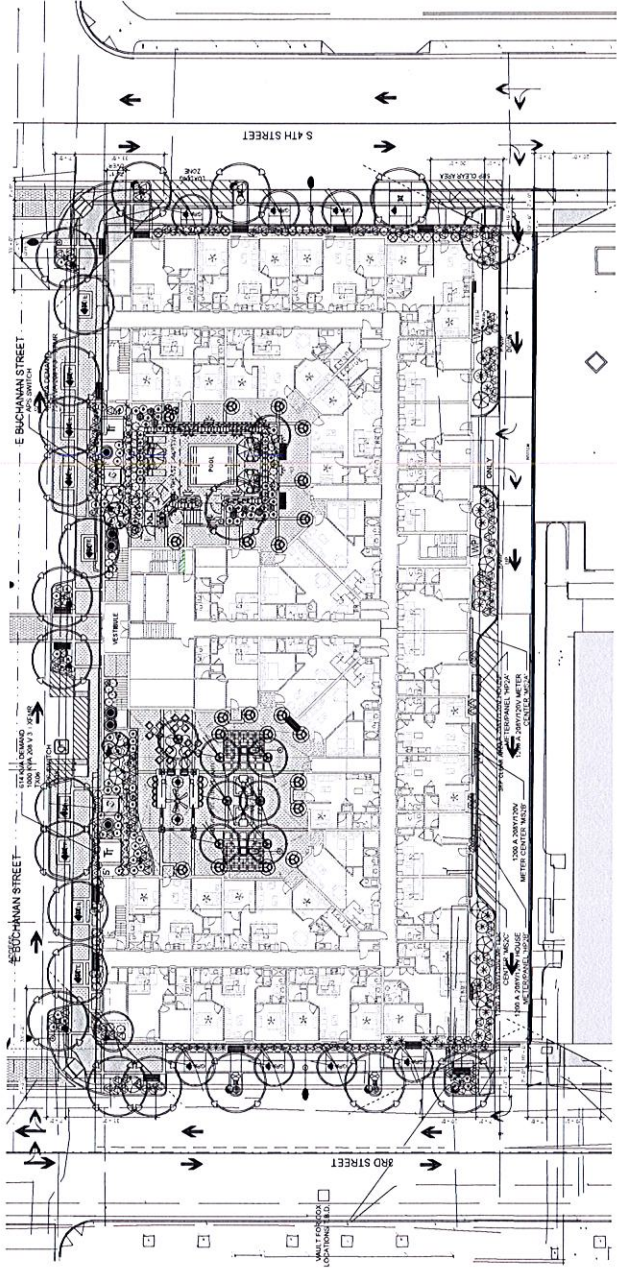
Overall Site Plan

EX-1.0

Phoenix Ballpark
Residences, LLC



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SITE PLAN

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NOV 22 2017

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Department**

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Planning & Development Department



SHADING CALCULATION
SOUTH BUILDING WEST COURTYARD
 SHADING BY TREES:
 * 45 SQ. TOTAL SHADE COVERAGE
 * 20% OF 50% REQUIRED PER P.U.D.
 * 11.25% TOTAL SHADE COVERAGE
SOUTH BUILDING EAST COURTYARD
 SHADING BY TREES:
 * 45 SQ. TOTAL SHADE COVERAGE
 * 20% OF 50% REQUIRED PER P.U.D.
 * 11.25% TOTAL SHADE COVERAGE

SITE PLAN



Phoenix Ballpark
Residences, LLC.

South Bldg Site Plan Illustrative Rendering

Ballpark Phoenix Apartments 201 E Buchanan Street Phoenix, AZ 85004
 Phoenix, AZ

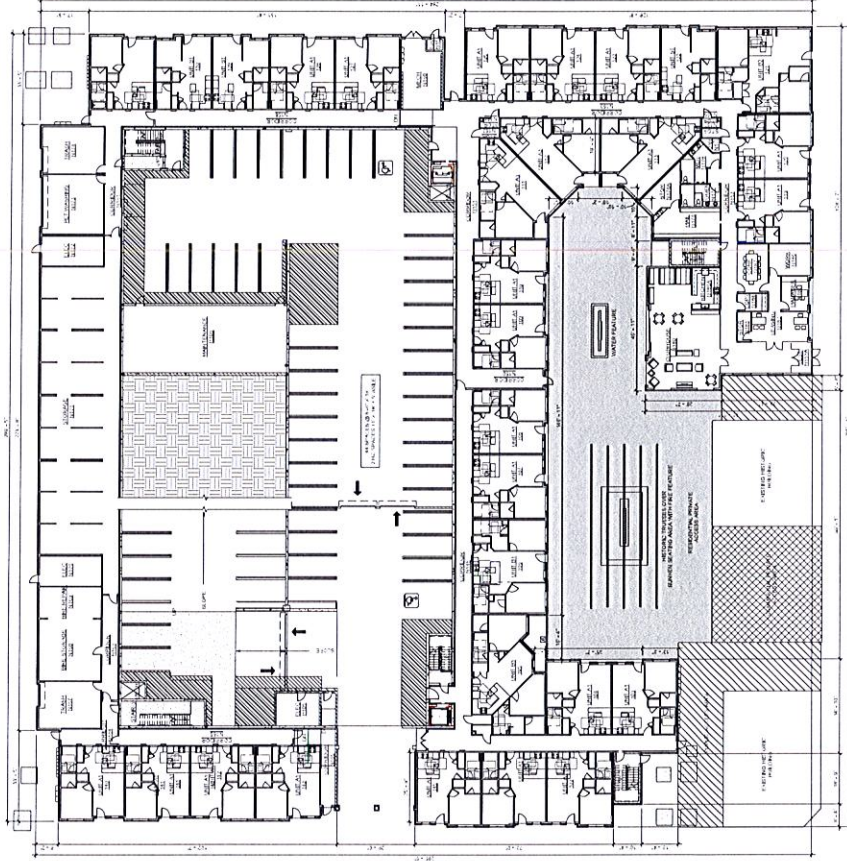
EX-1.4



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NORTH BUILDING - LEVEL 1



Phoenix Ballpark
Residences, LLC.

North Building - Level 1

Ballpark Phoenix Architecture 307 E Broadway Street Phoenix, AZ 85004
Created: 11/22/17

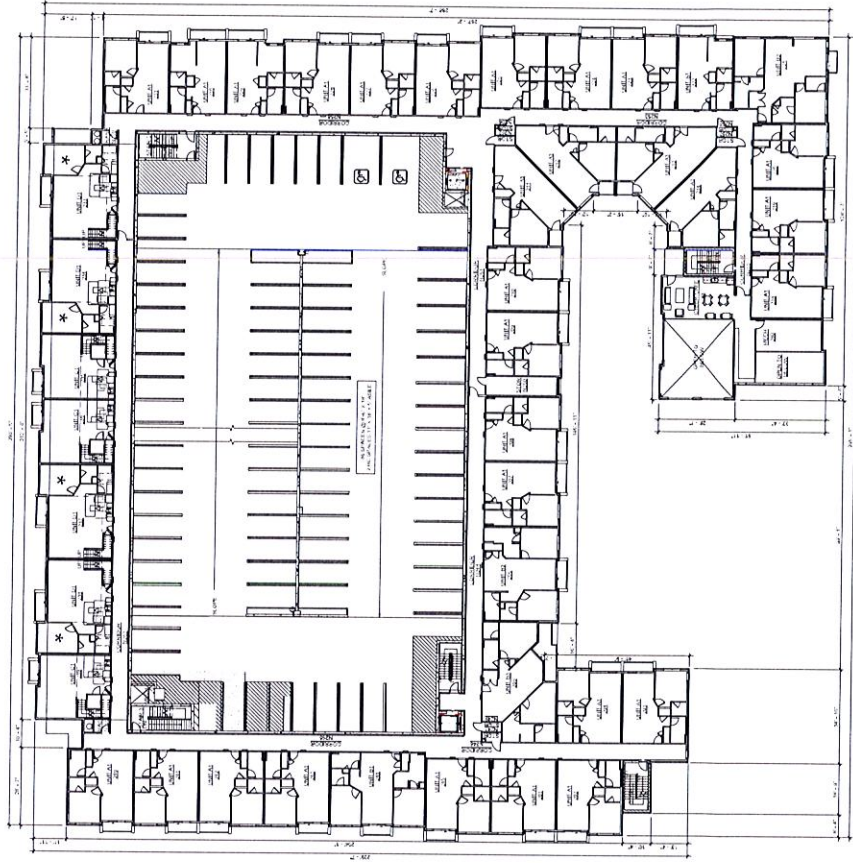
EX-2.0



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NORTH BUILDING - LEVEL 2

Phoenix Balpark
Residences, LLC.

North Building - Level 2

Phoenix Balpark Residences, LLC
205 E. Exchange Street, Phoenix, AZ 85004

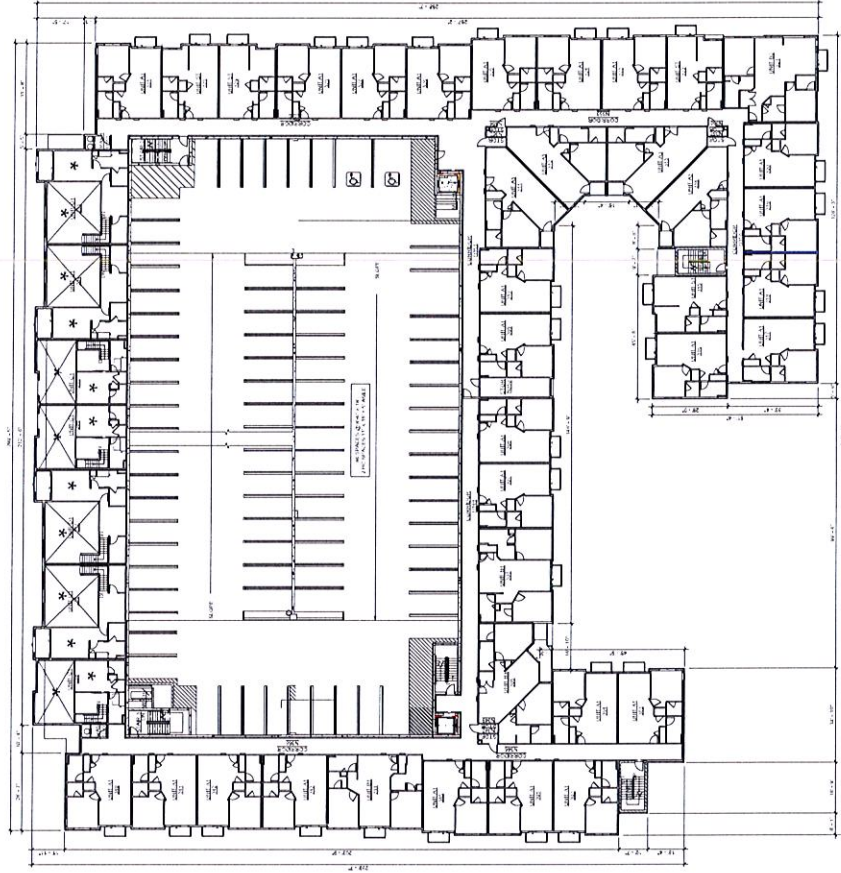
EX-2.1



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NORTH BUILDING - LEVEL 3

Phoenix Ballpark
Residences, LLC.

North Building - Level 3

Submittal Floor Assignments 301 E. Evans Street Phoenix, AZ 85009
March 11, 2017

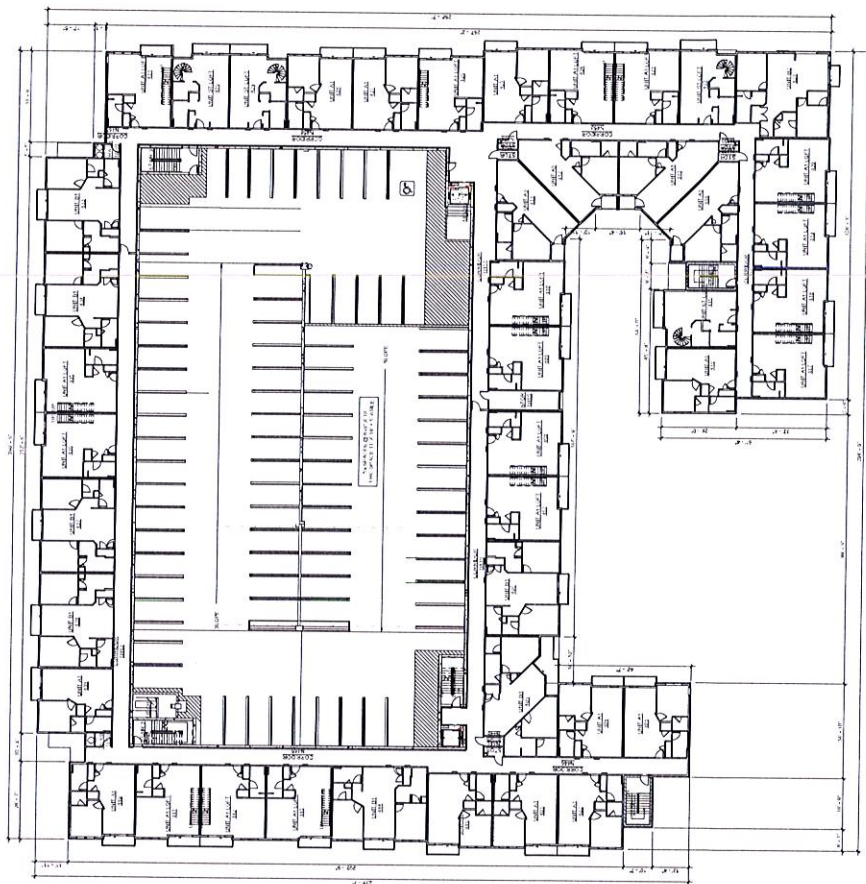
EX-2.2



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NORTH BUILDING - LEVEL 4

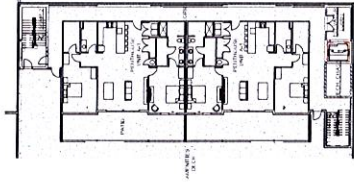
Phoenix Balpark
Residences, LLC.

North Building - Level 4

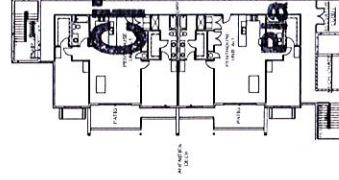
Phoenix Balpark Apartments, 505 E. Eastman Street, Phoenix, AZ 85004

EX-2.3

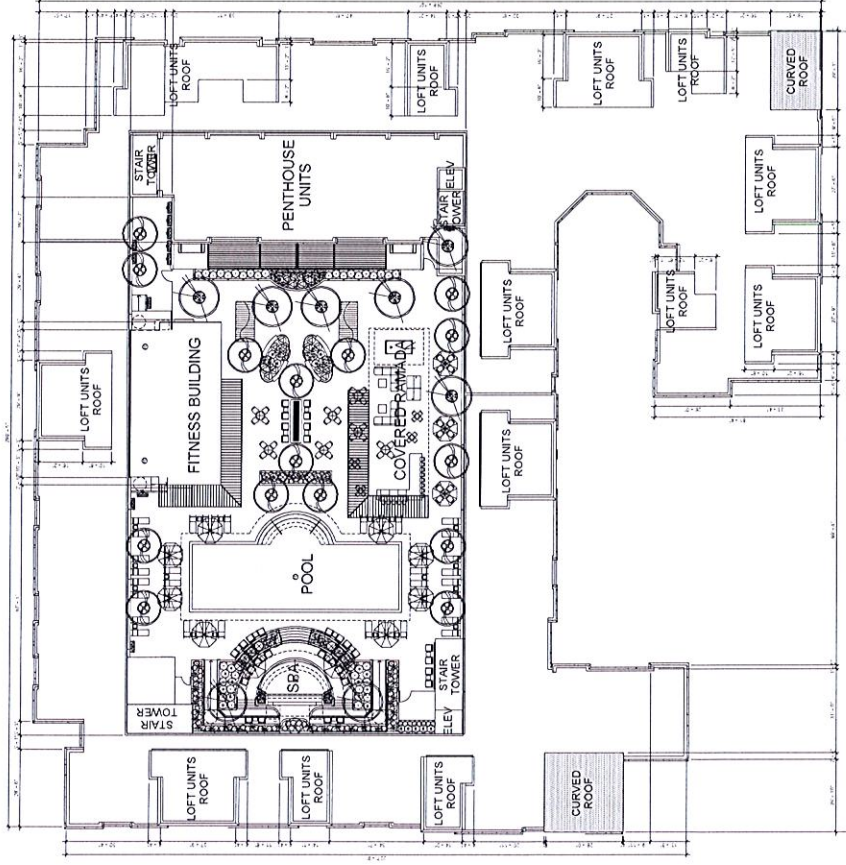




NORTH BUILDING - LEVEL 5 PENTHOUSE UNITS - PUD



NORTH BUILDING - LEVEL 6 PENTHOUSE UNITS - PUD



NORTH BUILDING - ROOFTOP AMENITIES DECK - PUD



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NOV 22 2017

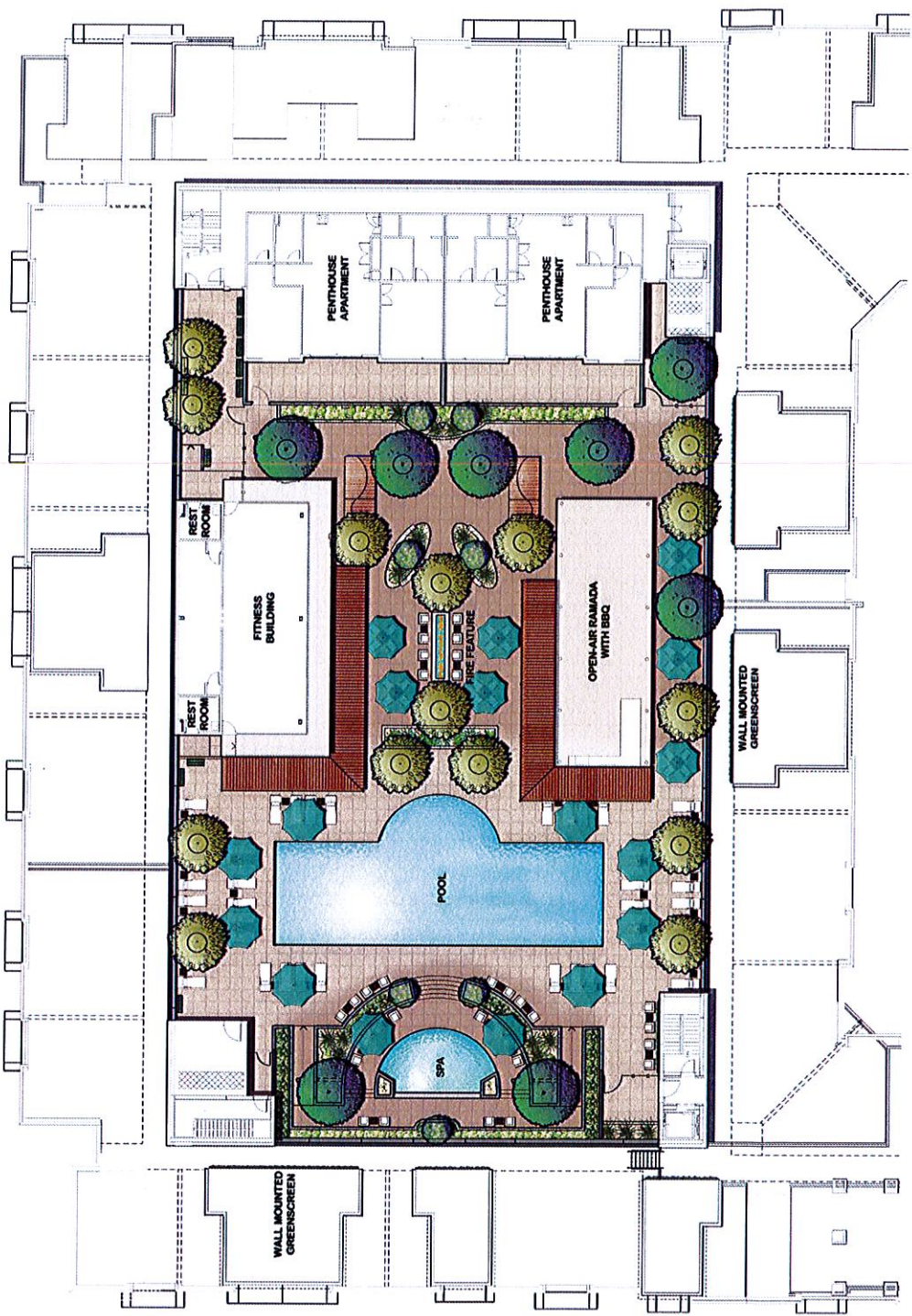
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Department**



EX-2.4

North Building - Roof Deck

Phoenix Ballpark
Residences, LLC.



SHADING CALCULATION

1% MIN OF CALCULABLE AREA ON ROOF
 CALCULABLE DECK
 1,115 SF OF AREA
 SHADING BY TREES
 7,240 SF OF AREA
 SHADING BY TREES & STRUCTURES
 7,240 SF OF AREA
 TOTAL SHADE COVERAGE
 14,480 SF OF AREA
 12.9% OF TOTAL DECK AREA (114,720 SF)

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 City of Phoenix
 Planning & Development Department
 170 North Central Avenue
 Phoenix, AZ 85004
 Phone: 602.507.7620

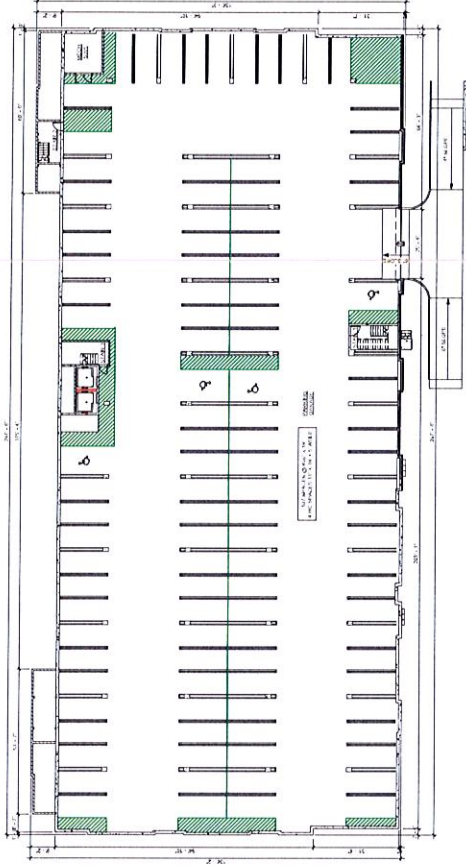
NOV 22 2017

EX-2.5

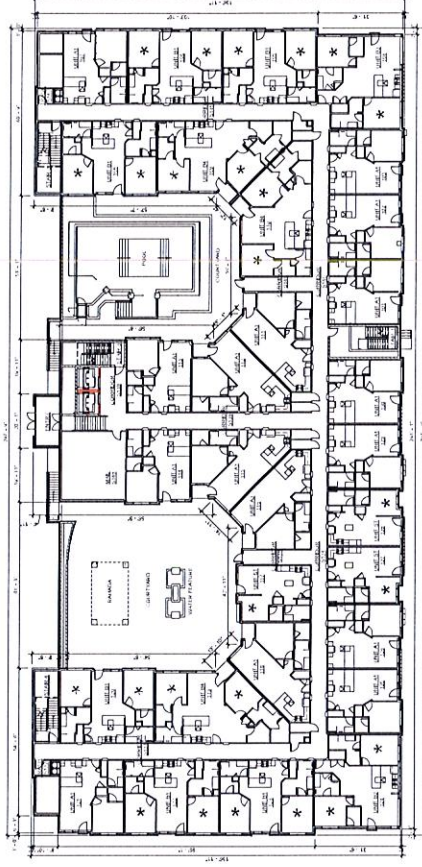
Amenity Deck Illustrative Rendering

Phoenix Ballpark
 Residences, LLC.

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SOUTH BUILDING - Level GARAGE - PUD



SOUTH BUILDING - Level 1 - PUD

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Department

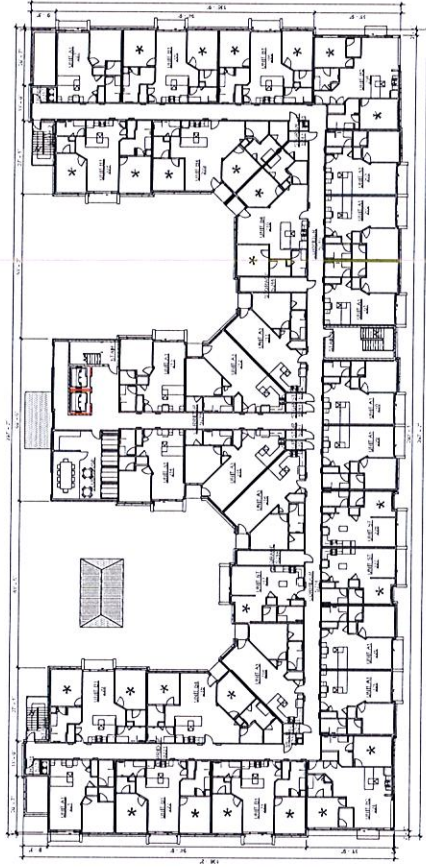


South Building - Parking Garage & Level 1

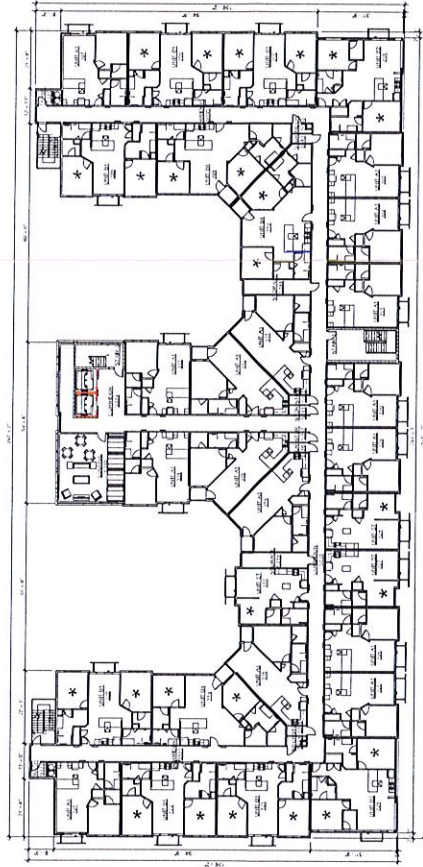
Phoenix, Arizona - Phoenix, AZ 85003

EX-3.0

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Residences, LLC.



SOUTH BUILDING - Level 2 - PUD



SOUTH BUILDING - Level 3 - PUD



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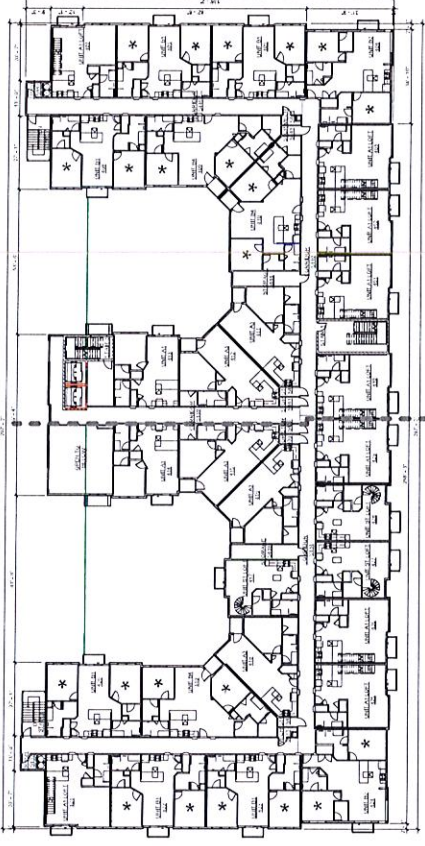
Phoenix Ballpark
Residences, LLC.

South Building - Levels 2 & 3

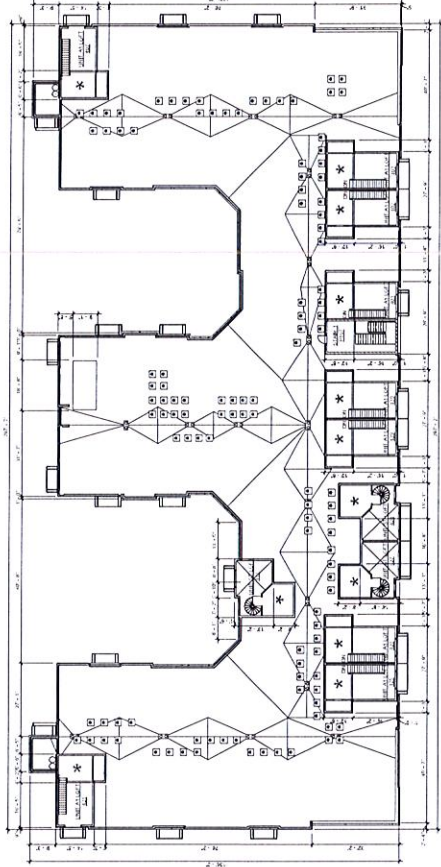
Ballpark Plaza Apartments, 307 E. Broadway Street Phoenix, AZ 85004
March 1, 2017

EX-3.1





SOUTH BUILDING - Level 4 - PUD



SOUTH BUILDING - Level Roof - PUD



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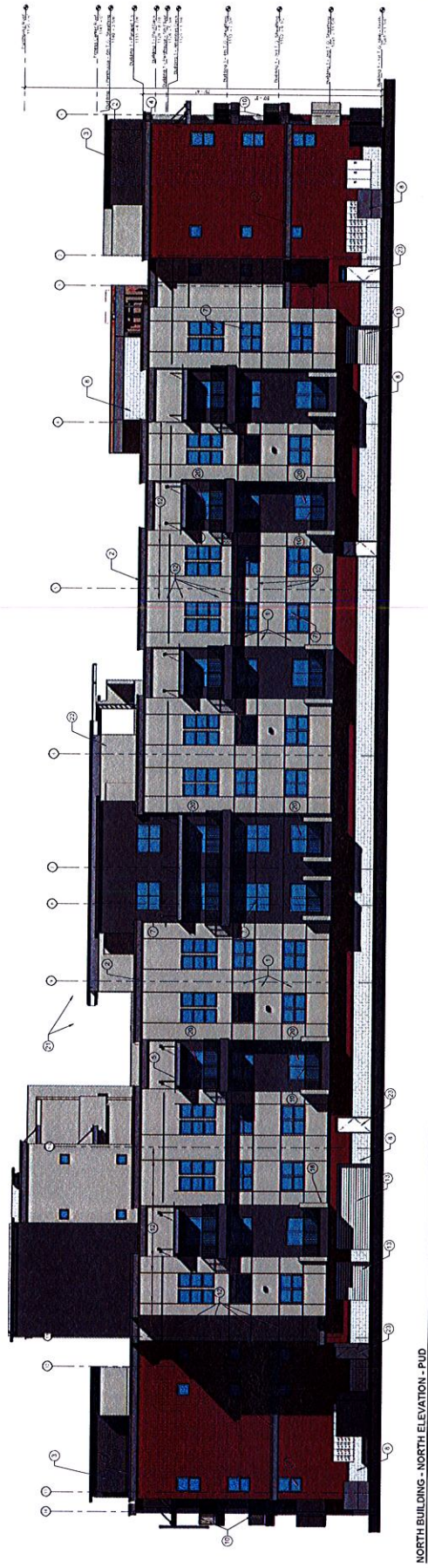
Phoenix Ballpark
Residences, LLC.

South Building - Level 4 & Roof

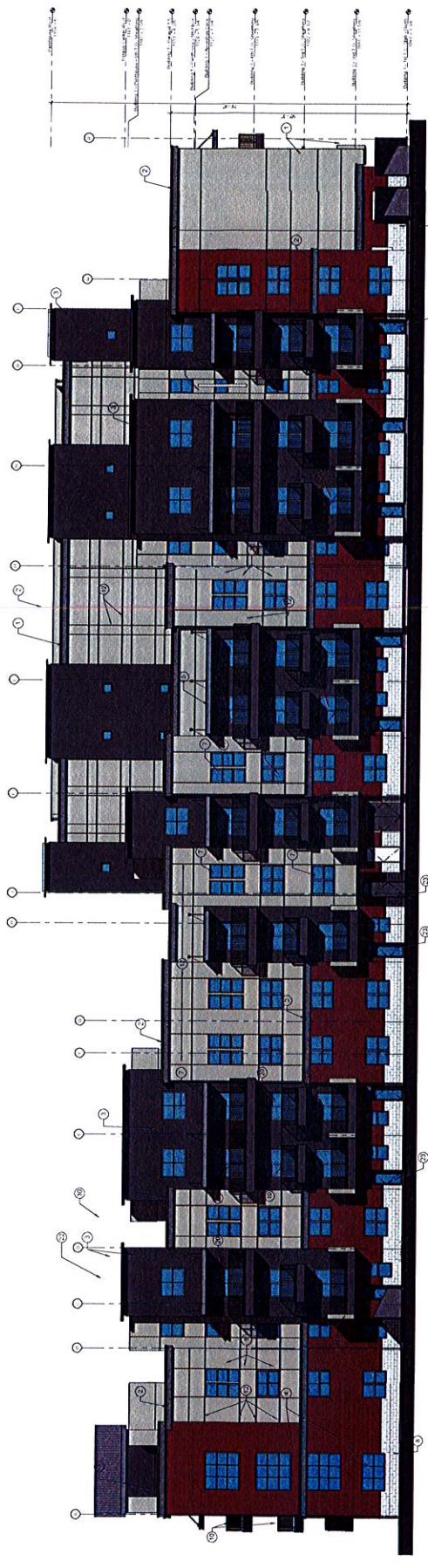
Ballpark Phoenix Apartments 302 E Broadway Street Phoenix, AZ 85004

EX-3.2





NORTH BUILDING - NORTH ELEVATION - PID



NORTH BUILDING - EAST ELEVATION - PID

North Building - Elevations

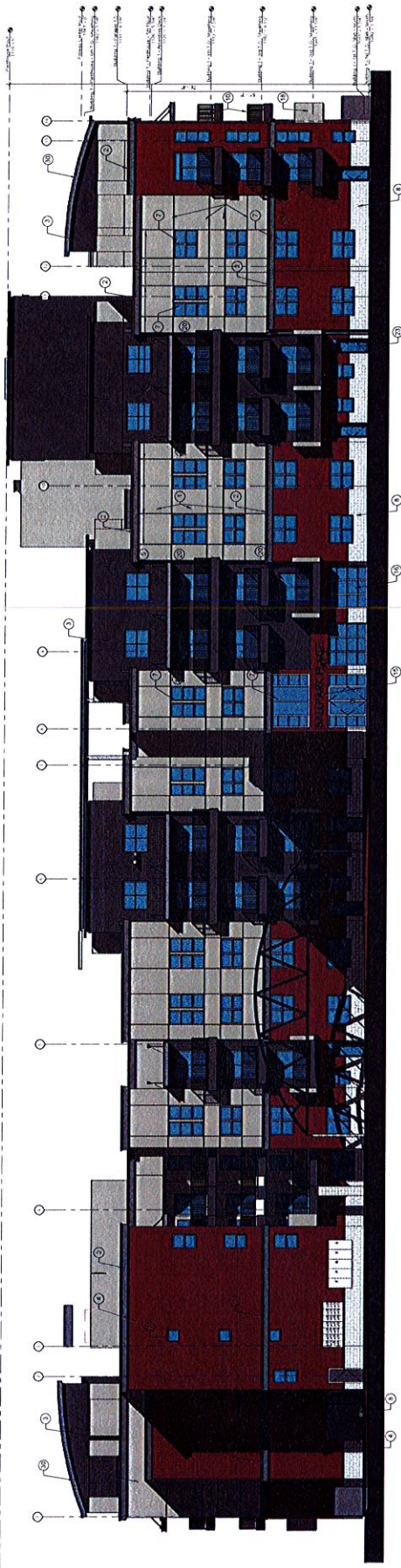
Phoenix Ballpark
Residences, LLC.

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City of Phoenix
City Engineering
City Planning
City Public Works
City Transportation

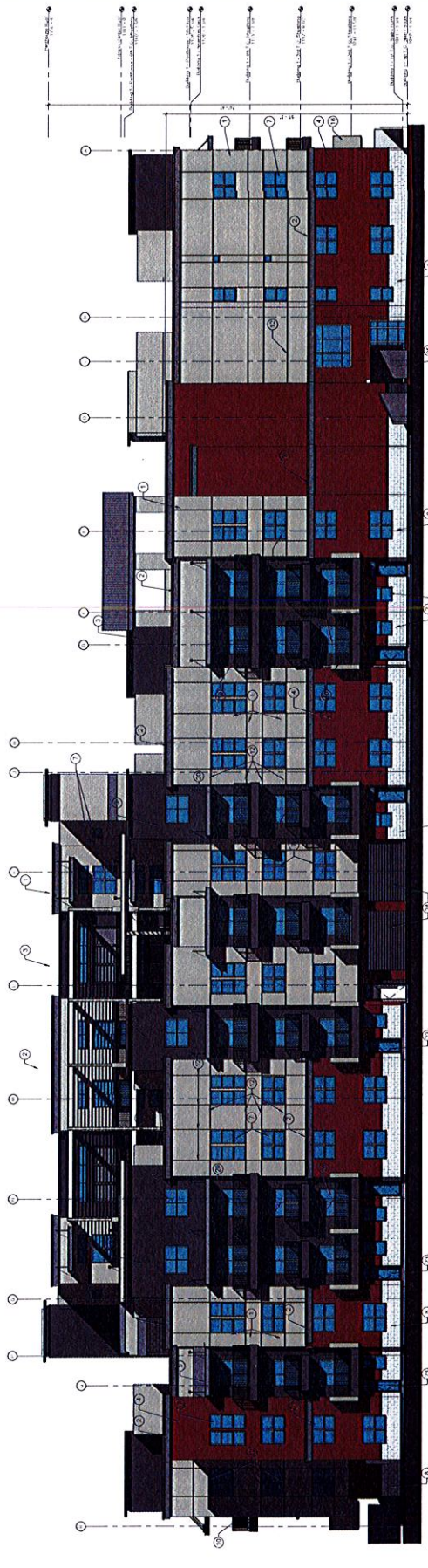
EX-4.0

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NORTH BUILDING - SOUTH ELEVATION - PUD



NORTH BUILDING - WEST ELEVATION - PUD

Phoenix Ballpark
Residences, LLC.

North Building - Elevations

EX-4.1

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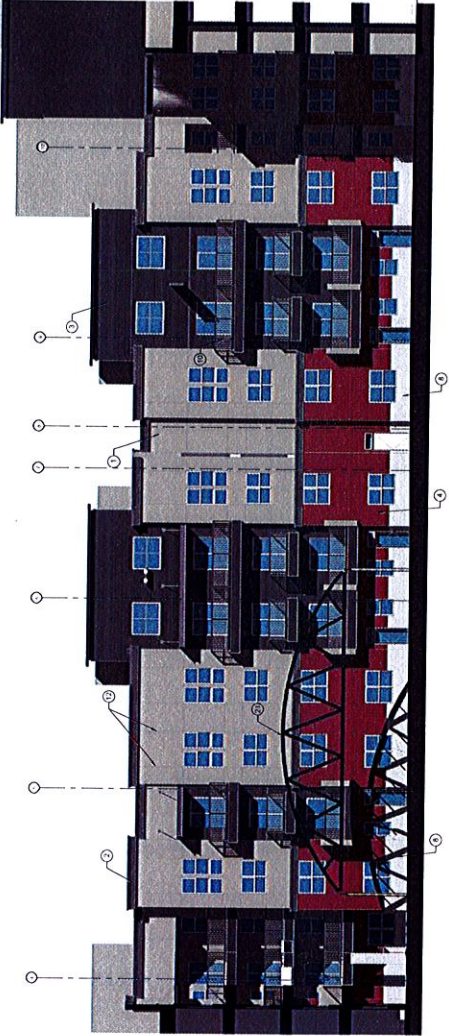


Planning & Development
Department

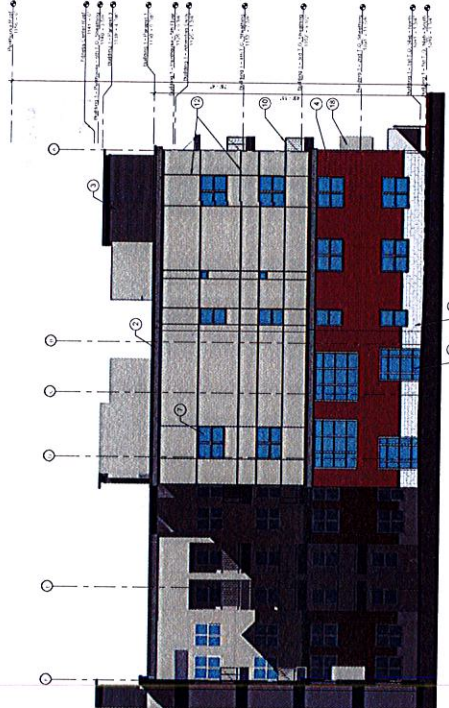
Phoenix Ballpark Residences LLC E-Designation Sheet Phoenix, AZ 2014

Phone: 480.263.5970

City.com



NORTH BUILDING - SOUTH COURTYARD ELEVATION - PUD

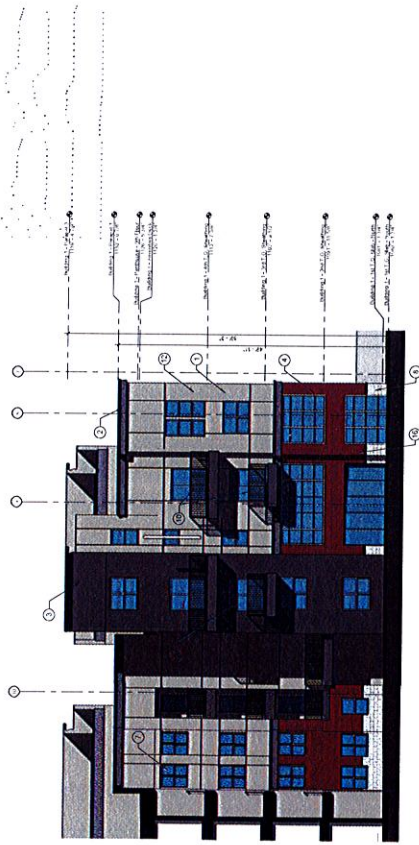


NORTH BUILDING - WEST COURTYARD ELEVATION - PUD

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NOV 22 2017

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NORTH BUILDING - NORTH COURTYARD ELEVATION - PUD

ELEVATION KEY NOTE LEGEND

- | | |
|--|--|
| <ol style="list-style-type: none"> 1. EXTERIOR STUCCO SYSTEM TYP. - REFER TO ASSEMBLIES 2. PARAPET CAP TYP. REFER TO DETAILS 3. STANDARD BRICK VENEER TYP. - REFER TO ASSEMBLIES 4. METAL CANOPY TYP. REFER TO DETAILS 5. WINDOW - WHITE FRAME TYP. 6. PAINTED METAL PANEL SYSTEM TYP. REFER TO ASSEMBLIES 7. HIGH METAL BALCONY RAILING TYP. REFER TO DETAILS 8. STUCCO CONTROL JOINT TYP. 9. PAINTED METAL ROLL-UP DOOR TYP. 10. ALUMINUM STOREFRONT WINDOW SYSTEM TYP. REFER TO DETAILS 11. PRECAST CONCRETE PANEL TYP. 12. MECHANICAL WELL BEYOND LOCATION OF ROOF-MOUNTED MECHANICAL SLIDING DOOR TYP. REFER TO DETAILS 13. RECLAIM TRUSSES TYP. | <ol style="list-style-type: none"> 22. MENITY ROOM SCOMB TYP. 23. PATIO ENTRY DOORS TYP. 24. METAL PANEL STAIRS - REFER TO PLAN/SECTION 25. INTERIOR WALLS - FINISH WITH G. DRAWINGS 26. INTERIOR WALLS - FINISH WITH G. DRAWINGS 27. CONCRETE BEAM - REFER TO STRUCTURAL DRAWINGS 28. LIGHT GAUGE CHANNEL FASCIA - REFER TO DETAILS 29. CEILING FAN - REFER TO MECHANICAL DRAWINGS 30. COLUMNS SUPPORT SYSTEM - REFER TO STRUCTURAL DRAWINGS 31. INTERIOR - REFER TO INSULATION SCHEDULE THIS SHEET. 32. ROOFING SYSTEM - REFER TO STRUCTURAL DRAWINGS AND DETAILS 33. CONCRETE BALCONY - REFER TO STRUCTURAL DRAWINGS 34. TRANSFORMER - REFER TO SITE PLAN AND ELECTRICAL DRAWINGS 35. MECHANICAL WELL BEYOND LOCATION OF ROOF-MOUNTED MECHANICAL SLIDING DOOR TYP. REFER TO DETAILS 36. ARTISTIC METAL IN-LAY PANEL @ SITE UTILITY EQUIPMENT |
|--|--|

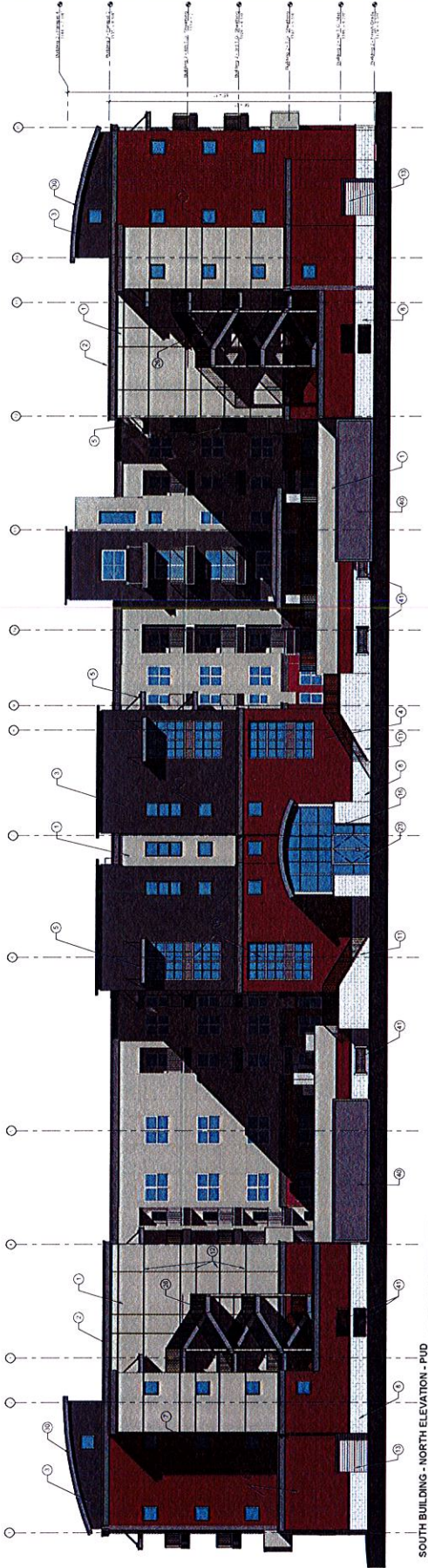
Phoenix Ballpark Residences, LLC.

North Building - Elevations

Ballpark Plaza Apartments, 301 E. Broadway Street Phoenix, AZ 85004
 August 2017

EX-4.2



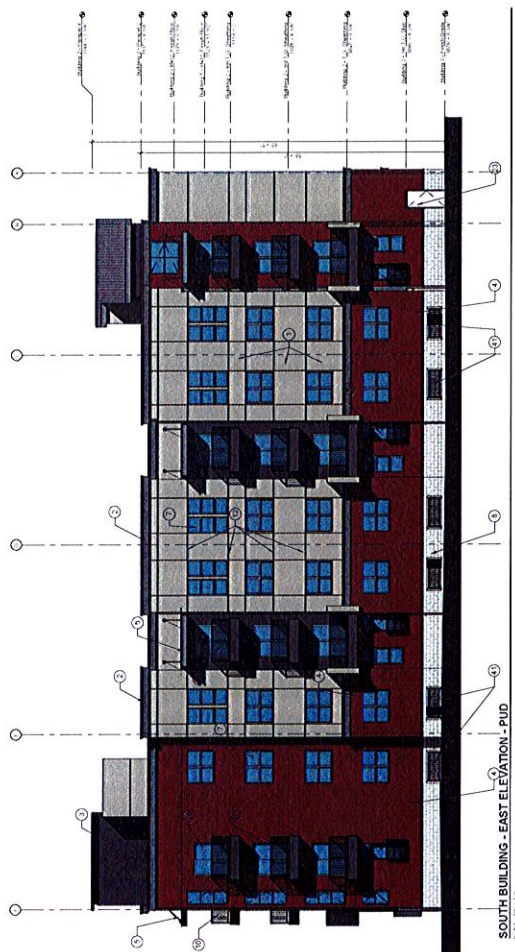


SOUTH BUILDING - NORTH ELEVATION - PUD

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SOUTH BUILDING - EAST ELEVATION - PUD

ELEVATION KEY NOTE LEGEND

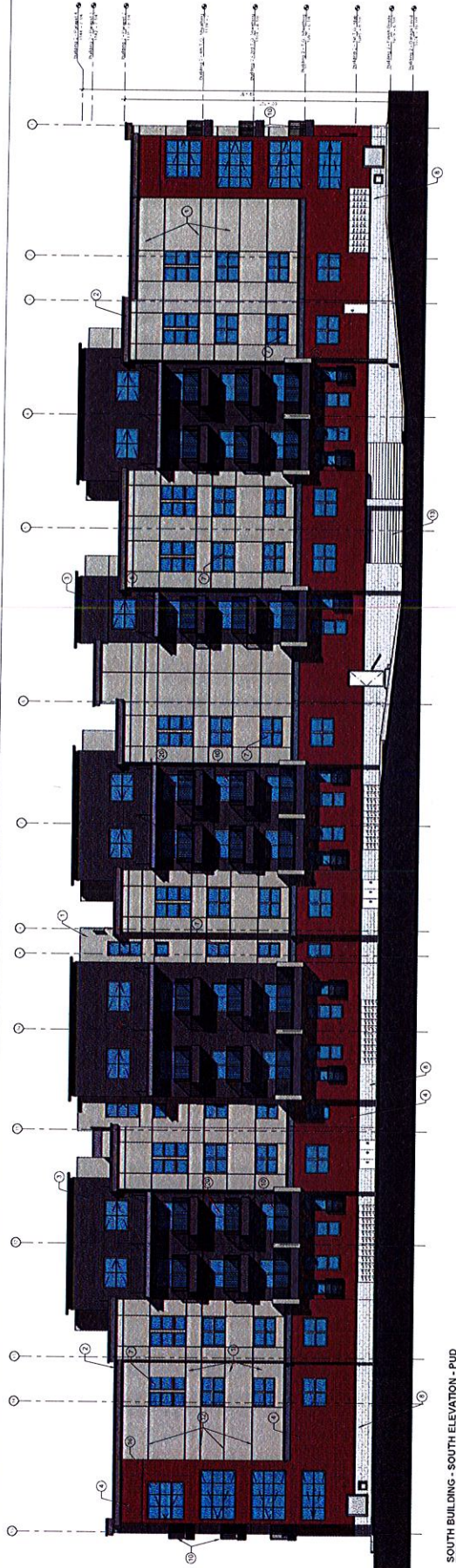
1. EXTERIOR STAIRS SYSTEM TYP. REFER TO ASSEMBLIES.
2. CORRUGATED METAL PANEL TYP. REFER TO ASSEMBLIES.
3. PARAPET CAP TYP. REFER TO DETAILS.
4. METAL PANEL TYP. REFER TO ASSEMBLIES.
5. METAL CANOPY TYP. REFER TO DETAILS.
6. METAL DAILING TYP. REFER TO DETAILS.
7. CHIMNEY TYP. REFER TO ASSEMBLIES.
8. CHIMNEY TYP. REFER TO ASSEMBLIES.
9. UNFINISHED METAL PANEL SYSTEM TYP. REFER TO ASSEMBLIES.
10. CONCRETE STAIRS / RAMP TYP.
11. PAINTED METAL ROLLUP DOOR TYP.
12. PAINTED METAL ROLLUP DOOR TYP.
13. BUILDING RECESS WITH LANDSCAPING TYP.
14. ALUMINUM STOREFRONT WINDOW SYSTEM TYP. REFER TO DETAILS.
15. ALUMINUM STOREFRONT WINDOW SYSTEM TYP. REFER TO DETAILS.
16. DECORATIVE METAL C-CHANNEL HEADER TYP. REFER TO DETAILS.
17. MECHANICAL WELL BEYOND LOCATION OF ROOF-MOUNTED MECHANICAL EQUIPMENT. SCREENED FROM VIEW TYP.
18. MECHANICAL WELL BEYOND LOCATION OF ROOF-MOUNTED MECHANICAL EQUIPMENT. SCREENED FROM VIEW TYP.
19. RECLAIM TRUSSES TYP.
20. RECLAIM TRUSSES TYP.
21. RECLAIM TRUSSES TYP.
22. ASBESTOS REMEDIATION TYP.
23. PATIO / ENTRY DOORS TYP.
24. GARAGE ENTRY TYP.
25. METAL PAN STAIRS - REFER TO PLANSECTION.
26. ROOF DECK - REFER TO LANDSCAPE DRAWINGS.
27. LIGHT GAUGE CHANNEL FACIA REFER TO DETAIL DRAWINGS.
28. LIGHT GAUGE CHANNEL FACIA REFER TO DETAIL DRAWINGS.
29. CEILING FAN - REFER TO MECHANICAL DRAWINGS.
30. CEILING FAN - REFER TO MECHANICAL DRAWINGS.
31. CEILING FAN - REFER TO MECHANICAL DRAWINGS.
32. CEILING FAN - REFER TO MECHANICAL DRAWINGS.
33. INSULATION - REFER TO INSULATION SCHEDULE THIS SHEET.
34. ROOFING SYSTEM - REFER TO STRUCTURAL DRAWINGS AND DETAILS.
35. PREFAB WOOD TRUSS - REFER TO STRUCTURAL DRAWINGS.
36. PREFAB WOOD TRUSS - REFER TO STRUCTURAL DRAWINGS.
37. TRANSFORMER - REFER TO SITE PLAN AND ELECTRICAL DRAWINGS.
38. FURDOWN CEILING REFER TO DETAIL DRAWINGS.
39. FURDOWN CEILING REFER TO DETAIL DRAWINGS.
40. FURDOWN CEILING REFER TO DETAIL DRAWINGS.
41. FURDOWN CEILING REFER TO DETAIL DRAWINGS.
42. ARTISTIC METAL IN-LAY PANEL.



EX-5.0

South Building - Elevations

Phoenix Ballpark
Residences, LLC.

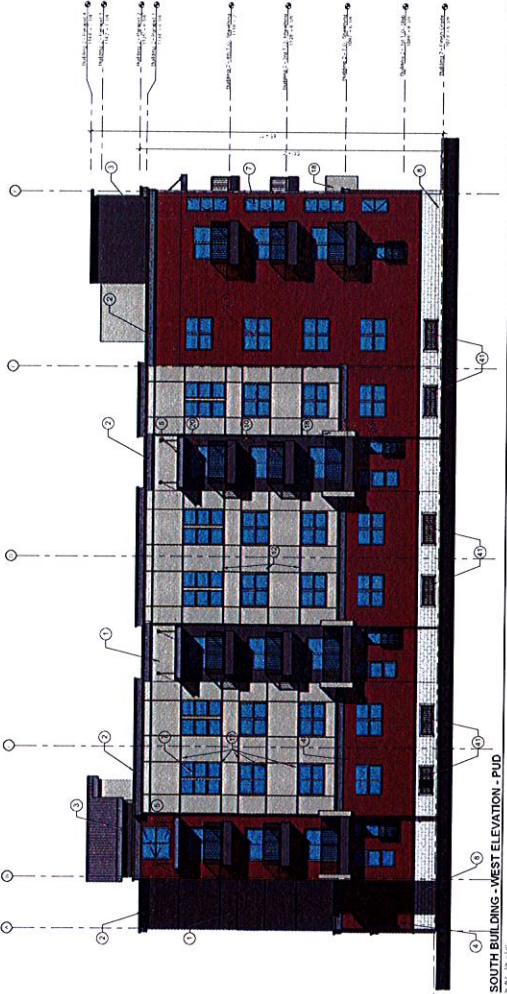


SOUTH BUILDING - SOUTH ELEVATION - PUD

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Planning & Development Department



SOUTH BUILDING - WEST ELEVATION - PUD

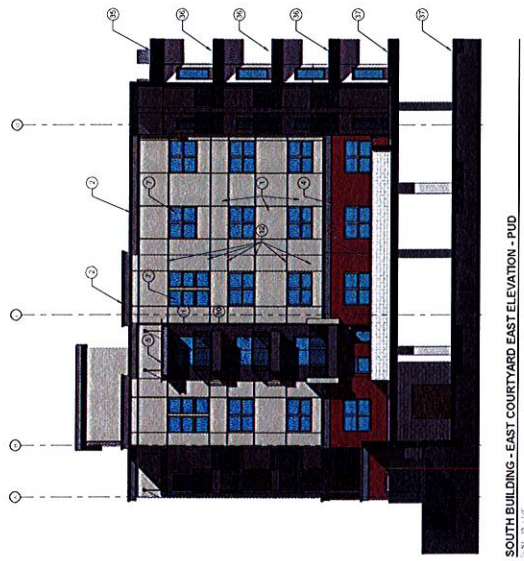
ELEVATION KEY NOTE LEGEND

1. EXTERIOR STUCCO SYSTEM TYP. - REFER TO ASSEMBLIES
2. PARAPET CAP TYP. REFER TO DETAILS
3. STANDARD BRICK VENEER TYP. - REFER TO ASSEMBLIES
4. METAL CANOPY TYP. REFER TO DETAILS
5. WINDOW - WHITE FRAME TYP.
6. PAINTED METAL PANEL TO SYSTEM TYP.
7. 4" HIGH METAL BALCONY RAILING TYP. REFER TO DETAILS
8. PAINTED METAL ROLL-UP DOOR TYP.
9. STUCCO CONTROL JOINT TYP.
10. PAINTED METAL ROLL-UP DOOR TYP.
11. ALUMINUM STOREFRONT WINDOW SYSTEM TYP. REFER TO DETAILS
12. PROJECT SIGNAGE - STANDING METAL LETTERING TYP.
13. PRE-CAST CONCRETE PANEL TYP.
14. MECHANICAL WELL BEYOND LOCATION OF ROOF-MOUNTED MECHANICAL SLUING DOOR TYP. REFER TO DETAILS
15. RECLAIM TRUSSES TYP.
16. ARTISTIC METAL IN-JAY PANEL
17. ARTISTIC METAL IN-JAY PANEL @ SITE UTILITY EQUIPMENT
18. TRANSFORMER - REFER TO SITE PLAN AND ELECTRICAL DRAWINGS
19. CONCRETE SLAB - REFER TO STRUCTURAL DRAWINGS
20. ROOFING SYSTEM - REFER TO STRUCTURAL DRAWINGS AND DETAILS
21. STEEL TRUSS ROOF TO INSULATOR SCHEDULE THIS SHEET
22. STEEL JOISTS TO INSULATOR SCHEDULE THIS SHEET
23. STEELING PAN - REFER TO MECHANICAL DRAWINGS
24. INSULATOR SUPPORT SYSTEM - REFER TO STRUCTURAL DRAWINGS
25. CONCRETE BEAM - REFER TO STRUCTURAL DRAWINGS
26. INTERIOR WALL AS FINISH WITH GYP/PLUM BOARDS FINISH - REFER TO ASSEMBLIES
27. METAL PAINT STAIRS - REFER TO PLAN/SECTION
28. LOW SCREEN WALL
29. PATIO / ENTRY DOORS TYP.
30. MENITY ROOM BEYOND TYP.
31. CEILING TYP.
32. 12" LIGHT GAUGE CHANNEL FASCIA - REFER TO DETAILS
33. INTERIOR WALL AS FINISH WITH GYP/PLUM BOARDS FINISH - REFER TO ASSEMBLIES
34. METAL PAINT STAIRS - REFER TO PLAN/SECTION
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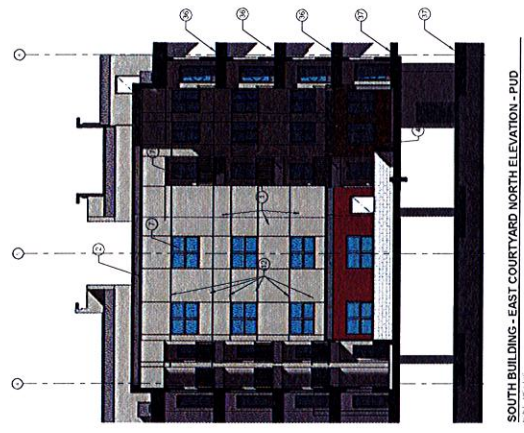


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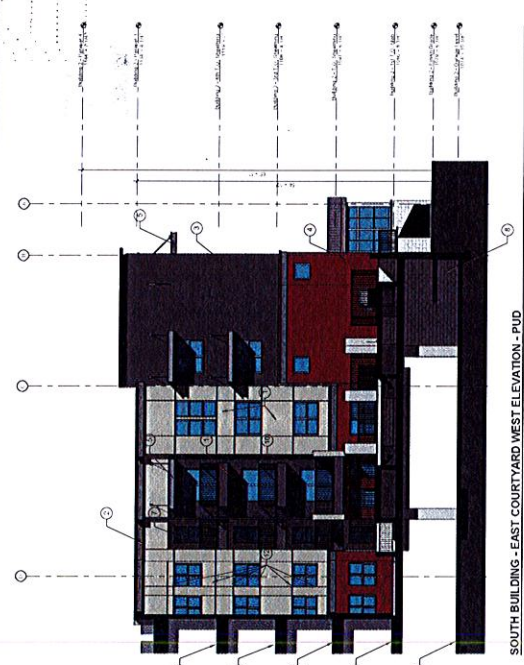
Phoenix Ballpark Residences, LLC.
 South Building - Elevations
 EX-5.1
 800 North Central Avenue, Suite 2000
 Phoenix, AZ 85004



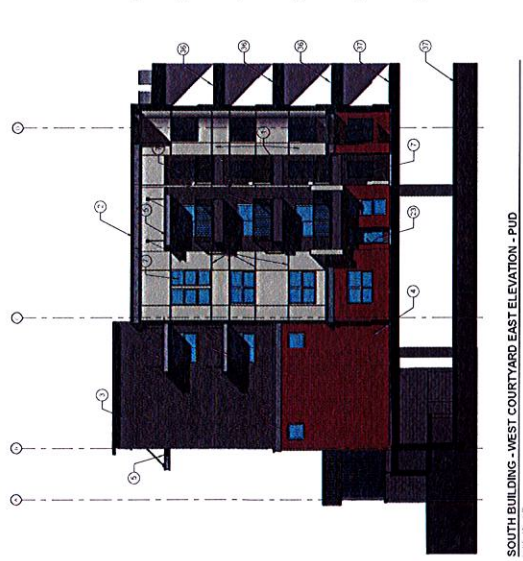
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DATE: 08-14-18



SOUTH BUILDING - EAST COURTYARD NORTH ELEVATION - PUD
DATE: 08-14-18



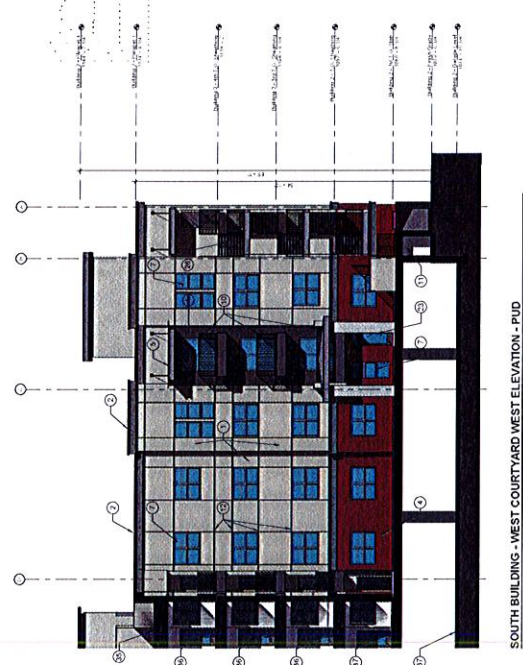
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DATE: 08-14-18



SOUTH BUILDING - WEST COURTYARD NORTH ELEVATION - PUD
DATE: 08-14-18



SOUTH BUILDING - WEST COURTYARD WEST ELEVATION - PUD
DATE: 08-14-18

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South Building - Elevators



Architectural
planning
interior design
under design

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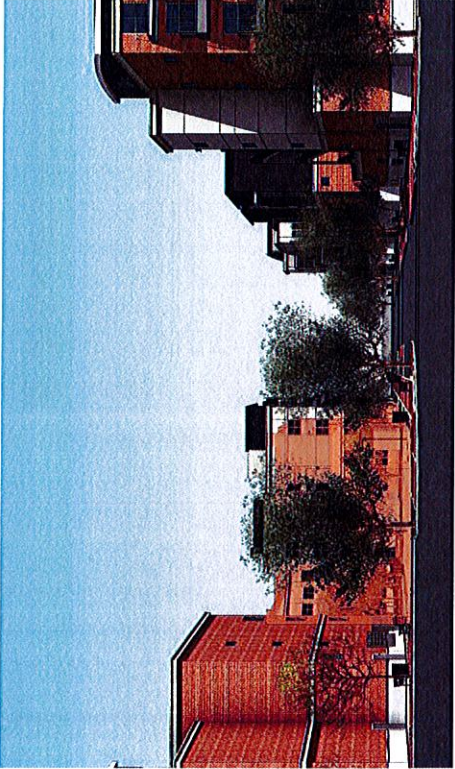
Aerial View

Phoenix Bellpark
Residences, LLC.

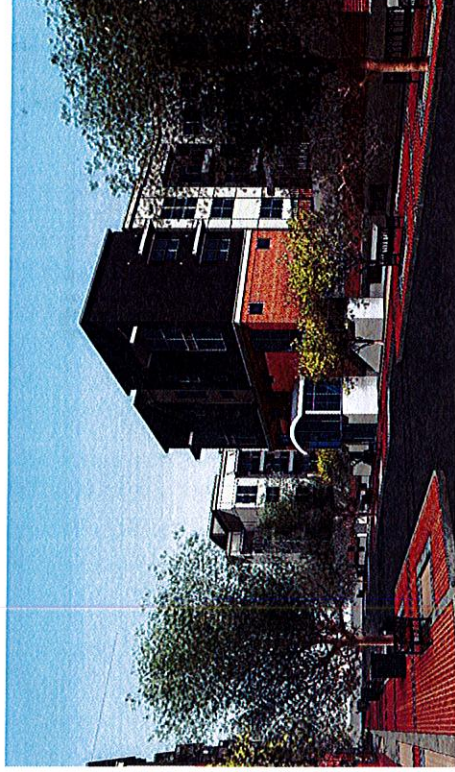
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City of Phoenix
Public Works Department
City Engineering
Planning
100 North Central Avenue, Suite 201
Phoenix, AZ 85004
Phone: 602.507.3670
Fax: 602.507.3670

EX-6.0 NOV 22

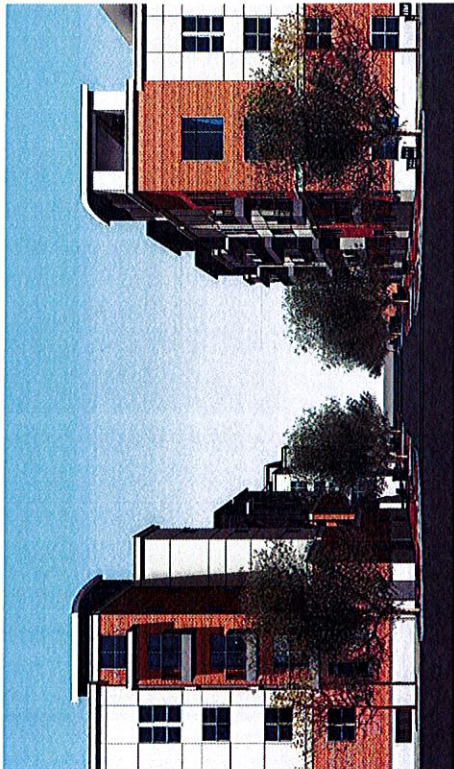
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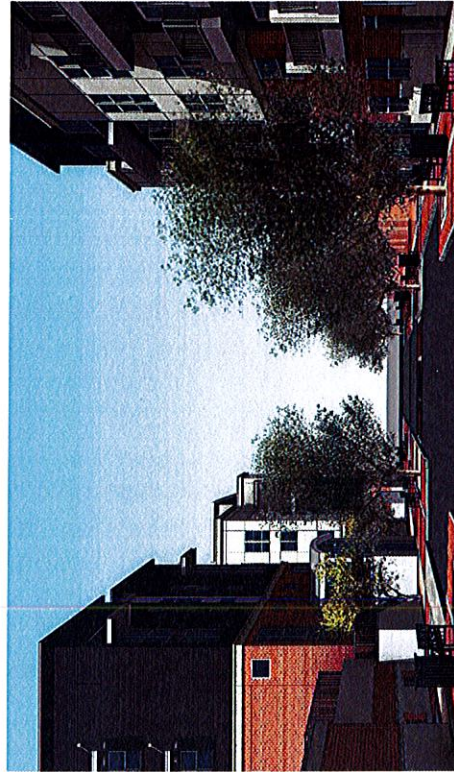
3D VIEW - FROM 3RD STREET



3D VIEW - FROM BUCHANAN TOWARDS 4TH STREET



3D VIEW - FROM 4TH STREET



3D VIEW - FROM BUCHANAN TOWARDS 3RD STREET

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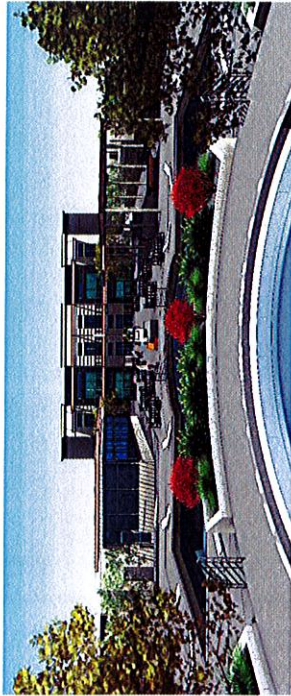
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Buchanan Street View 1
 Building Phase 1 - Buchanan St E Buchanan Street Phoenix, AZ 85004

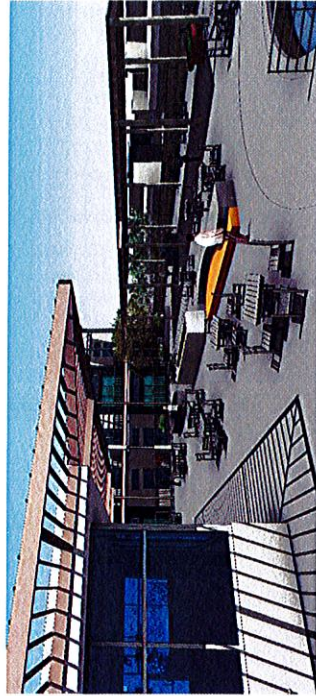
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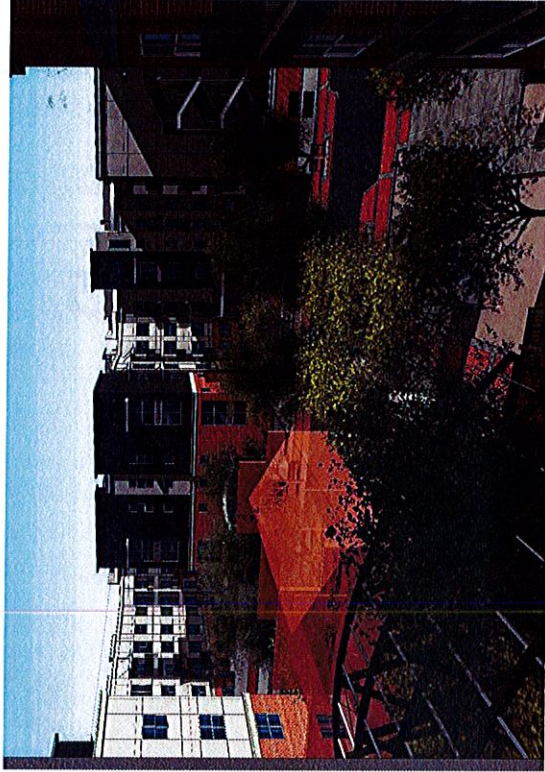
3D VIEW - AMENITIES DECK VIEW 3



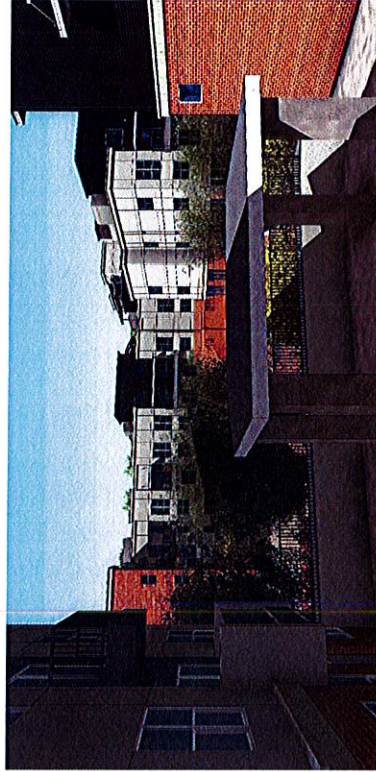
3D VIEW - AMENITIES DECK VIEW 2



3D VIEW - AMENITIES DECK VIEW 1



3D VIEW - SOUTH COURTYARD FROM NORTH BUILDING



3D VIEW - NORTH COURTYARD FROM SOUTH BUILDING

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Buchanan Street View 2

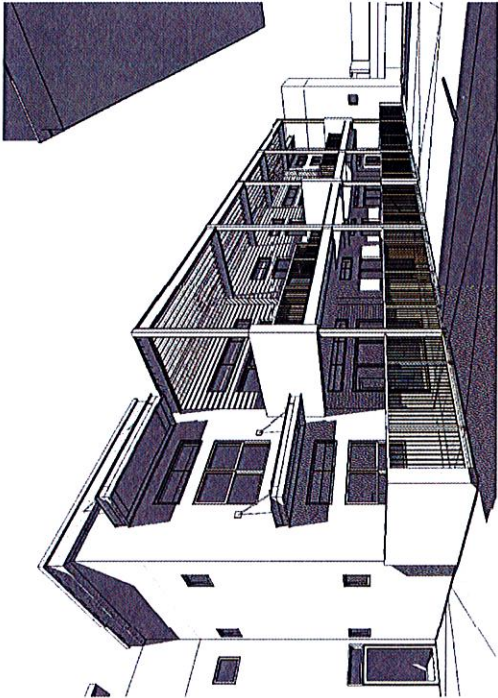
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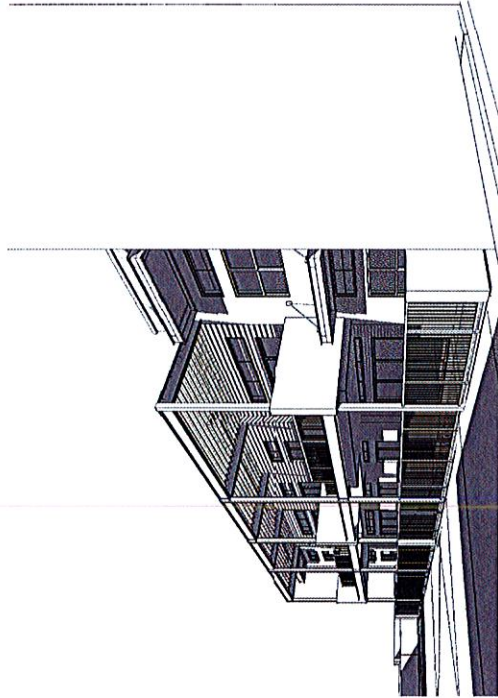


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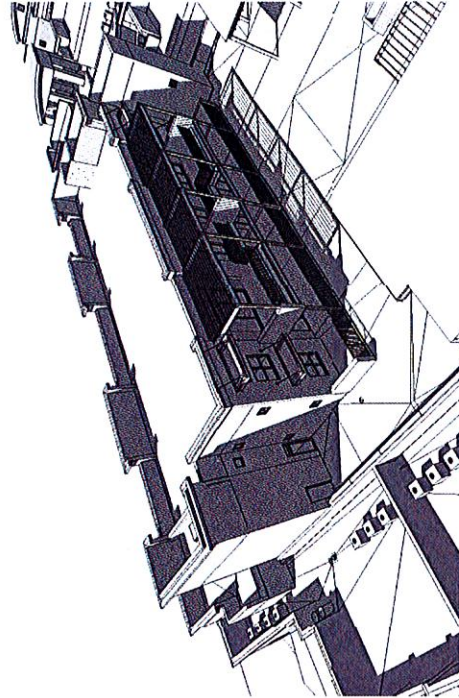
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PENTHOUSE - VIEW FROM NW DECK



PENTHOUSE - VIEW FROM SW DECK



PENTHOUSE - AERIAL VIEW FROM NE



PENTHOUSE - VIEW FROM W DECK

PENTHOUSE 3D VIEWS

Phoenix Ballpark
Residences, LLC.

Ballpark Plaza (adjacent to E Burbank Street Phoenix, AZ 85004)
Project ID: 1511
Phone: 480.537.9620

EX-6.3

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