

Biltmore Storage PUD

**4423 North 24th Street
South of the southeast corner of 24th Street and Campbell Avenue**

Z-68-15

Planned Unit Development
Development Narrative

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Development Team

Developer	WDP Partners, LLC Todd Chester 11411 N Tatum Blvd Phoenix, AZ 85028 phone 602.953.6224 email tchester@wdppartners.com
Applicant/Representative	Withey Morris, PLC Adam Baugh / Jessi Thornton 2525 East Arizona Biltmore Circle, Suite A-212 Phoenix, AZ 85016 phone 602.230.0600 fax 602.212.1787 email adam@witheymorris.com
Architect / Land Planning / Landscape Architect	RKAA Architects Robert Kubicek, AIA, NCARB 2233 E Thomas RD Phoenix, AZ 85016 phone 602.955.3900 email rkubicek@rkaa.com

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A. PURPOSE AND INTENT

1. PLANNED UNIT DEVELOPMENT

This Planned Unit Development (PUD) is intended to be a stand-alone document of zoning regulations for this particular project. Provisions not specifically regulated by this PUD are governed by the Phoenix Zoning Ordinance. If there are conflicts between specific provisions of this PUD, and the Phoenix Zoning Ordinance or design guidelines, the terms of this PUD shall apply. This PUD only modifies zoning ordinance regulations and does not modify other City Codes or requirements. The purpose and intent statements are not requirements that will be enforced by the city of Phoenix.

2. PROJECT OVERVIEW AND GOALS

The Biltmore Storage Planned Unit Development (PUD) rezones approximately 1.19 gross acres of land located south of the southeast corner of 24th Street and Campbell Avenue (the "Property"). This well-conceived development will be an amenity to area residents and commercial users and add diversity to the current mix of commercial uses. See vicinity, aerial and parcel maps at Exhibits A, B and C.

The site is developed with an existing one-story office project that was originally constructed in the 1960's. The site fronts on 24th Street, which is a high traffic arterial street appropriate for redevelopment opportunities such as this.

The applicant proposes to rezone from C-1 to PUD to allow for the development of an upscale climate controlled self-storage facility that will be approximately 98,000 square feet. Over the past decade, fewer new self-storage developments have been built within the trade radius. This development will provide a much-needed quality, self-storage facility to an area currently underserved.

The self-storage user has a fully integrated platform that combines the best in service offerings, employees, processes, technology, and customer service industry-wide. Their facilities are clean and professionally managed by courteous, knowledgeable and professionally trained customer-oriented managers.

This proposed facility is conveniently located for customers and is equipped with industry-leading security features that are standard at all their developments. Security features include PIN code entry systems at the loading area building entrances and in elevators. Additionally, the facility will be equipped with interior and exterior 24-hour video surveillance equipment. This self-storage facility will be efficiently climate controlled to improve the customer's experience and peace of mind, which is a reflection of the quality standards planned for this development.

The building will include a basement level and three stories above grade, consistent with the established heights of the adjacent three-story developments existing to the east and proposed to the northeast. The first floor of the building is anticipated to be comprised of

a lobby, sales center and storage units. The second, third and basement floors are anticipated to be comprised of storage units. The design also includes 10 exterior accessed first floor units. See conceptual site plan, landscape plan, building elevations, and street cross sections at Exhibits D, E, F, and G.

3. SURROUNDING AREA

The Property is currently zoned C-1. The existing office buildings on the Property may have been appropriate for development when they were built in the 1960's, but today they do not meet current standards for commercial uses or reflect the changing character of the Camelback East Village. The existing buildings are dated, functionally obsolete and do not meet today's market needs. Due to the size constraints of the site, it is unlikely that this site will develop as residential or other commercial uses. This well-conceived development will be an amenity to area residents and commercial users and add diversity to the current mix of commercial users.

To the north of the Property is an office building developed at 30-feet in height and to the south is a multi-family residential development that is 23-feet in height, with entitlements of up to 40-feet. To the east is the Biltmore Jewel, a three-story townhome development that is approximately 36-feet in height with entitlements for up to 40-feet; and the Biltmore Lofts, a two-story condominium project with third-story balconies and entitlements for up to 40-feet. To the northeast is a 4-acre site that is entitled for three-stories and up to 40-feet.

With regard to traffic, this self-storage use will have little impact on adjacent properties, due to very low vehicular traffic that this type of use generates. It is not anticipated that this use will have an adverse effect on peak hour movement.

In addition, the use will not generate significant activity, light or noise. The proposed building and enhanced landscaping along 24th Street will vastly improve the site's current condition from the 1960's office building and parking field. See surrounding landscape exhibit at Exhibit H. The proposed secure, climate-controlled, higher-end storage development will benefit local area residents and commercial users by providing much needed self-storage facilities for the surrounding area.

Given the existing heights in the area and the traffic intensity of 24th street, this PUD has been planned to complement the surrounding existing and proposed developments.

4. OVERALL DESIGN CONCEPT

The architectural design of the exterior building represents a unique blend of modern contemporary commercial design. Shapes, colors, textures and materials selected for the project are both consistent and aesthetically compatible with the neighboring architecture and landscape design. The project's visual elements draw on a vocabulary of simplified detail and modern forms. The contemporary color palette and modern lines provide a progressive architectural design that will enhance and complement the area. See color palette at Exhibit I and building elevations at Exhibit F.

Further interest is provided by variations in design and parapet details. The facades of the building are proportioned to provide a comfortable human scale. Each of the exterior facades is further articulated by using clean roof elements alternating with corniced roofs, a horizontal color block scheme and window features on every elevation. Particular emphasis has been added to the north, west and south elevations, which include windows on all three stories at the entrance of the facility. The proposed design uses has a mix of building materials including colored stucco, glass and integral color CMU materials to provide more depth to the overall design. Additional interest is created by the decorative building entry feature that provides both focal interest and a sense of place. See building elevations at Exhibit F.

The development proposes a landscape setback ranging from 10-feet to 14-feet 6-inches on 24th Street, which is similar and complementary to the adjacent properties. The proposed setback is greater than the existing conditions on the site today, which is 2-feet with no landscaping except one tree.

Landscape setbacks for the adjacent properties to the north are 7-feet to 9-feet; 18-feet to 20-feet for the adjacent property to the south; approximately 2-feet adjacent to the property at the southwest corner of 24th Street and Campbell Avenue; and zero-feet adjacent to the property at the southeast corner of 24th Street and Campbell Avenue. Additionally, the proposed landscape setback along 24th Street for this PUD will significantly improve the existing conditions and setbacks on the site, which currently has minimal landscaping, if any, and within a narrow 2-foot landscape setback along 24th Street. The proposed arterial landscaping along 24th Street will consist of seven 3-inch caliper trees placed 20-feet on center with 25 5-gallon and 10 15-gallon shrubs. Trees adjacent to pedestrian walkways will have a minimum canopy of 6-feet 8-inches. The proposed landscape setback along 24th Street is consistent with existing landscape setbacks of the nearby commercial properties and will significantly improve the landscape conditions on site.

Location	Zoning	Landscape Setback on 24th Street
PUD Site Proposed	PUD	10' - 14' 6"
PUD Site Existing	C-1	2'
North	C-2	7' - 9'
South	R-4A	18' - 20'
Southeast and southwest corner of 24 th Street & Campbell Avenue	C-1	0' – 3'

This proposal also seeks landscape setbacks of 17-feet to 20-feet along the eastern property line to create a larger separation between the proposed building and the adjacent multi-family residential use. The east property line is at an angle, which creates this range in setback. A landscape setback with a range of 12-feet to 17-feet for the south property line is proposed to maximize the separation between the proposed building and the

adjacent multi-family residential use to the south. The range in landscape setback along the south property line accounts for the architectural building steps along the south elevation. The landscaping will consist of 2-inch caliper trees placed 20 feet on center and a minimum of five 5-gallon shrubs per tree on the east and south property lines. A 3-foot 4-inch landscape setback is proposed for the north property line to provide a greater landscape setback adjacent to the multi-family use to the south. The landscaping along the north property line will consist of 1-gallon shrubs/groundcover planted and maintained at 50% coverage throughout the landscape area.

The proposed setback along 24th Street for this PUD is significantly more than the existing conditions on the site today and is consistent with other surrounding commercial properties along 24th Street.

B. LAND USE PLAN

The approximate 1.19 gross acre site is designed to allow for an upscale, 100% climate controlled self-storage use. The high quality nature of this storage facility will complement the mix of residential and commercial uses in the surrounding area.

This PUD will allow for the development of a 3-story, approximately 98,000 square foot, self-storage facility with a basement level and 10 exterior accessed first floor units. See conceptual site plan at Exhibit D.

The development will be accessed from one driveway entrance on 24th Street. This self-storage use will have little impact on adjacent properties, due to very low vehicular traffic this type of use generates. Furthermore, it is not anticipated that this use will have an adverse effect on peak hour movement. With this low traffic volume, the single driveway is sufficient.

This project will provide required parking on the north side of the building, which will be shaded by a building overhang element. The primary loading area is located at the northeast corner of the building and is setback within the building structure itself. The plan for vehicular circulation and loading activity was specifically designed to have the least impact on adjacent residential uses. The building is situated to provide greater landscape setbacks to the east and south, creating the greatest buffer for the adjacent residents.

C. SITE CONDITIONS AND LOCATION

1. ACREAGE

The Property consists of approximately 1.19 gross acres (1.03 net acres). See legal description at Exhibit J.

2. LOCATION AND CURRENT USE

The project is located approximately 348 feet south of the southeast corner of 24th Street and Campbell Avenue. See vicinity map at Exhibit A. The existing single-story office buildings on the site, which were constructed in the 1960's, are functionally obsolete and do not meet current standards for commercial uses today. The buildings are set back farther than the surrounding buildings to the north and south, which diminishes the building's street presence. The building height and parking shade canopies further obscure the building from the street front. Due to the building setbacks and location of the parking shade canopies, the vehicular and pedestrian circulation throughout the site is less than ideal. The commercial buildings on the site today cannot respond to the current market demands and compete with other superior commercial spaces within the Camelback East Village.

3. TOPOGRAPHY

The site is generally flat with existing structures, as described above. See context plan and site photos at Exhibit K.

D. GENERAL PLAN CONFORMANCE

The development is supported by the following goals, policies and objectives of the 2015 General Plan. See General Plan map at Exhibit L.

CONNECT PEOPLE AND PLACES CORE VALUE; OPPORTUNITY SITES; GOAL: TO PROMOTE DEVELOPMENT OF VACANT PARCELS OR REDEVELOPMENT OF UNDERUTILIZED PARCELS WITHIN THE DEVELOPED AREA OF THE CITY THAT ARE CONSISTENT WITH THE CHARACTER OF THE AREA OR WITH THE AREA'S TRANSITIONAL OBJECTIVES. LAND USE PRINCIPLE: SUPPORT REASONABLE LEVELS OF INCREASED INTENSITY, RESPECTFUL OF LOCAL CONDITIONS AND SURROUNDING NEIGHBORHOODS; ENCOURAGE DEVELOPMENT OF THE TALLER AND LARGER BUILDINGS IN AREAS OF CHANGE AWAY FROM SINGLE-FAMILY AND LOW-RISE, MULTIFAMILY HOUSING.

As the Biltmore area and 24th Street corridor have evolved, it has become necessary that the surrounding uses also redevelop. This parcel is no exception. Given the many land use changes occurring in the area, this older 1960's site is severely underutilized and prime for redevelopment. The use is a minimal-impact type of development in that it can compatibly locate next to the existing adjacent uses and buildings. It is also a necessary amenity to the many multi-family communities nearby. For example, the new "District at Biltmore" will be a 268-unit multi-family development located only a half block north of this site and is a perfect example of new multi-family development that needs a nearby higher-end storage option like this. With the growing number of multi-family residential uses, which are inherently smaller than traditional single-family residential housing there is a great demand for this use. The proposed self-storage use will serve nearby residents and commercial users by providing self-storage options to a currently underserved area.

This proposed PUD will redevelop an underutilized parcel in close proximity to a number of property that have already been redeveloped. This project will provide a high-quality self-storage amenity to serve the Camelback East Village. The PUD is complementary to the type of development and uses in the Camelback East Village Core, which is directly north of the PUD project area. The existing surrounding conditions include a variety of commercial uses and higher density residential uses, along a highly traveled arterial street. Properties along 24th Street to the north and northwest of the PUD, which are within areas designated as residential by the General Plan Land Use Map, have been developed as commercial uses and are appropriate along this busy arterial. This application represents an opportunity to redevelop the site in a manner compatible with the existing character for the area.

CONNECT PEOPLE AND PLACES CORE VALUE; COMPLETE STREETS; DESIGN PRINCIPLES: LOCATE PARKING TO THE REAR OF A SITE TO CREATE A MORE PEDESTRIAN ENVIRONMENT, WHEN ADEQUATE SHIELDING FROM NOISE AND LIGHT CAN BE PROVIDED TO ADJACENT ESTABLISHED NEIGHBORHOODS; AND IN ORDER TO BALANCE A MORE SUSTAINABLE TRANSPORTATION SYSTEM, DEVELOPMENT SHOULD BE DESIGNED TO INCLUDE INCREASED AMENITIES FOR TRANSIT, PEDESTRIAN AND BICYCLISTS SUCH AS SHADE, WATER, SEATING, BUS SHELTERS, WIDER SIDEWALKS, BIKE RACKS, PEDESTRIAN SCALE LIGHTING AND WAY-FINDING.

The Biltmore Storage PUD will locate all parking to the north of the building, which allows the building to be located closer to the street. This design enhances the pedestrian experience along 24th Street with the shade provided by the building and trees.

CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; DIVERSE NEIGHBORHOODS; LAND USE PRINCIPLE: INCLUDE A MIX OF HOUSING TYPES AND DENSITIES WHERE APPROPRIATE WITHIN EACH VILLAGE THAT SUPPORT A BROAD RANGE OF LIFESTYLES.

With a growing population downsizing and moving toward a multi-family residential, turn-key lifestyle, the need for high-quality self-storage options close to home is a necessity. The proposed PUD will provide a much-needed service to the growing number of multi-family residential uses adjacent to the site and within the Camelback East Village.

CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; CERTAINTY & CHARACTER; LAND USE PRINCIPLE: LOCATE LAND USES WITH THE GREATEST HEIGHT AND MOST INTENSE USES WITHIN LIMITS BASED ON VILLAGE CHARACTER, LAND USE NEEDS, INFRASTRUCTURE AND TRANSPORTATION SYSTEM CAPACITY.

The proposed PUD is compatible with area neighborhoods. The proposed self-storage use will serve nearby residents and the growing number of multi-family residential uses, which are inherently, smaller than traditional single-family residential housing, which creates a need for this storage use. The development is also complementary to the density and character of the adjacent multi-family residential and commercial uses. The PUD is just south of the Camelback East Village Core which supports more intense uses and greater heights, and is directly adjacent to C-2 zoned property. It is also surrounded by higher density residential

districts (R-3A and R-4A) to the northeast, east and south, which are currently developed as two- and three-story multi-family residences and the zoning allows development up to 40-feet in height. Given the existing heights in the area and proximity to the Village Core, the proposed application is compatible with the surrounding neighborhood conditions and height entitlements.

The property also fronts 24th Street, which is a highly traversed corridor. This development is not only appropriate along an arterial street, but it also buffers street traffic and its impact on the residential uses directly east of the site.

CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; CERTAINTY & CHARACTER; DESIGN PRINCIPLE: CREATE NEW DEVELOPMENT OR REDEVELOPMENT THAT IS SENSITIVE TO THE SCALE AND CHARACTER OF THE SURROUNDING NEIGHBORHOODS AND INCORPORATES ADEQUATE DEVELOPMENT STANDARDS TO PREVENT NEGATIVE IMPACT(S) ON THE RESIDENTIAL PROPERTIES; AND ENHANCE THE COMPATIBILITY OF RESIDENTIAL INFILL PROJECTS BY CAREFULLY DESIGNING THE EDGES OF THE DEVELOPMENT TO BE SENSITIVE TO ADJACENT EXISTING HOUSING. CREATE LANDSCAPE BUFFERS AND OTHER AMENITIES TO LINK NEW AND EXISTING DEVELOPMENT.

The proposed development is a high-quality, climate controlled, indoor self-storage facility that has been designed in a manner that is sensitive to the existing surrounding residential uses. The Biltmore Storage PUD will serve to transition between the more intense commercial uses to the north and the residential to the south. The building has been located in a manner that its largest landscape setbacks are on the east and south sides near residential uses. Landscape buffers and building setbacks have been provided to address an appropriate transition between adjacent residential uses. All parking is located on the north side of the building and the loading area is contained within the building structure itself to provide a buffer from the residential uses to the east and south. All storage areas will be contained within the building and no outdoor storage will be permitted. The proposed PUD, as designed, is compatible with the surrounding residential uses.

CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; CLEAN NEIGHBORHOODS; LAND USE PRINCIPLE: FACILITATE THE ACQUISITION OF VACANT, UNDERUTILIZED AND BLIGHTED PARCELS FOR APPROPRIATE REDEVELOPMENT, COMPATIBLE WITH THE ADJACENT NEIGHBORHOOD CHARACTER AND ADOPTED AREA PLANS.

The proposed Biltmore Storage PUD will replace the existing underutilized and functionally obsolete commercial buildings, which are adjacent to parcels that have recently been fully redeveloped. This project will provide the opportunity to replace the existing, dated structures with a viable commercial building, consistent with the scale and character of the surrounding uses to serve the Camelback East Village residents and commercial users. The redevelopment of this site and investment in the neighborhood will bring neighborhood stability and help improve the quality of life, public health and safety for the area.

E. ZONING AND LAND USE COMPATIBILITY

The area has seen dramatic growth and infill over the years including the addition of multi-family residential and commercial uses. This proposed PUD will allow timely development of the site in an appropriate manner to complement the existing area development and uses. See existing zoning map at Exhibit M.

This Property is currently zoned C-1. To the north of the property is an office building zoned C-2 with a building height of 30-feet. Across 24th Street to the west of the property is commercial office zoned C-1. To the south is a multi-family residential development with a building height of 23-feet, zoned R-4A, which permits building heights up to 40-feet. To the east is a three-story multi-family residential development with a building height of approximately 36-feet, zoned R-3A, which permits building heights up to 40-feet. To the northeast is an existing multi-family residential development zoned R-4A, which permits building heights up to 40-feet. This site to the northeast is currently under site plan review for a multi-family project with optional fourth-story rooftop terraces and stairwell towers up to 44-feet. To the southeast is a 3-story multi-family residential development zoned R-3, which permits building heights up to 40-feet. The proposed height of the Biltmore Storage PUD, at a maximum building height of 34-feet, is consistent with the heights of the surrounding properties, and is less height than what is permitted by the zoning on nearly all adjacent properties. See surrounding building heights above in Figure 3.

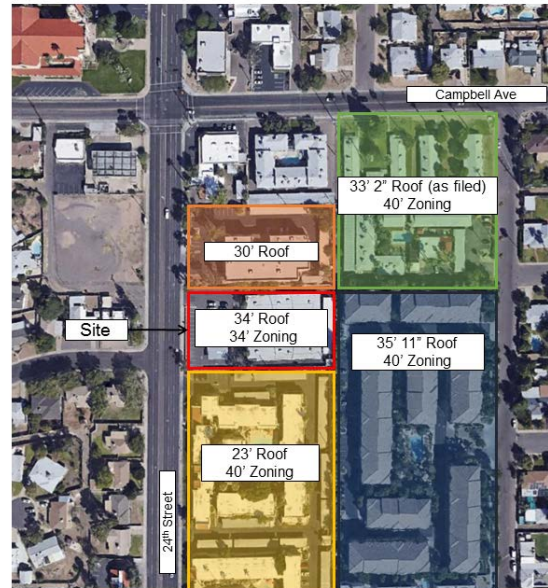


Figure 3. Surrounding Building Heights

Adjacent Properties	Zoning	Building Height / Stories	Use
North	C-2	30' 2-story	Office
Northeast	R-4A	33' 2"* 3-story	Multi-family residential
East	R-3A	35' 11" 3-story	Multi-family residential
South	R-4A	23' 2-story	Multi-family residential
West	C-1	10-15' 1-story	Office

* As filed recently for Site Plan review by the city of Phoenix Planning and Development Department

In addition, this PUD is approximately 386 feet south of the Camelback East Primary Core Specific Plan (the “Plan”) area, which encourages a variety of land uses with more intensity and greater heights from 48-feet up to 112-feet as base heights and up to 165-feet as bonus heights. The northeast and northwest corners of 24th Street and Campbell Avenue, just 386 feet north of the project, are designated as Core Gradient 1 in the Plan. The Plan’s Core Gradient areas act as areas of transition between building intensity within the Core Center and area beyond the Core Gradient. Given that building heights of 4-stories (56-feet) are permitted in Core Gradient 1, the proposed height of this PUD at 34-feet is appropriate.

This PUD is complementary to the uses and development standards for the properties to the north in Core Gradient 1. The proposed development provides an appropriate transition in height, setbacks and lot coverage to adjacent properties, moving away from approved intensity of uses and development standards within the Plan area.

Within the adjacent Core Gradient 1 area and on its periphery are many existing and future multi-family development projects with higher densities permitted and encouraged by the Plan. This planned development will provide much needed self-storage options in an area that is currently underserved according to market studies. Self-storage options are crucial to the needs of tenants residing in multi-family and attached single-family developments given that on-site storage and living areas of these types of developments are most often very limited. The number of multi-family and single family attached residences in and around the Camelback East Village Core area have been growing at an unprecedented rate. Additionally, the close proximity and access to the nearby SR 51 Freeway makes this an attractive and convenient site for those seeking a safe, secure, and climate controlled self-storage facility. This PUD complements and supports the inherent needs of the existing and future residential developments in the area.

This proposed PUD is fully compatible with surrounding uses, and will bring needed services to the many multi-family developments existing and proposed in the area. See proposed zoning map at Exhibit N.

F. LIST OF USES

1. PERMITTED USES

Self-Service Storage Facility by right, as defined by Section 202 of the Phoenix Zoning Ordinance and subject to regulations below; all other uses permitted by right in Section 622 of the Phoenix Zoning Ordinance except for residential uses; and any use permitted by a Use Permit in Section 622 of the Phoenix Zoning Ordinance shall likewise require a Use Permit by this PUD. Residential uses are not proposed as part of this PUD. Any future residential uses proposed would require a major PUD amendment.

The Self-Service Storage Facility is subject to the following regulations:

- (1) All storage shall be within a closed building.

- (2) No service or repair activities or anything other than dead storage and the rental and supervision of storage units shall be conducted on the premises.
- (3) There shall be no storage [or] use of hazardous or dangerous materials on the premises.
- (4) The premises shall abut or have direct access to an arterial street, as designated on the street classification map.
- (5) Screening the perimeter of the premises of a self-service storage warehouse may be required. All parts of the perimeter which are adjacent to a residential zone shall be screened by a fence or wall with a landscaped area at least ten-feet wide.
- (6) Retail sales as an accessory use to self-storage shall be permitted.
- (7) No customer access is permitted after 10 pm daily.

G. DEVELOPMENT STANDARDS

The provisions of this PUD will ensure compatibility with surrounding properties, promote new jobs and generate new tax revenue for the city of Phoenix. The Biltmore Storage PUD development standards and design guidelines listed below are reflective of the commercial uses proposed for the project.

Development of the Biltmore Storage PUD project shall comply with the provisions governed by the Phoenix Zoning Ordinance, unless modified by this PUD. This provision shall not limit the ability of the applicant or end user to apply for Use Permits, which can be requested per Section 622 of the Phoenix Zoning Ordinance and not identified by this PUD. If there are conflicts between specific provisions of this PUD, and the Phoenix Zoning Ordinance or design guidelines, the terms of this PUD shall apply. This PUD only modifies Phoenix Zoning Ordinance regulations and does not modify other Phoenix City Codes or requirements.

A. DEVELOPMENT STANDARDS TABLE

MINIMUM LOT WIDTH/DEPTH:	NONE
BUILDING SETBACKS (MEASURED FROM PROPERTY LINE):	24TH STREET (ARTERIAL): MINIMUM 10'
	NORTH PROPERTY LINE: MINIMUM 29'
	EAST PROPERTY LINE: MINIMUM 17'
	SOUTH PROPERTY LINE: MINIMUM 11'
MAXIMUM BUILDING HEIGHT FOR STORAGE:	34' TO ROOF LINE

MAXIMUM LOT COVERAGE:	63%
LANDSCAPE SETBACKS:	24TH STREET (ARTERIAL): MINIMUM 10'
	NORTH PROPERTY LINE: MINIMUM 3'
	EAST PROPERTY LINE: MINIMUM 17'
	SOUTH PROPERTY LINE: MINIMUM 11'
MAXIMUM DENSITY:	0 DU/ACRE

2. LANDSCAPE STANDARDS

A landscaped setback, measured from the property line, shall be established and maintained along all linear property lines as outlined in the Development Standards Table of this PUD and plant types as outlined below and in the conceptual landscape plan of this PUD. The conceptual landscape plan is at Exhibit E.

PLANT TYPE	MINIMUM PLANTING SIZE
TREES	24TH STREET: 3" CALIPER TREES PLACED 20' ON CENTER
	EAST & SOUTH PROPERTY LINES: 2" CALIPER TREES PLACED 20' ON CENTER
SHRUBS & GROUND COVER	24TH STREET: MINIMUM (25) 5-GALLON SHRUBS AND (10) 15-GALLON SHRUBS
	EAST & SOUTH PROPERTY LINES: MINIMUM (5) 5-GALLON SHRUBS PER TREE
	NORTH PROPERTY LINE: 1-GALLON SHRUBS/GROUNDCOVER PLANTED AND MAINTAINED AT 50% COVERAGE THROUGHOUT LANDSCAPE AREA

3. PARKING

The parking for the Biltmore Storage PUD shall comply with Section 702. Twenty-one (21) parking spaces will be provided, which will be more than sufficient to meet the parking demands on the site. The parking for the project is located along the northern side of the building to provide the most efficient use of the site. The architectural design of the

proposed building includes an overhang on the north side of the building, providing a covered area for the parking spaces. There is a designated office entrance on the northwest corner of the building and one additional loading area towards the northeast corner. Additionally, because of its close proximity to the parking area, the landscaping provided in the western and eastern setback will serve to soften the visual character of the parking lot.

4. LIGHTING

Exterior lighting shall comply with the "Environmental Performance Standards" Section 704 of the Phoenix Zoning Ordinance.

H. DESIGN GUIDELINES

The development is designed with four-sided architecture with an office-like appearance to improve the aesthetics along 24th Street. Materials and colors have been chosen for a more modern design, which include clear anodized metal storefront, integral color CMU block in charcoal, light gray and brown tones, as well as a fine finish stucco in brown with a blue accent color. The design includes varied roof lines on each elevation, window placements along the south and east elevations on floors two and three, window placements along the west on all three floors, and building recess sections on the south and west elevations. The building recess along the south elevation provides a larger landscape area adjacent to residential. The enhanced landscaping along 24th Street will aid in transitioning uses from the building into the pedestrian experience.

This PUD shall conform to Section 507 Tab A of the Phoenix Zoning Ordinance with additional standards as indicated below.

Building Articulation: The visual impact of a building depends on its relationship between its height, length and width including such features as prominent entries, windows, color and materials.

Building wall articulation shall be required on the building with appropriate details and elements to recognize the pedestrian scale environment.

- Changes in the horizontal wall plane on all elevations.
- Changes in the vertical wall plane on the west, south and east elevations.
- Variation in the roof lines and form on all elevations.
- Introduction of signage elements.
- Use of vertical elements on or in front of expansive blank walls on the west, south and east elevations.
- Use of pronounced wall plane offsets on all elevations.
- Use of vertical accents and focal points on all elevations.
- Change in the use of materials or color to provide a clear distinction between roof, body and base of building, including clear anodized metal storefront, integral color CMU block in charcoal, light gray and brown tones, as well as a fine finish stucco in brown with a blue accent color.

- Changes in predominant material use on all elevations with a mixture of clear anodized metal, integral color CMU block and stucco.
- Other form of building facade articulation as approved by Planning and Development Department.

Materials: Approved exterior wall materials include the following list, unless otherwise approved by the Planning and Development Department:

- Concrete masonry unit (provided that surfaces are integrally colored, painted, stained or have attractive exposed aggregate which must be approved as to color and texture) in charcoal, light gray and brown tones
- Stucco or plaster in brown with blue accent colors
- Glass on floors two and three of the south and east elevations; and on all three floors of the west elevation
- Clear anodized metal trim on storefront

I. SIGNS

All signage shall comply with the Commercial/Industrial standards of Section 705 signage regulations of the Phoenix Zoning Ordinance.

J. SUSTAINABILITY

The development is planned as a sustainable development within the community. Energy efficiency in design and long-term operation along with thermal comfort in building and site design provide a better self-storage atmosphere for customers, employees, property owners and residents.

CITY ENFORCEABLE STANDARDS:

- The proposed drought tolerant vegetation will integrate trees and shade into the design of the development.
- The development will minimize surface parking area and provide an abundance of shade through the building overhang on all planned parking areas. See building cross section at Exhibit O.
- Water Efficient Landscaping (drought tolerant) will include 3-inch caliper trees placed 20-feet on center along 24th Street; 2-inch caliper trees placed 20-feet on center along the south and east property lines; and 15-gallon, 5-gallon and 1-gallon plants with 2-inch depth of decomposed granite in landscape areas to significantly reduce water consumption.
- Sidewalks will be shaded with the building overhang elements, awnings and landscaping.
- Building entrances will be shaded with architectural building elements and awnings.
- The "Heat Island" effect will be reduced by providing a light colored roof to provide a minimum roof SRI (Solar Reflectance Index) rating of 75% of the roof surface area.

PRACTICES INCORPORATED BY THE DEVELOPER:

- This PUD will regularly adopt the latest energy and building codes that encourage the use of light colored roofing materials and will minimize heat island effects.
- Architectural building elements through building overhangs and plan variation stimulate the flow of air around pedestrian areas and throughout the site.
- Low 'e' double pane glazing will be used in the proposed development.
- The development will provide a safe, reliable, and efficient stormwater management system that protects both human health and the environment.
- The development's interior lighting will be controlled by motion sensors to reduce energy consumption.
- Low flow fixtures will be used throughout the building to reduce water consumption.

K. INFRASTRUCTURE

1. CIRCULATION

The development will be accessed from one driveway entrance on 24th Street. This project will provide required parking on the north side of the building and the loading area is contained within the building structure itself to provide a buffer from the surrounding properties. See circulation plan at Exhibit P.

2. GRADING AND DRAINAGE

The existing surface of the site slopes from the northeast corner of the property down to the southwest corner. This drainage pattern will remain the same in the proposed condition. Underground and surface retention will be provided. The retention volume will be the greater of either the increase in runoff volume in the proposed condition compared to the existing condition, or the first flush volume for the 100-year, 2-hour storm event. Grading and Drainage will be submitted as part of the Development Service Department Site Plan submittal.

3. WATER AND SEWER

Water and waste water infrastructure requirements will be determined, designed and constructed in accordance with Phoenix City Code requirements and Water Services Department Design Standards and Policies. The existing water main in 24th Street will be utilized for service to the project. All retention facilities will be drained within 36-hours of a major storm event as required by the city of Phoenix Drainage Design Manual.

L. PHASING PLAN

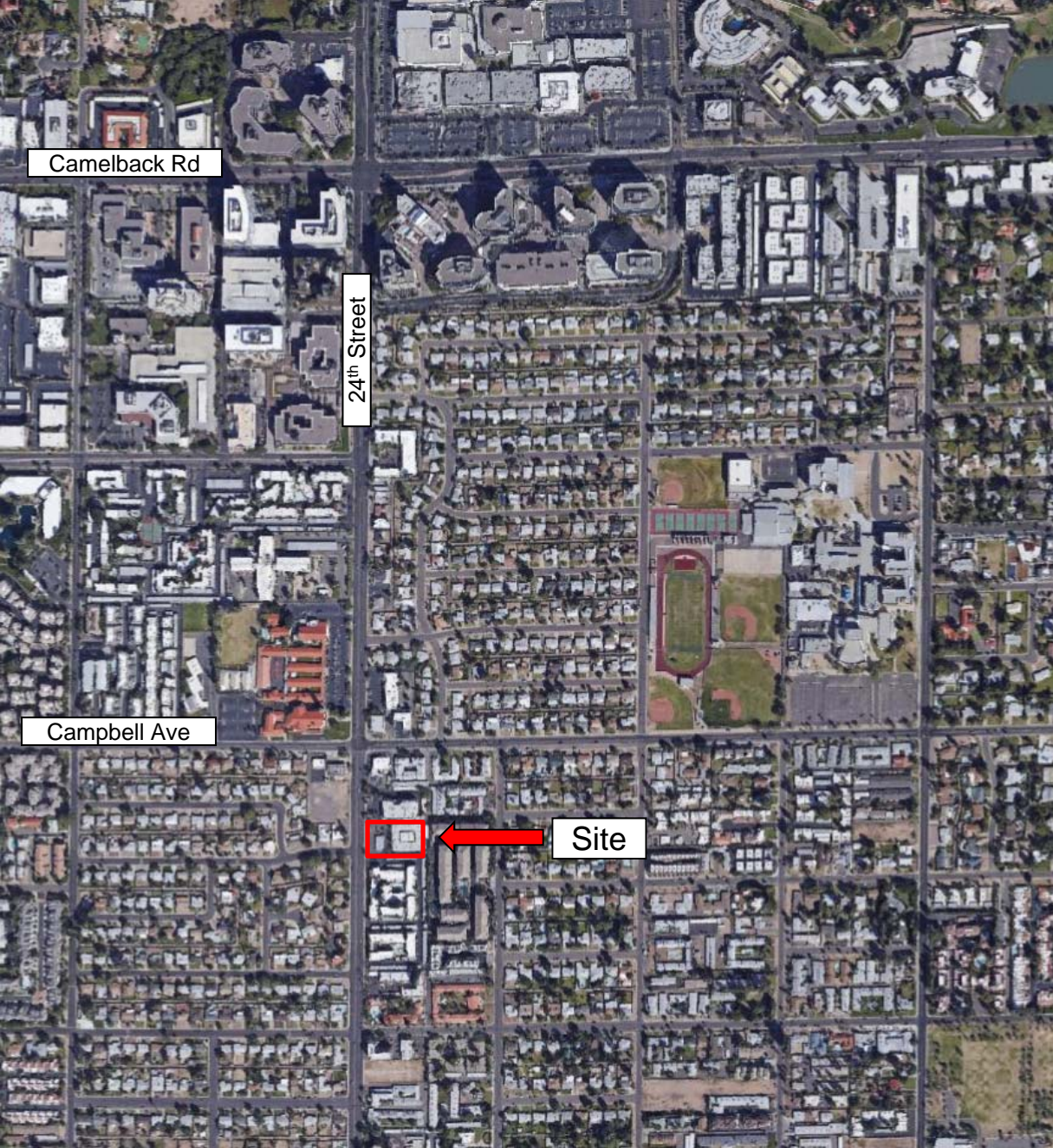
The Biltmore Storage PUD development will be developed in one phase.

M. EXHIBITS

Area Vicinity Map	A
Aerial Map	B
Parcel Map	C
Conceptual Site Plan	D
Conceptual Landscape Site Plan	E
Building Elevations	F
Street Cross Section	G
Surrounding Landscape Exhibit	H
Color Palette	I
Legal Description	J
Context Plan	K
General Plan Map	L
Existing Zoning Map	M
Proposed Zoning Map	N
Building Cross Section	O
Circulation Plan	P
Comparative Zoning Standards Table	Q

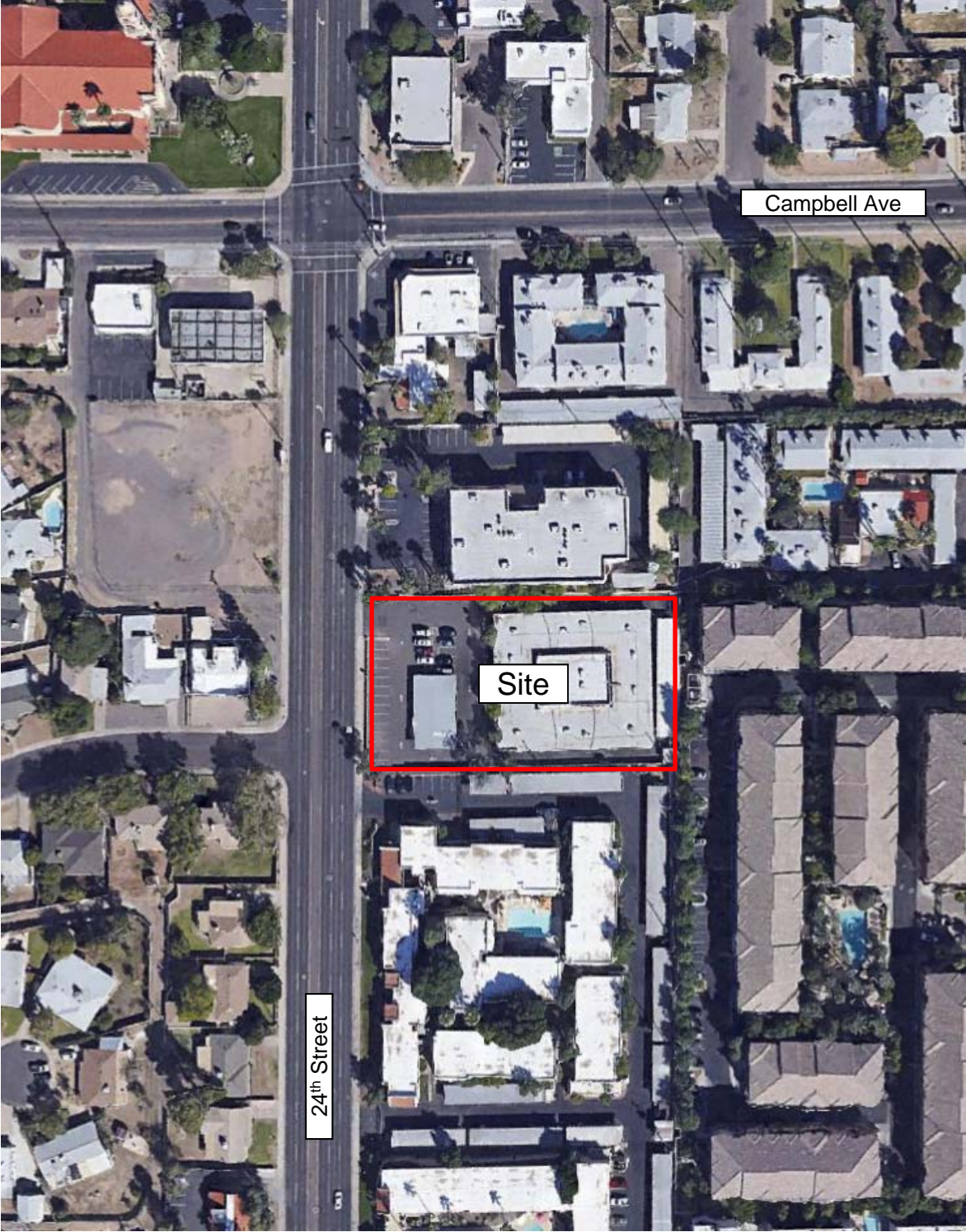
Area Vicinity Map

Exhibit A



Aerial Map

Exhibit B



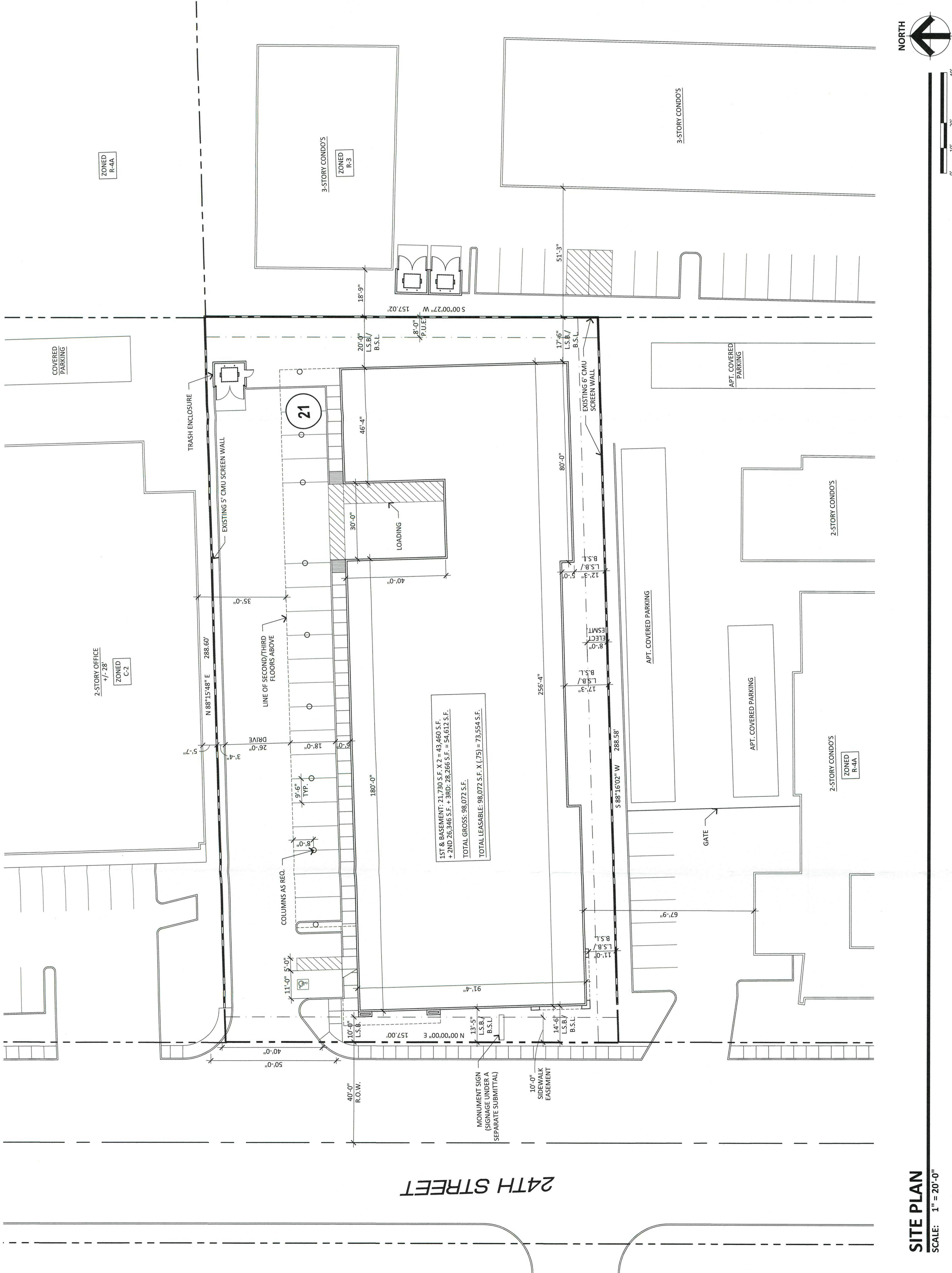
Parcel Map

Exhibit C



Conceptual Site Plan

Exhibit D

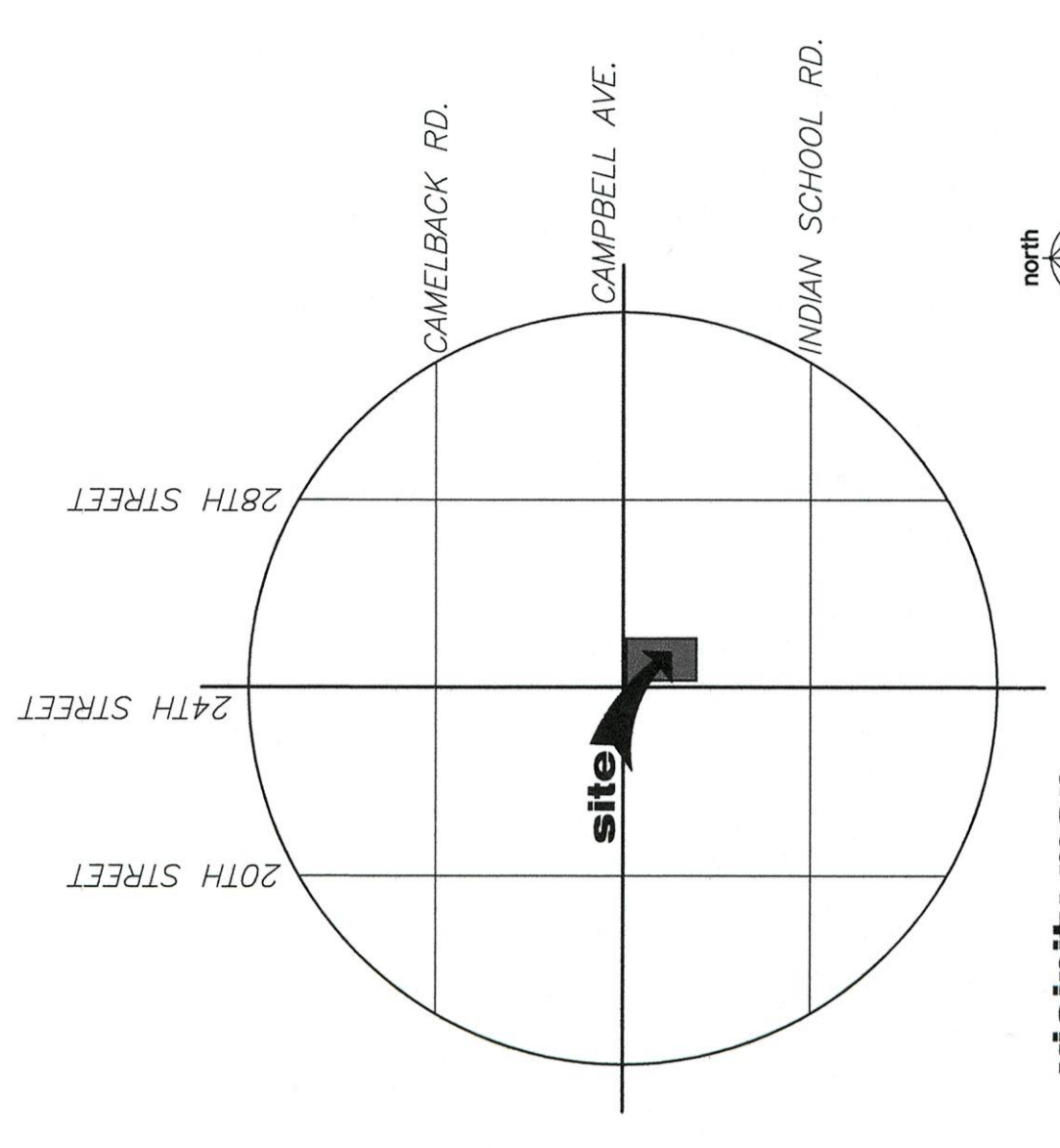


24TH STREET

SITE PLAN
SCALE: 1" = 20'-0"



SITE DATA	
APN PARCEL#	163-07-087
EXISTING ZONING	C-1
PROPOSED USE	CLIMATE CONTROLLED SELF STORAGE
LOT AREA TOTAL	NET: 45,290 S.F. (1.03 ACRES) GROSS: 51,571 S.F. (1.18 ACRES)
LOT COVERAGE	63%
BUILDING AREA	BASEMENT = 21,730 S.F. 2ND FLR = 26,346 S.F. GROSS TOTAL=98,072 S.F. 3RD FLR = 28,266 S.F.
BLD HGT PROPOSED	34'-0" ROOF LINE, 39'-4" TO TOP OF PARAPET. UP TO 42'-0" ON ADDITIONAL ARCHITECTURAL RELIEF ELEMENTS
ZONING SETBACKS:	
	BUILDING PROVIDED: LANDSCAPE PROVIDED:
FRONT (24TH STREET)	RANGE: 10' TO 14'-6" RANGE: 10' TO 14'-6"
NORTH SIDE	53' FIRST FLOOR RANGE: 10' TO 14'-6"
SOUTH SIDE	29' (2ND & 3RD FLOOR) RANGE: 11' TO 17'-3" 3'-4"
REAR	RANGE: 17'-6" TO 20' RANGE: 11' TO 17'-3"
	RANGE: 17'-6" TO 20'
PARKING CALCULATION: PER SECTION 702 OFF STREET PARKING	
TOTAL PARKING REQUIRED	1/35 STORAGE UNITS + 2 SPACES FOR MANAGER'S APT.
TOTAL PARKING PROVIDED	21 STALLS, INCLUDES 1 ACCESSIBLE



vicinity map
SCALE: N.E.S.

MAR 15 2016

CITY OF PHOENIX

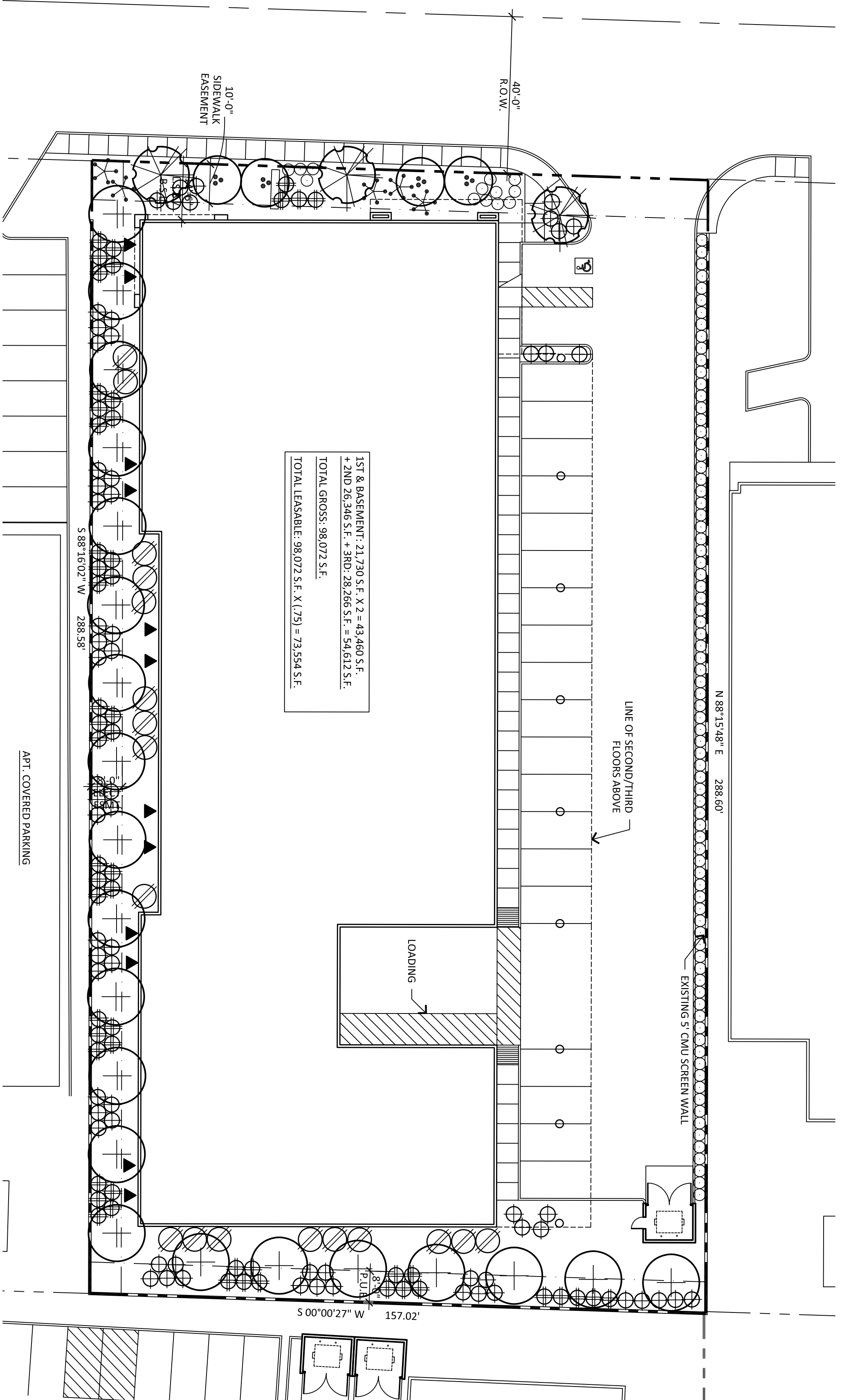
Planning & Development Department

NEW COMMERCIAL DEVELOPMENT
SEC 24TH STREET AND CAMPBELL
PHOENIX, ARIZONA
DATE: 03-11-2016 (PRELIMINARY)

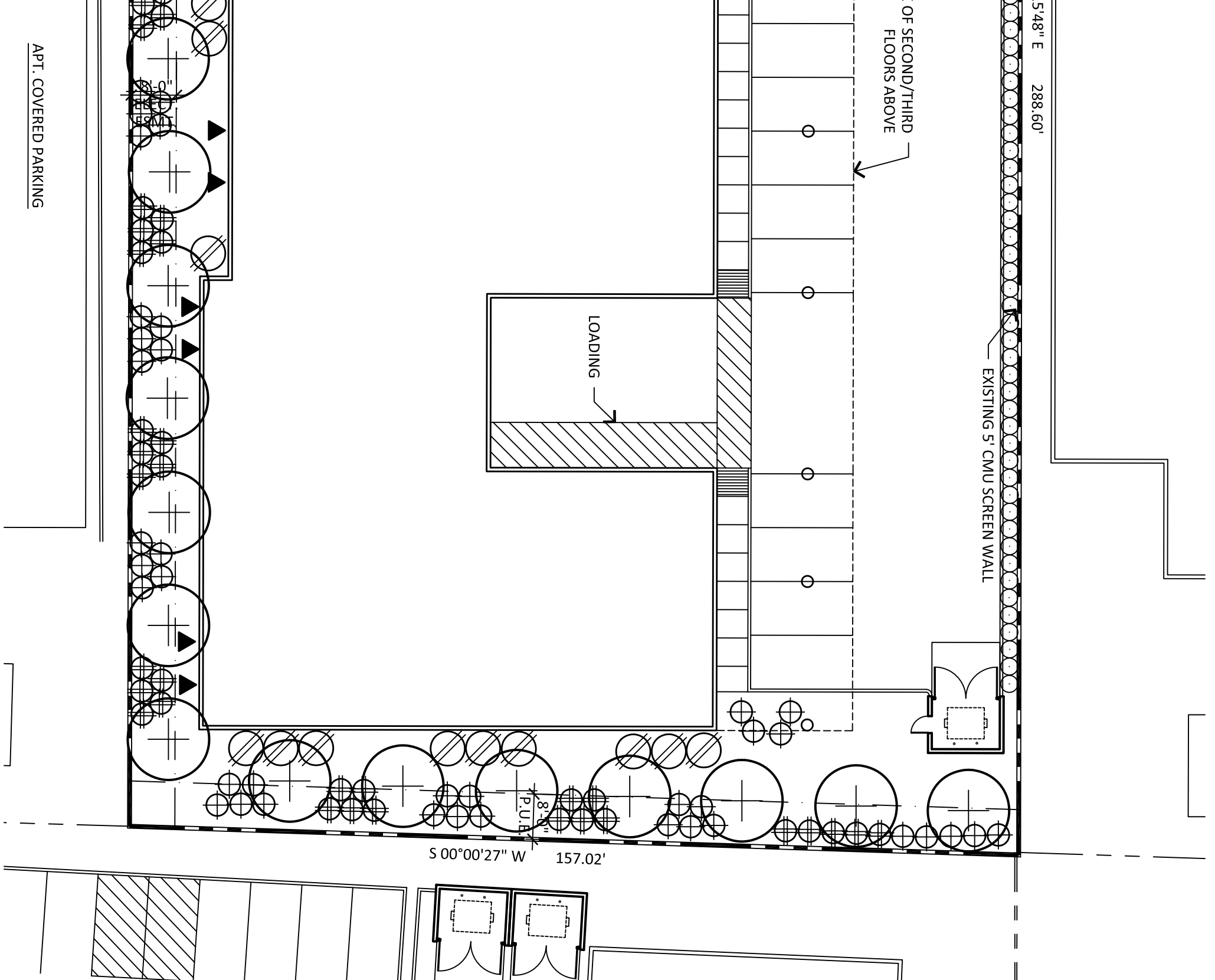
SP-1
#15185.50

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APPT. COVERED PARKING



CITY OF PHOENIX GENERAL LANDSCAPE NOTES:

THE CITY OF PHOENIX GENERAL NOTES ARE THE ONLY NOTES APPROVED ON THIS PLAN. ADDITIONAL GENERAL NOTES GENERATED BY THE SEALANT AND PLACED ON THE PLANS ARE NOT APPROVED AS PART OF THIS PLAN AND ARE NOTED AS SUCH ON THE PLANS.

THE DESIGN ON THESE PLANS IS ONLY APPROVED BY THE CITY IN SCOPE AND NOT IN DETAIL. CONSTRUCTION QUANTITIES ON THESE PLANS ARE NOT VERIFIED BY THE CITY. APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE CITY FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.

CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE LATEST APPLICABLE MARICOPA ASSOCIATION OF GOVERNMENTS' MAGI UNIFORM STANDARD SPECIFICATIONS AND DETAILS AND THE LATEST CITY OF PHOENIX SUPPLEMENT TO THE MAGI UNIFORM STANDARD SPECIFICATIONS AND DETAILS.

FINAL BUILDING PERMIT CANNOT BE OBTAINED UNTIL BONDING AND APPROVED ASSURANCES ARE PROVIDED FOR THE LANDSCAPING WITHIN THE RIGHT-OF-WAY.

NO PLANT SUBSTITUTIONS, TYPE, SIZE, OR QUANTITY, OR DEVIATIONS FROM THE APPROVED LANDSCAPE OR IRRIGATION PLANS ARE ALLOWED WITHOUT PRIOR APPROVAL FROM THE CITY OF PHOENIX LANDSCAPE SECTION AT 602-262-2811.

ALL PLANT MATERIAL AND SPECIFICATIONS SHALL CONFORM TO THE ARIZONA NURSERYMAN ASSOCIATION STANDARDS.

ALL RIGHT-OF-WAY AND CITY-REQUIRED (BARRIER, RETENTION, AND PARKING) PLANT MATERIAL SHALL BE IN COMPLIANCE WITH THE DEPARTMENT OF WATER RESOURCES' LOW WATER USE PLANT LIST.

CONTACT THE PARKS AND RECREATION DEPARTMENT FORESTRY SUPERVISOR AT 602-262-4862 TO VERIFY OWNERSHIP OF ANY PLANT MATERIAL IN THE PUBLIC R.O.W. PRIOR TO ANY PLANT RE-LOCATIONS OR REMOVALS. OBTAIN WRITTEN PERMISSION FROM THE PARKS AND RECREATION DEPARTMENT PRIOR TO THE RE-LOCATION OR REMOVAL OF ANY CITY PLANT MATERIAL OR EQUIPMENT.

CONTACT THE STREET TRANSPORTATION DEPARTMENT HORTICULTURIST AT 602-262-6284 PRIOR TO THE RE-LOCATION OR REMOVAL OF EXISTING PLANT MATERIAL IN THE A.D.O.T. R.O.W. THAT IS ON THE CITY'S SIDE OF THE SOUND WALL. OBTAIN WRITTEN PERMISSION FROM THE STREET TRANSPORTATION DEPARTMENT PRIOR TO THE RE-LOCATION OR REMOVAL OF ANY PLANT MATERIAL OR EQUIPMENT.

ALL EXISTING TREES AND SHRUBS IN RIGHT-OF-WAY DESIGNATED TO REMAIN BUT ARE DAMAGED OR DESTROYED WILL BE REPLACED IN LIKE SIZE AND KIND BY THE CONTRACTOR.

THE PROPOSED IRRIGATION SYSTEM SHALL INCLUDE ANY MODIFICATIONS REQUIRED TO FIT INTO THE EXISTING CITY OF PHOENIX IRRIGATION SYSTEM IN THE RIGHT-OF-WAY TO THE PROPOSED SYSTEM. ALL THOUGH IRRIGATION SYSTEMS IN THE RIGHT-OF-WAY SHALL BE MAINTAINED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CAPING AND/OR ABANDONING EXISTING IRRIGATION TO PLANT MATERIALS AND PROVIDING NEW IRRIGATION TO THE EXISTING PLANT MATERIAL IN THE RIGHT-OF-WAY PER THE APPROVED PLAN.

WALLS ARE NOT APPROVED AS PART OF THE LANDSCAPE PLAN BUT ARE SHOWN FOR REFERENCE ONLY.

TREES ADJACENT TO PEDESTRIAN WALKWAYS SHOULD HAVE A MINIMUM CANOPY CLEARANCE OF SIX FEET EIGHT INCHES (6' 8") PER SECTION 507.14B A.I.1.3.1.10 OF THE CITY OF PHOENIX ZONING ORDINANCE.

PVC PIPE LATERALS ARE REQUIRED A MAXIMUM OF FIVE FEET (5') OF POLY TUBING OFF OF THE PVC PIPE LATERALS ALLOWED. NO POLY TUBING LATERALS ARE ALLOWED.

PLANT QUANTITIES AND CALIPER SIZES PER THE ZONING REQUIREMENTS FOR THIS SITE PROVIDED IN THE LEGEND ON THE APPROVED PLANS ARE REQUIRED TO BE INSTALLED IN THE FIELD. ANY DEVIATIONS FROM THE PLAN WILL REQUIRE A REVISION TO THE APPROVED PLAN.

NOTE: MINIMUM CALIPER SIZE IS A ZONING REQUIREMENT. IF THE MINIMUM CALIPER CANNOT BE MET AT BOX SIZE THAT IS SPECIFIED, THEN THE BOX SIZE MUST BE INCREASED TO MEET CALIPER REQUIREMENTS.

PLAN APPROVAL IS VALID FOR 180 DAYS. PRIOR TO PLAN APPROVAL EXPIRATION ALL ASSOCIATED PERMITS SHALL BE PURCHASED OR THE PLANS SHALL BE RESUBMITTED FOR EXTENSION OF PLAN APPROVAL. THE EXPIRATION, EXTENSION, AND RENEWALMENT OF LANDSCAPE PLANS AND PERMITS SHALL FOLLOW THE SAME GUIDELINES AS THOSE INDICATED IN THE PHOENIX BUILDING CONSTRUCTION CODE ADMINISTRATIVE PROVISIONS SECTION 105.3 FOR BUILDING PERMITS.

MISC. LANDSCAPE NOTES THESE NOTES ARE NOT REVIEWED OR APPROVED BY THE CITY OF PHOENIX.

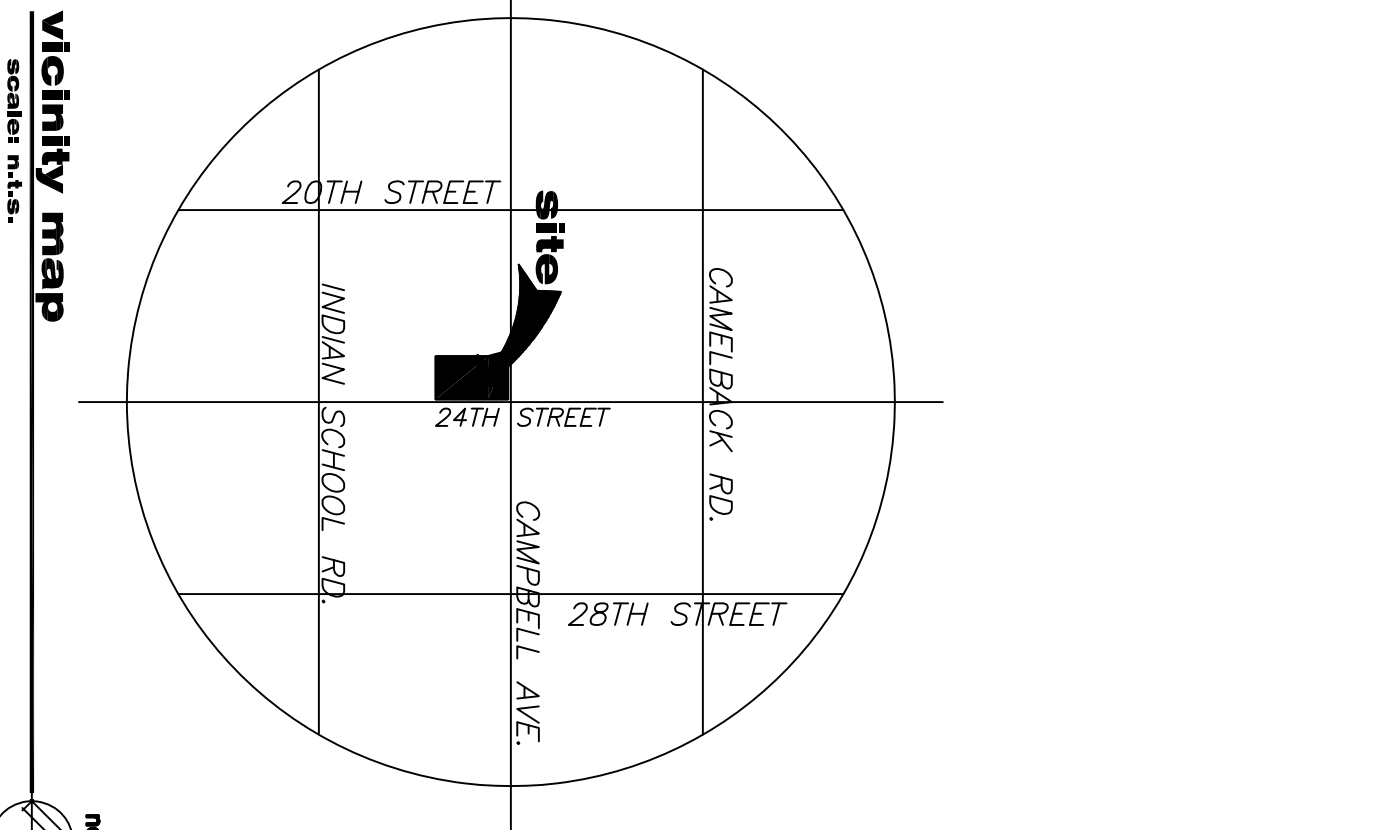
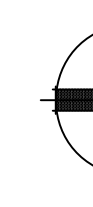
- THE ENTIRE SITE WILL BE MAINTAINED IN ACCORDANCE WITH PHOENIX STANDARDS.
- TREES ADJACENT TO PEDESTRIAN WALKWAYS SHOULD HAVE A MIN. CANOPY CLEARANCE OF 6'-8".
- USE PVC LATERALS WITH A MAXIMUM A 5' OF POLY TUBING OFF OF PVC. NO POLY LATERALS WILL BE ACCEPTED.
- PLANT QUANTITIES AND CALIPER SIZES PROVIDED ON THE APPROVED PLAN AND IN THE LEGEND ARE REQUIRED TO BE INSTALLED IN THE FIELD.
- ALL NEW AND DISTURBED LANDSCAPE AREAS WILL RECEIVE A 2" TOP-DRESS OF MATCHING DECOMPOSED GRANITE (MIN. 1/2" MINUS).
- PLANT MATERIAL WITHIN THE CITY OF PHOENIX SIGHT DISTANCE TRIANGLES IF EXISTING WILL BE MAINTAINED AT A MAXIMUM 24" IN HEIGHT. TREES WILL BE MAINTAINED WITH A 7" MINIMUM CLEAR CANOPY.
- NO PLANT SUBSTITUTIONS, TYPE, SIZE OR QUANTITY DEVIATIONS FROM THE APPROVED LANDSCAPE OR IRRIGATION PLANS WITHOUT PRIOR APPROVAL FROM THE CITY OF PHOENIX LANDSCAPE SECTION AT (602) 262-2811
- NO SLOPES ARE GREATER THAN 4:1
- THERE IS NO OVERHEAD POWER LINES ON SITE
- NO SALVAGED PLANT MATERIAL

LANDSCAPE LEGEND

- CERCIUM PRAECOX
 - SONORAN PALO VERDE
 - 24" BOX (MATCHING)
 - ACACIA SALICINA
 - WILLOW ACACIA
 - 24" BOX
 - SOPHORA SECUNDIFLORA
 - TEXAS MOUNTAIN LAUREL
 - 24" BOX
 - TECOMA ORANGE JUBILEE
 - 5 GALLON
 - HESPERALOE PARVIFLORA
 - RED YUCCA
 - 5 GALLON
 - DASYLIRION WHEELERII
 - DESERT SPOON
 - 5 GALLON
 - LANIYNA MONTEVIDENSIS
 - 'GOLD MOUND'
 - 1 GALLON
 - BOUGAINVILLEA BARBARA KARST
 - BOUGAINVILLEA
 - 5 GALLON
 - AGAVE WEBBERII
 - WEBBER'S AGAVE
 - 15 GALLON
- 1/2" SCREENED MADISON GOLD
DECOMPOSED GRANITE
2" DEPTH IN ALL LANDSCAPE AREAS

LANDSCAPE PLAN

SCALE: 1" = 20'-0"



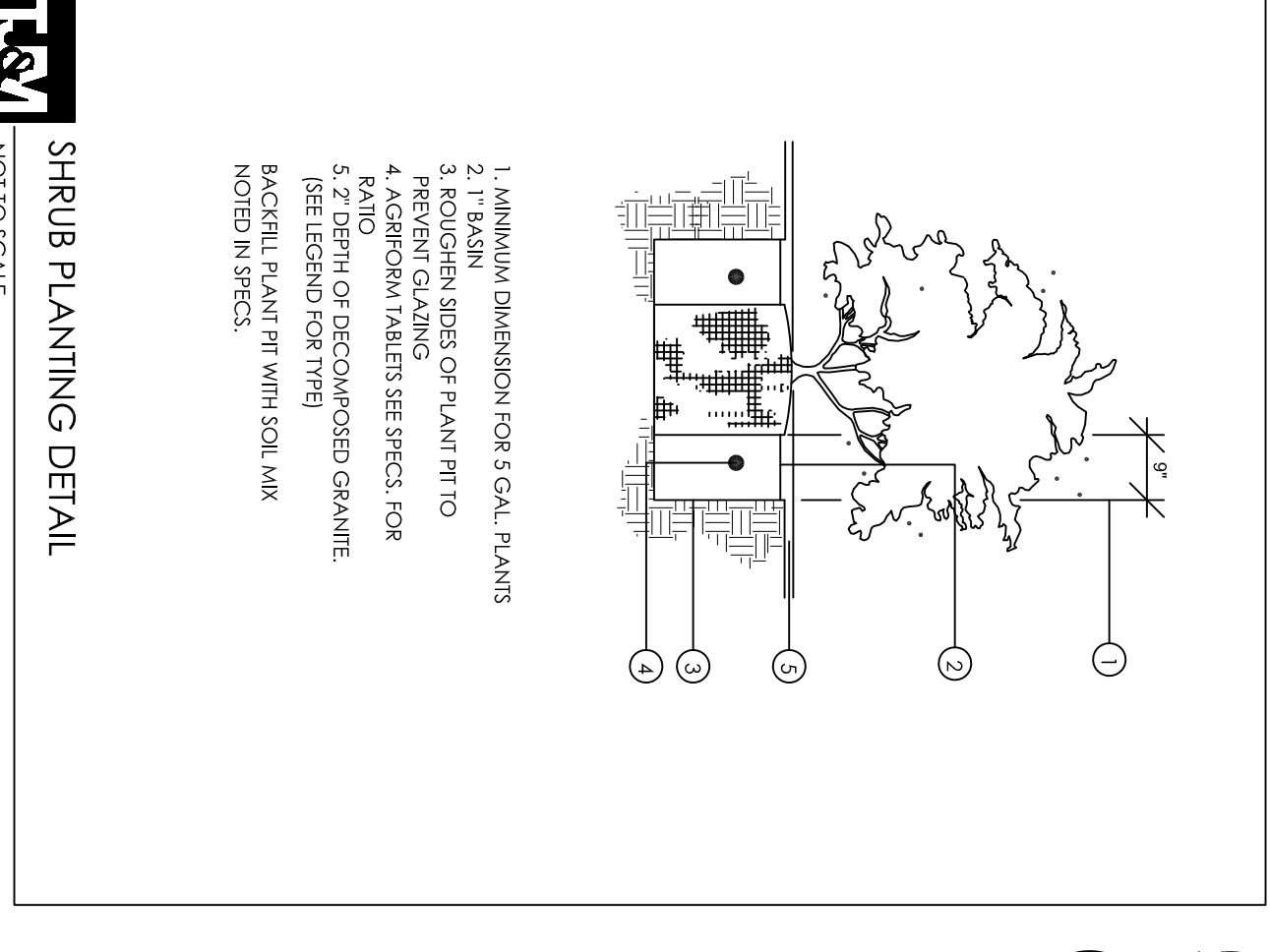
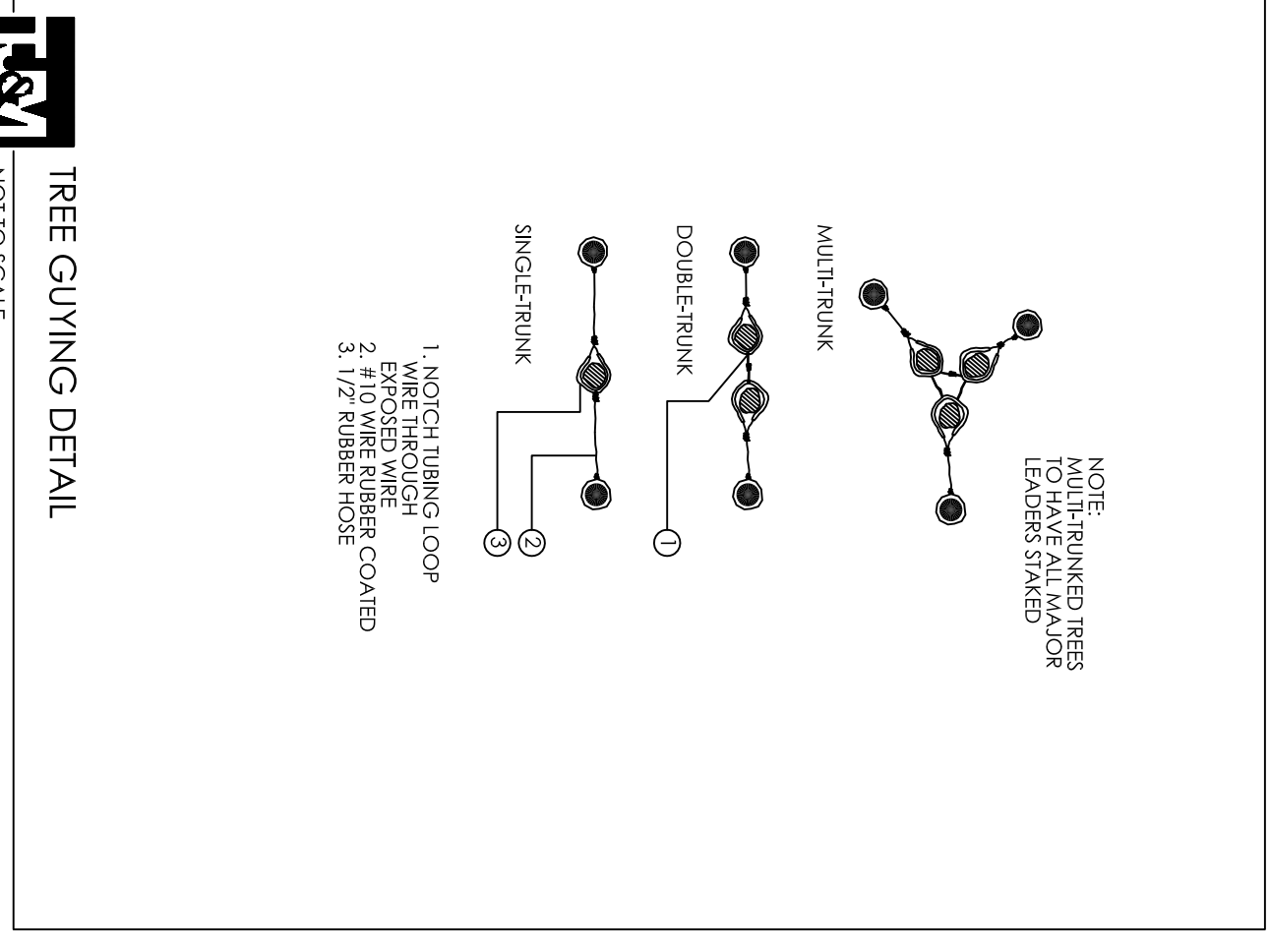
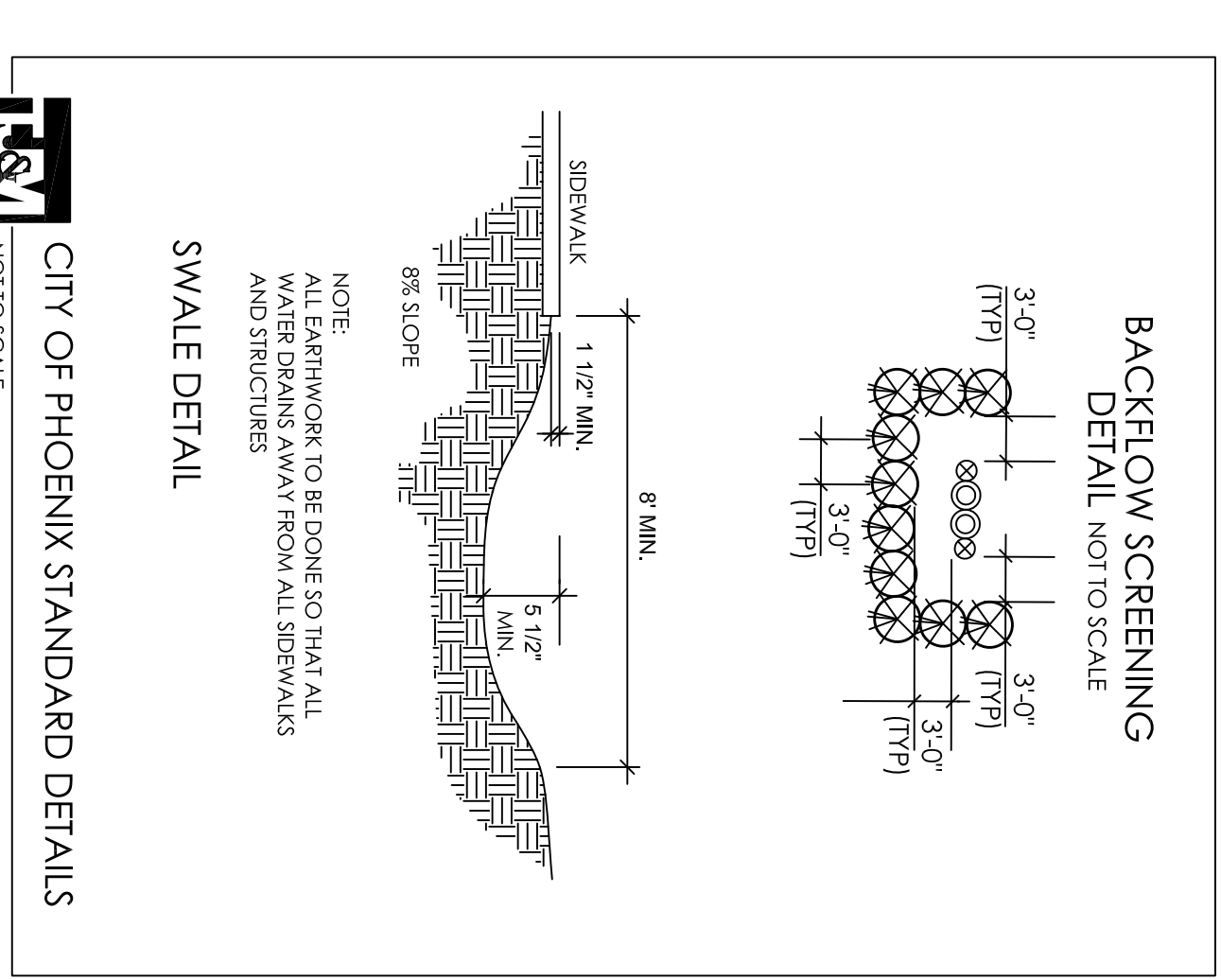
LANDSCAPE ARCHITECT CITY OF PHOENIX DATE

ESTIMATED RIGHT-OF-WAY COST \$ _____

ESTIMATED S.F. OF LANDSCAPE IN RIGHT-OF-WAY _____

MAINTENANCE BY: () CITY (X) OWNER TOTAL ACRES (OR PORTIONS) LANDSCAPED AREAS _____

SQUARE FOOTAGE OF TURF _____ DATE OF PRELIMINARY SITE PLAN APPROVAL _____



T.J. McQUEEN & ASSOCIATES, INC.

LANDSCAPE ARCHITECTURE
URBAN DESIGN
SITE PLANNING

8433 East Cholla St., Suite 101
Scottsdale, Arizona 85260
P (602) 265-0320 F (602) 266-6619
EMAIL: timcqueen@tjmha.net

T.J. McQUEEN & ASSOCIATES, INC.

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NEW COMMERCIAL DEVELOPMENT

SEC 24TH STREET AND CAMPBELL
PHOENIX, ARIZONA

DATE: 10-14-2015 (PRELIMINARY)

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Building Elevations

Exhibit F



NORTH ELEVATION

SCALE: 3/32" = 1'-0"



EAST ELEVATION

SCALE: 3/32" = 1'-0"



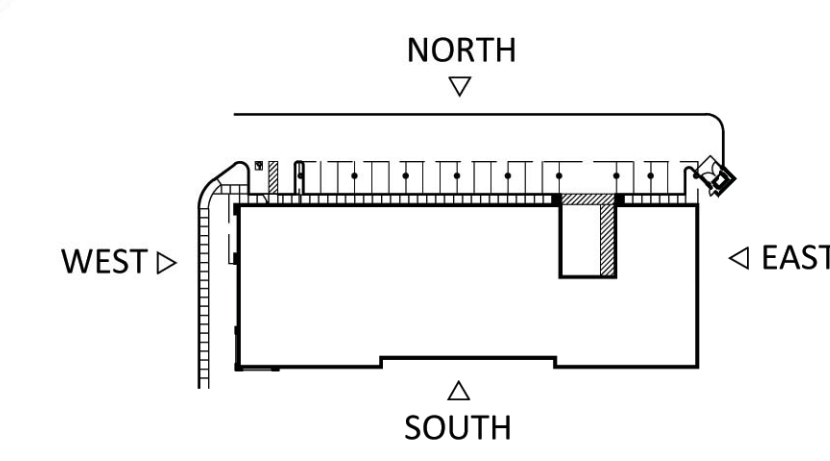
WEST ELEVATION (24TH STREET)

SCALE: 3/32" = 1'-0"



SOUTH ELEVATION

SCALE: 3/32" = 1'-0"



KEY MAP

SCALE: N.T.S.

NEW COMMERCIAL DEVELOPMENT
 SEC 24TH STREET AND CAMPBELL
 PHOENIX, ARIZONA
 DATE: 01-11-2016 (PRELIMINARY)

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EL-1
 #15185.50



Street Cross Section

Exhibit G



STREET CROSS SECTION A

SCALE: 3/32" = 1'-0"

NEW COMMERCIAL DEVELOPMENT
 SEC 24TH STREET AND CAMPBELL
 PHOENIX, ARIZONA
 DATE: 01-14-2016 (PRELIMINARY)

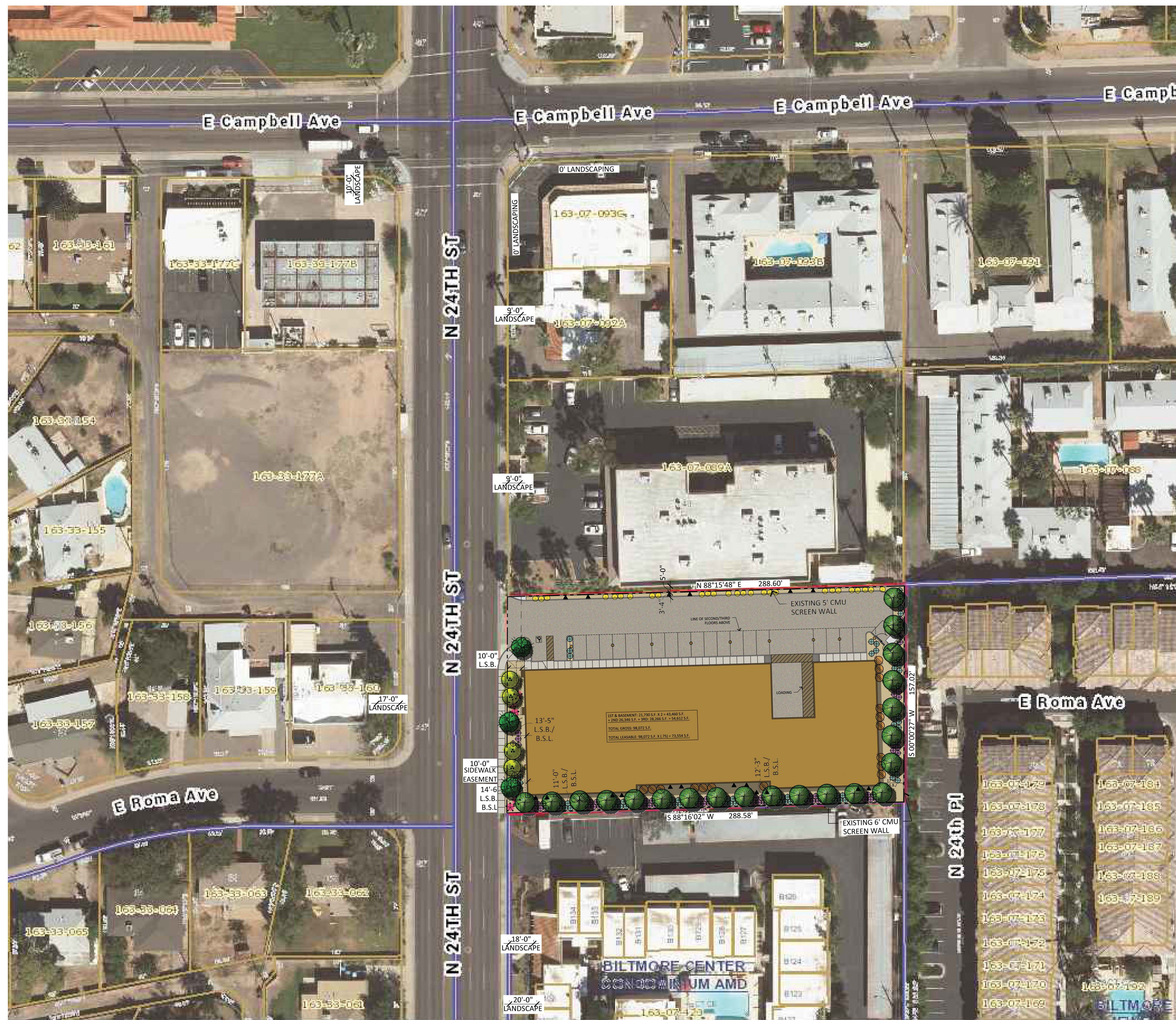
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CROSS
 SECTION
 RKAA# 15185.50



Surrounding Landscape Exhibit

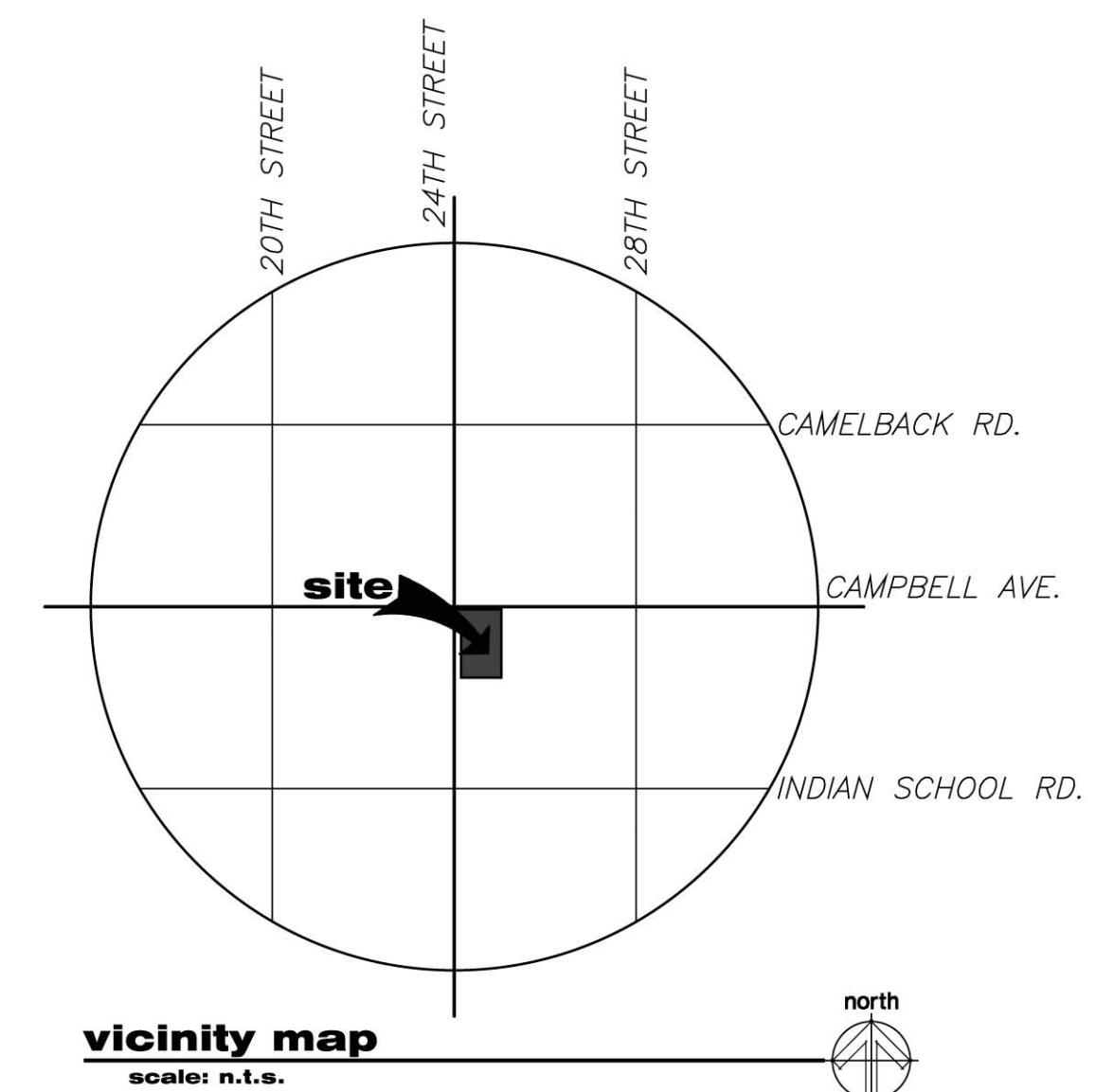
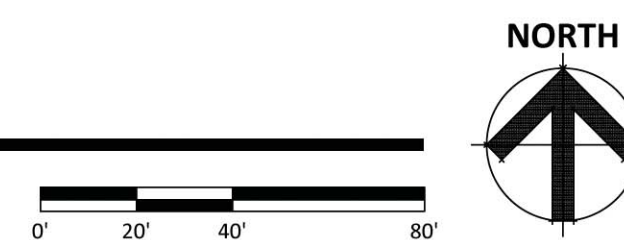
Exhibit H



SITE DATA		
APN PARCEL#	163-07-087	
EXISTING ZONING	C-1	
PROPOSED USE	CLIMATE CONTROLLED SELF STORAGE	
LOT AREA TOTAL	NET: 45,290 S.F. (1.03 ACRES) GROSS: 51,571 S.F. (1.18 ACRES)	
LOT COVERAGE	47.9%	
BUILDING AREA	BASEMENT = 21,730 S.F. 2ND FLR = 26,346 S.F.	
GROSS TOTAL=98,072 S.F.	MAIN LEVEL= 21,730 S.F. 3RD FLR = 28,266 S.F.	
BLD HGT PROPOSED	34'-0" ROOF LINE, 39'-4" TO TOP OF PARAPET. UP TO 42'-0" ON ADDITIONAL ARCHITECTURAL RELIEF ELEMENTS	
ZONING SETBACKS:		
	BUILDING	LANDSCAPE
	PROVIDED:	PROVIDED:
FRONT (24TH STREET)	RANGE: 10' TO 14'-6"	RANGE: 10' TO 14'-6"
NORTH SIDE	53' FIRST FLOOR 29' (2ND & 3RD FLOOR)	3'-4"
SOUTH SIDE	RANGE: 11' TO 17'-3"	RANGE: 11' TO 17'-3"
REAR	RANGE: 17'-6" TO 20'	RANGE: 17'-6" TO 20'
PARKING CALCULATION: PER SECTION 702 OFF STREET PARKING		
TOTAL PARKING REQUIRED	1/35 STORAGE UNITS + 2 SPACES FOR MANAGER'S APT.	
TOTAL PARKING PROVIDED	21 STALLS, INCLUDES 1 ACCESSIBLE	

SURROUNDING LANDSCAPE EXHIBIT

SCALE: 1" = 40'-0"



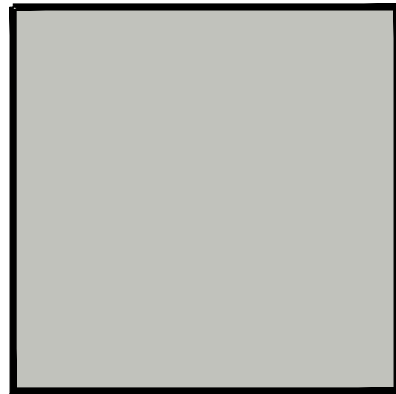
NEW COMMERCIAL DEVELOPMENT
 SEC 24TH STREET AND CAMPBELL
 PHOENIX, ARIZONA
 DATE: 01-14-2016 (PRELIMINARY)

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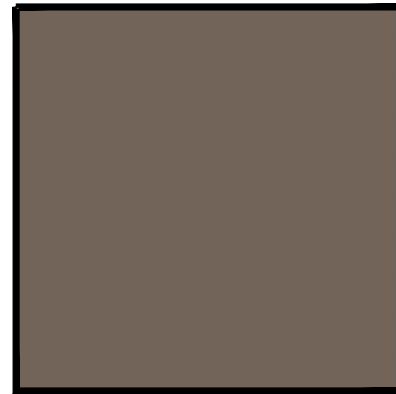


Color Palette

Exhibit I



FINE FINISH STUCCO PAINTED
DUNN EDWARDS
DEC795 GRAY PEARL



FINE FINISH STUCCO PAINTED
DUNN EDWARDS
DE6062 TEA BAG



COLUMNS PAINTED
DUNN EDWARDS
DE6391 BLACK RUSSIAN



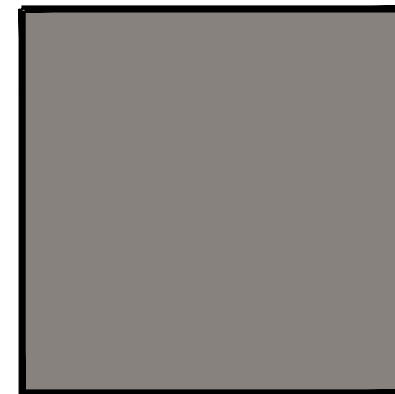
PARAPET/TRIM
DUNN EDWARDS
DE6363 POINTED ROCK



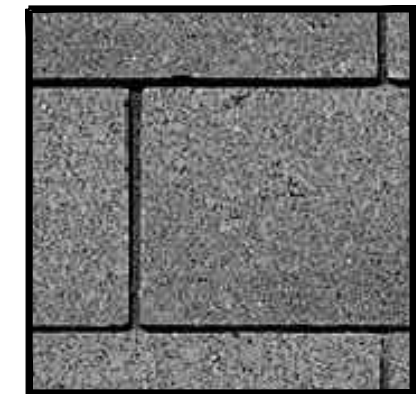
FIRESTONE
METAL PANEL
ELECTRIC BLUE



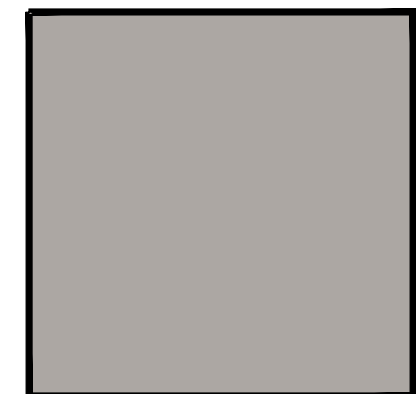
MBCI
METAL AWNINGS
SIG 200 CHARCOAL GRAY



CUSTOM BUILDING PRODUCTS
GROUT
#335 WINTER GRAY



SUPERLITE BLOCK
INTEGRALLY COLORED CMU
SMOOTH-FACE : CHARCOAL



DBCI
ROLL-UP DOORS
SILHOUETTE GRAY



WEST ELEVATION (24TH STREET)

NEW COMMERCIAL DEVELOPMENT
SEC 24TH STREET AND CAMPBELL
PHOENIX, ARIZONA
DATE: 01-11-2016 (PRELIMINARY)

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MB

#15185.50



Legal Description

Exhibit J

GROSS PARCEL DESCRIPTION FOR 4423 N. 24th STREET, PHOENIX, ARIZONA

A portion of the Southwest quarter of Section 23, Township 2 North, Range 3 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, being more particularly described as follows;

*BEGINNING at the Southeast corner of Lot 41 of PALM ACRES, a subdivision recorded in Book 18 of Maps, Page 5, records of Maricopa County, Arizona;
Thence Westerly along the South line of said Lot 41 and its Westerly prolongation to a point on the centerline of 24th Street as shown on said PALM ACRES;
Thence Northerly along said centerline to a point on the Westerly prolongation of the North line of said Lot 41;
Thence Easterly along said line and the North line of said Lot 41 to the Northeast corner of said Lot 41;
Thence Southerly along the East line of said Lot 41 to the POINT OF BEGINNING.*

Comprising 1.184 acres or 51,570 square feet, subject to all easements of record.



EXPIRES 3/31/18

JOB NO.: 150827
SECTION: 23
TOWNSHIP: 2 NORTH
RANGE: 3 EAST
DATE: NOVEMBER 4, 2015
SHEET 1 OF 1

REFERENCE DOCUMENTS
SURVEYS (R) M.C.R.
1. PLAT BK. 18 PG. 5



STATEWIDE SERVICE IN ARIZONA
www.alliancelandsurveying.com

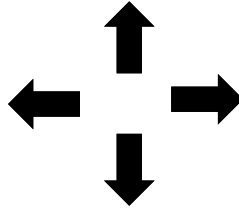
7900 N. 70th AVENUE TEL (623) 972-2200
SUITE 104 FAX (623) 972-1616
GLENDALE, AZ 85303

3



4

1



2

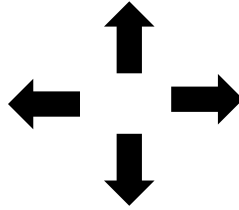




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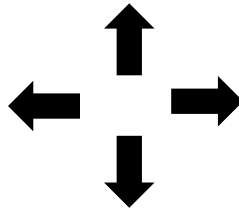
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11



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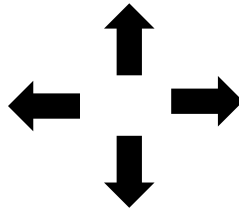
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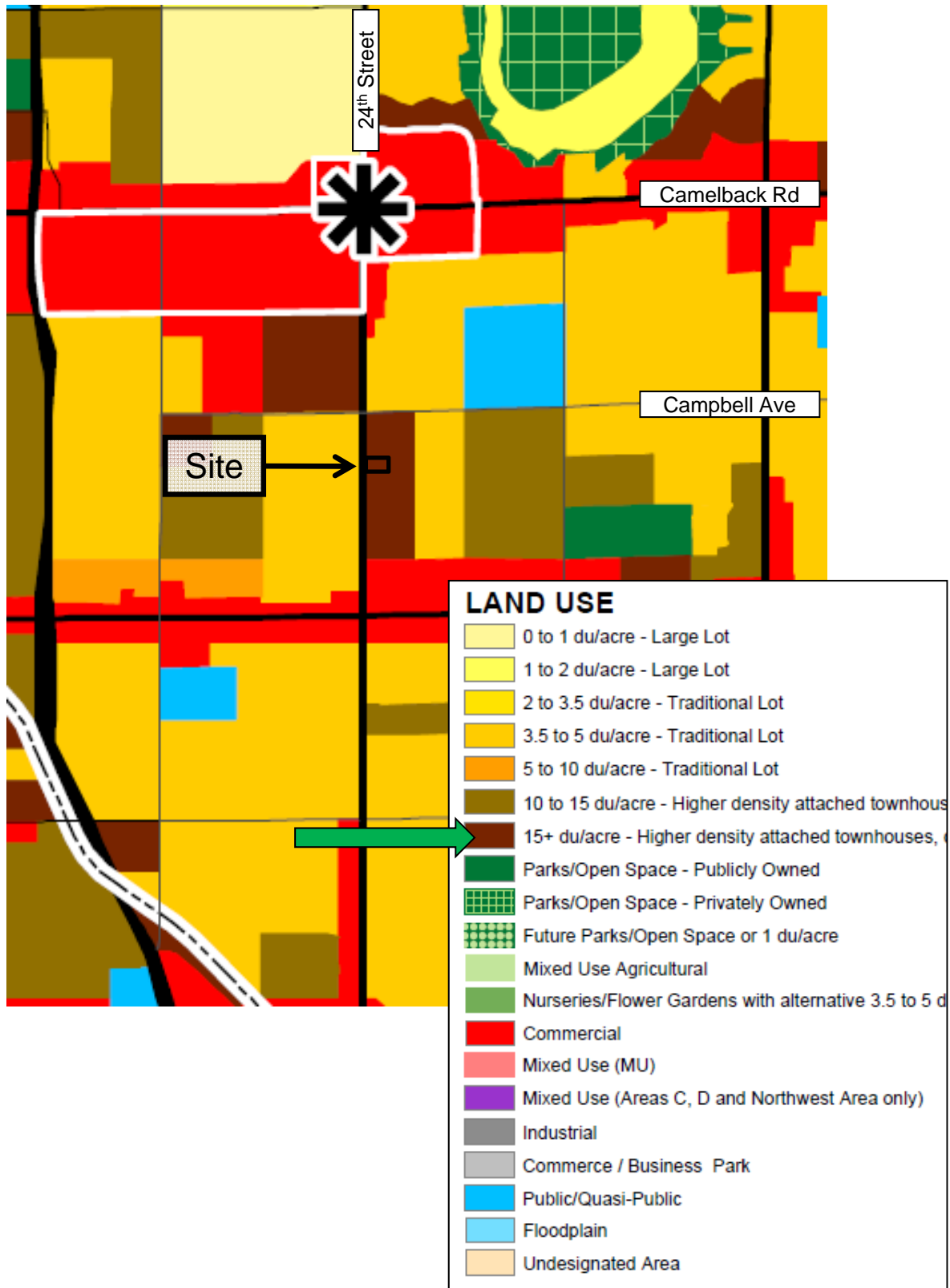
13



14

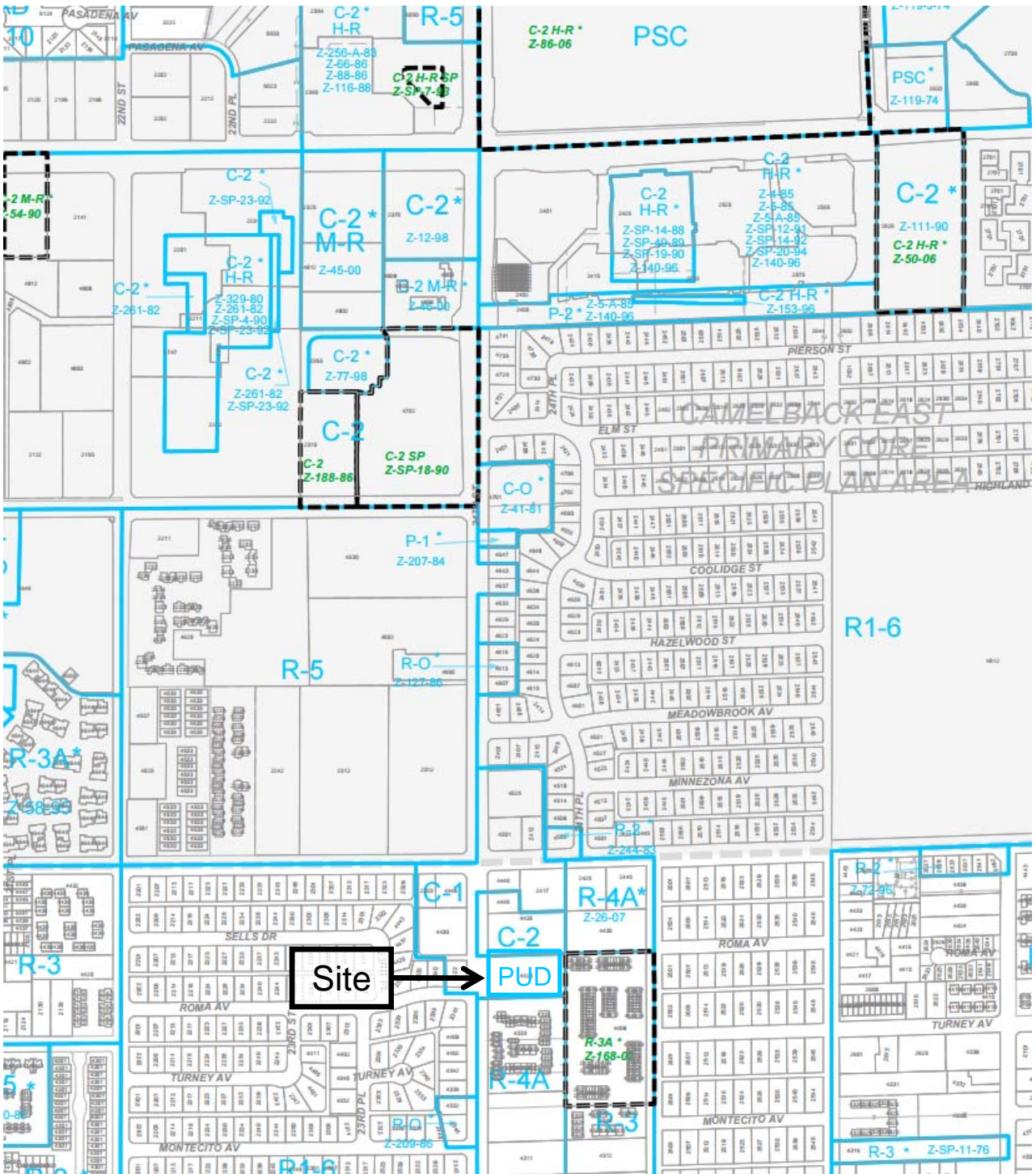
General Plan Map

Exhibit L



Proposed Zoning Map

Exhibit N



Building Cross Section

Exhibit O



CROSS SECTION B (24TH STREET LOOKING EAST)

SCALE: 1/16" = 1'-0"

NEW COMMERCIAL DEVELOPMENT
 SEC 24TH STREET AND CAMPBELL
 PHOENIX, ARIZONA
 DATE: 01-13-2016 (PRELIMINARY)

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Comparative Zoning Standards Table

Exhibit Q

STANDARDS	C-1 ZONING	PUD ZONING
DENSITY NUMBER OF D.U.	MAXIMUM 15.23; 17.40 D.U. PER ACRE WITH BONUS	0 DU/ACRE
MINIMUM LOT WIDTH/DEPTH	NONE	NONE
BUILDING SETBACKS	<p>24TH STREET: 30'*; MINIMUM 20' PERMITTED FOR UP TO 50% OF STRUCTURE, INCLUDING PROJECTIONS</p> <p>ADJACENT TO C-2 (NORTH): 0'</p> <p>ADJACENT TO R-3A (EAST): 30'</p> <p>ADJACENT TO R-4A (SOUTH):30'</p> <p>*AVERAGE</p>	<p>24TH STREET: MINIMUM 10'</p> <p>ADJACENT TO C-2 (NORTH): MINIMUM 29'</p> <p>ADJACENT TO R-3A (EAST): MINIMUM 17'</p> <p>ADJACENT TO R-4A (SOUTH): MINIMUM 11'</p>
LANDSCAPE SETBACKS	<p>24TH STREET: 30' AVERAGE; MINIMUM 20' FOR UP TO 50% OF THE FRONTAGE</p> <p>ADJACENT TO C-2: NONE</p> <p>ADJACENT TO R-3A (EAST): MIN. 10'</p> <p>ADJACENT TO R-4A (SOUTH): MIN. 10'</p>	<p>24TH STREET: MINIMUM 10'</p> <p>ADJACENT TO C-2 (NORTH): MINIMUM 3'</p> <p>ADJACENT TO R-3A (EAST): MINIMUM 17'</p> <p>ADJACENT TO R-4A (SOUTH): MINIMUM 11'</p>
HEIGHT	<p>COMMERCIAL: 2 STORIES AND 30'; MULTIPLE FAMILY: 2 STORIES AND 30' (EXCEPT THAT 3 STORIES NOT EXCEEDING 30' ARE PERMITTED WHEN APPROVED BY THE DESIGN ADVISOR FOR DEMONSTRATING ENHANCED ARCHITECTURE)</p>	<p>34' TO ROOF LINE</p>
LOT COVERAGE	MAXIMUM 50%	MAXIMUM 63%