



City of Phoenix
 PLANNING AND DEVELOPMENT DEPARTMENT

Staff Report Z-67-15-2
 December 23, 2015

Desert View Village Planning Committee Meeting Date: January 5, 2016
Planning Commission Hearing Date: January 14, 2016
Request From: S-1 (9.90 acres)
Request To: R1-10 (9.90 acres)
Proposed Use: Single Family Residential
Location: Approximately 670 feet west of the northwest corner of 43rd Street and Lone Mountain Road.
Owner: 45 Lamar LLC
Applicant/Representative: Towne Development LLC; Adam Baugh, Withey Morris
Staff Recommendation: Approval, subject to stipulations

| General Plan Conformity | | | |
|--|--------------------|-------------------------|---------------------------|
| General Plan Land Use Designation | | Residential 0-2 du/acre | |
| Street Map Classification | Lone Mountain Road | Major Arterial | 55 foot north half street |
| <p><i>CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; CERTAINTY AND CHARACTER; DESIGN PRINCIPLE: Protect and enhance the character of each neighborhood and its various housing lifestyles through new development that is compatible in scale, design, and appearance.</i></p> <p>The proposed development is consistent with the scale, design, and appearance of the surrounding area. The proposal provides a high percentage of open space, integration of natural washes, and increased setback along Lone Mountain Road.</p> | | | |
| <p><i>BUILD THE SUSTAINABLE DESERT CITY CORE VALUE; RIVERS, WASHES AND WATERWAYS; CODES TOOL: Require developments adjacent to canal banks, major washes, rivers, and drainage corridors to utilize current standards and guidelines.</i></p> | | | |

The applicant has proposed a majority of low-profile ranch style homes designed to protect the view sheds of existing adjacent properties and has configured the lot layout to protect the natural washes that currently run through the subject property.

BUILD THE SUSTAINABLE DESERT CITY CORE VALUE; RIVERS, WASHES AND WATERWAYS; CODES TOOL: Require developments adjacent to canal banks, major washes, rivers, and drainage corridors to utilize current standards and guidelines.

The proposed development is integrating natural washes into the site design. The proposal also provides an increased landscape setback along the south property line with grading and landscaping to mimic the natural desert environment.

Area Plan

North Land Use Plan designates this area as Residential 0-1.5 du/ac. The plan recognizes the importance that the rural character and lifestyle play in determining appropriate land use densities. The proposed 2.02 du/acre project exceeds the North Land Use Plan density cap of 1.5 du/acre however the proposal meets the intent of the North Land Use Plan by preserving the naturally occurring wash and reestablishing a natural desert landscape within the development constraints of the subject site.

Surrounding Land Uses/Zoning

| | <u>Land Use</u> | <u>Zoning</u> |
|----------------|----------------------------|---------------|
| On Site | Office and outdoor storage | S-1 |
| North | Single Family Residential | RU-43 COUNTY |
| South | Single Family Residential | R1-6 |
| East | Plant Nursery | S-1 |
| West | Single Family Residential | S-1 |

R1-10 Single Family

**if variance required*

| <u>Standards</u> | <u>Requirements</u> | <u>Proposed site Plan</u> |
|-----------------------|---------------------|---------------------------|
| Development Option | PRD | PRD |
| Gross Acreage | - | 9.90 acres |
| Total Number of Units | - | 20 units |
| Density | 3.5, 4.5 with bonus | 2.02 du/acre (not met) |

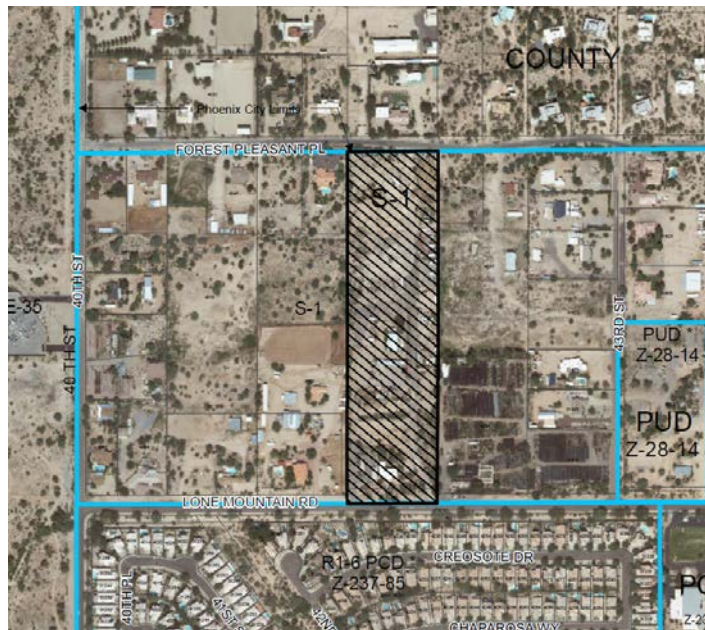
| | | |
|--|--|------------------------------------|
| Typical Lot Size | 45 minimum width, no minimum depth | 80' x 130' (met) |
| Subject to Single Family Design Review | Yes | Yes |
| Open Space | Minimum 5% gross | 25% (met) |
| Perimeter Setbacks | | |
| Street (Front, rear or side) | 15' (in addition to landscape setback) | 140' (met) |
| Property Line (rear) | 15' (1 story), 20' (2 story) | 15' (1 story), 20' (2 story) (met) |
| Property Line (side) | 10' (1 story), 15' (2 story) | 10' (1 story), 15' (2 story) (met) |
| Lot Coverage | Primary Structure 40%, Total 50% | Not Shown |

Background/Issues/Analysis

SUBJECT SITE

1. This request is to rezone a 9.90 acre site located approximately 670 feet west of the northwest corner of 43rd Street and Lone Mountain Road from S-1 (Farm Residence) to R1-10 (Single Family Residential) to allow Single Family Residential.

2. The subject site is currently used as a business office that existed prior to annexation and also includes individual outdoor storage and contractor yards. To the north is single family residential uses located outside of the city limits. To the west and south are single family residential uses, and to the east is an existing plant nursery use.



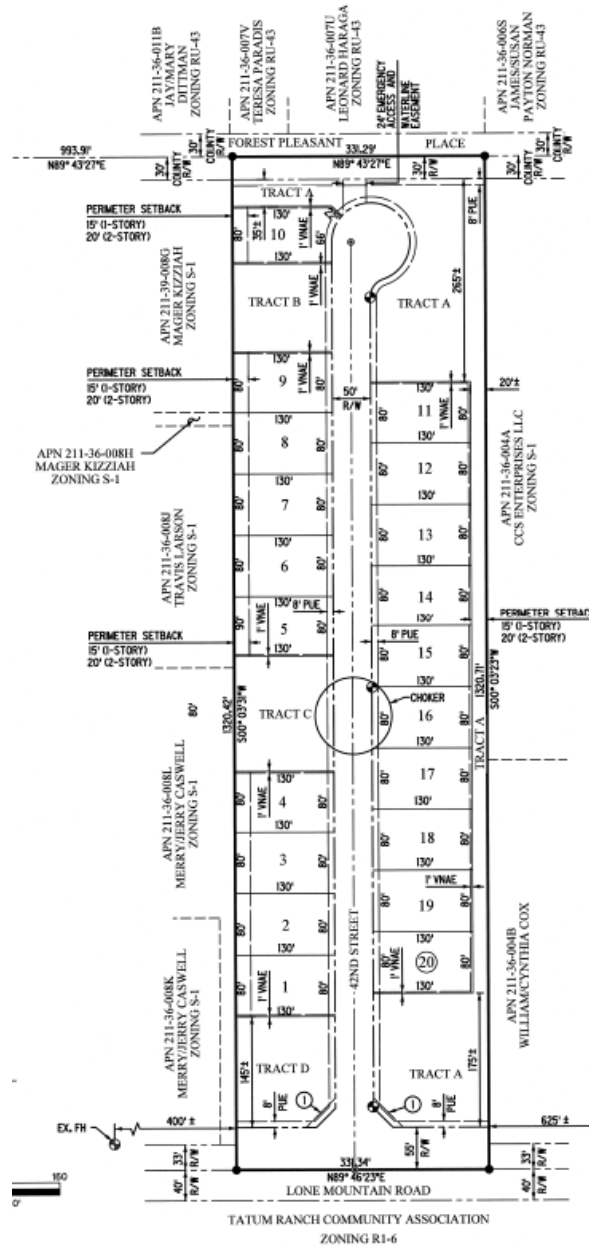
3. The General Plan Land Use Map designation is Residential 0-2 du/acre with a density cap of 1.5 du/acre. Although the proposal is not consistent with the

General Plan designation, an amendment is not required as the subject site is less than 10 acres. The subject site includes a half street dedication along Forest Pleasant Place as reviewed and approved by the Maricopa County Department of Transportation. The exclusion of this portion of the subject site from the proposal has reduced the gross acreage from 10.04 acres to 9.90 acres therefore increasing the proposed density from 1.99 du/acre to 2.02 du/acre. Staff acknowledges this development constraint of the subject site.

PROPOSAL

4. The site plan depicts a 20 unit subdivision with existing washes that run through the north and southeast portions of the subject parcel. The typical lot sizes are 10,400 square feet (80-foot x 130-foot) with approximately 20% open space provided. Primary ingress and egress will be provided from Lone Mountain Road. Staff is recommending a stipulation of general conformance to the site plan and elevations date stamped October 28, 2015 with specific regard to lots, open space, and lot widths to ensure compatibility with the existing character of the area.

5. To improve safety of existing washes and proposed open space, staff is recommending a stipulation that the development utilize view fencing for homes that back and side common open space tracts. View fencing provides visual access to open spaces to allow passive enjoyment and visual monitoring in order to discourage undesirable activity.



6. The site plan depicts a 140 foot landscape setback along the south property line adjacent to Lone Mountain Road. Staff is recommending a stipulation to ensure an average 100 foot landscape setback is to be graded and planted to mimic the natural desert landscape along the south property line.

STREETS

7. The Street Transportation Department has indicated that the developer shall complete and submit the Developer Project Information Form for the MAG Transportation Improvement Program. A stipulation has been recommended to address this request.
8. The Street Transportation Department has indicated that the developer shall update all existing off-street improvements to current ADA guidelines. A stipulation has been recommended to address this request.

OTHER

9. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonments, may be required.

Findings

1. The proposed site plan, as stipulated, is compatible with the surrounding land use patterns in the area.
2. The development character respects the natural topography of the area and incorporates existing washes into the overall design.

Stipulations

1. The development shall be in general conformance with the site plan and elevations date stamped October 28, 2015, as modified by the following stipulations and approved by the Planning and Development Department with specific regard to the following:
 - A. The development shall not exceed 20 lots.
 - B. A minimum of 20% open space shall be provided.
 - C. The minimum residential lot width shall be 80 feet.

2. No more than 7 lots shall be two story as shown on Exhibit A, as approved by the Planning and Development Department.
3. An average 100-foot landscape setback shall be graded and planted to mimic natural desert landscape along the south property line, as approved by the Planning and Development Department.
4. The development shall utilize view fencing for the homes that side common open space tracts, as approved by the Planning and Development Department.
5. The applicant shall complete and submit the Developer Project Information Form for the MAG Transportation Improvement Program to Mr. Alan Hilty, (602)262-6193, with the Street Transportation Department. This form is a requirement of the EPA to meet clean air quality requirements.
6. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals as per plans approved by the City. All improvements shall comply with all ADA accessibility standards.

Writer

Joél Carrasco

December 10, 2015

Joshua Bednarek

Attachments

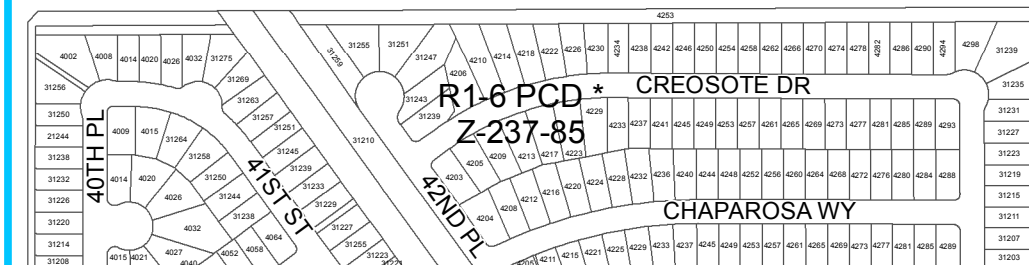
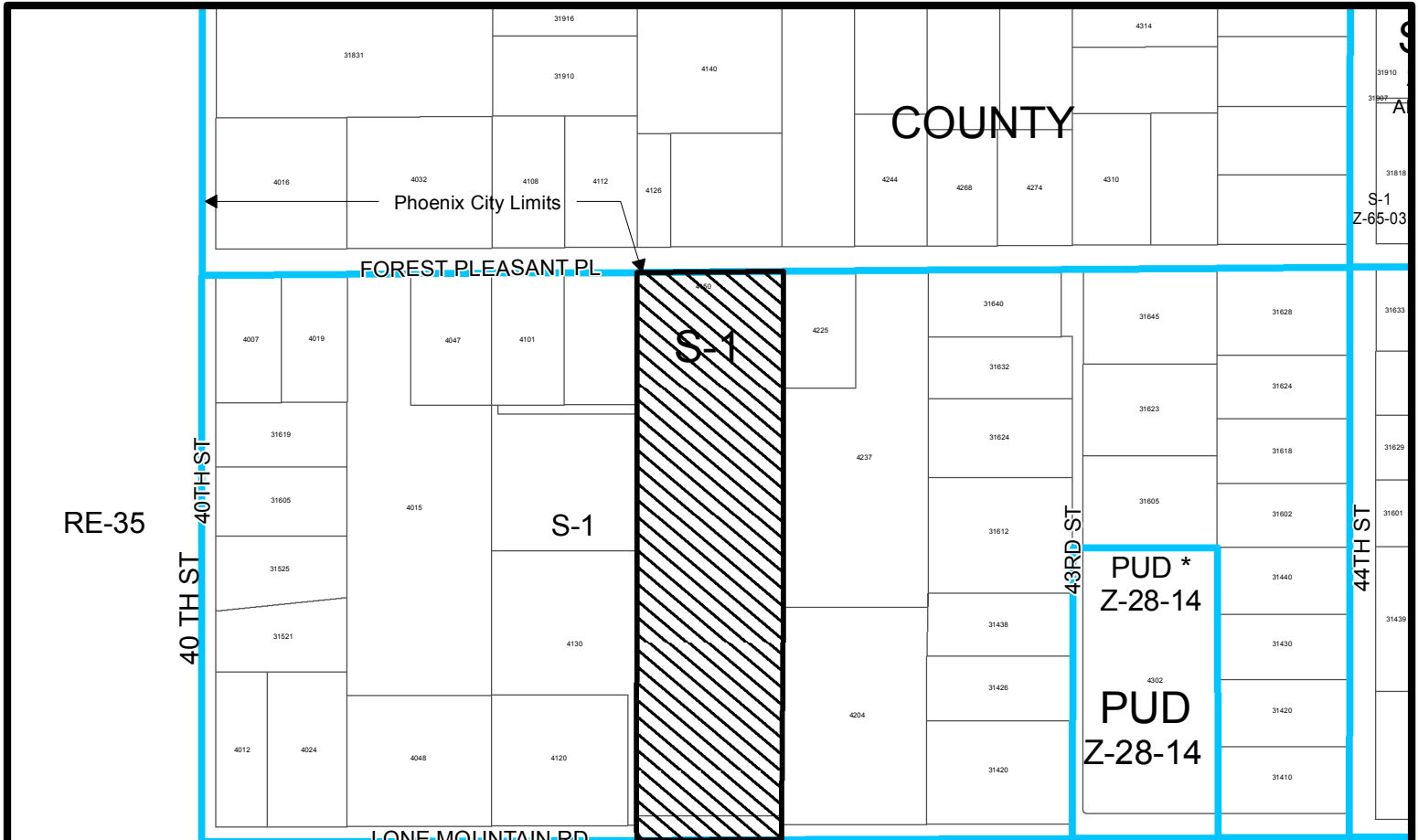
Zoning sketch

Aerial

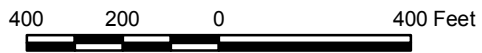
Site plan dated October 28, 2015 (1 pages)

Elevations dated October 28, 2015 (6 pages)

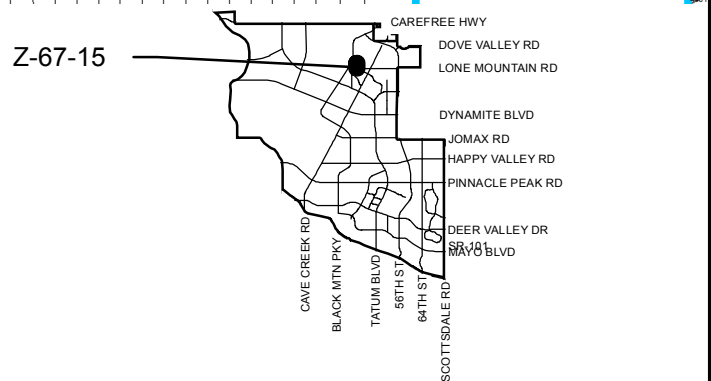
Exhibit A (1 page)



PCD * Z-237-85
 PCD * Z-237-A-85
 PCD * Z-237-A-85

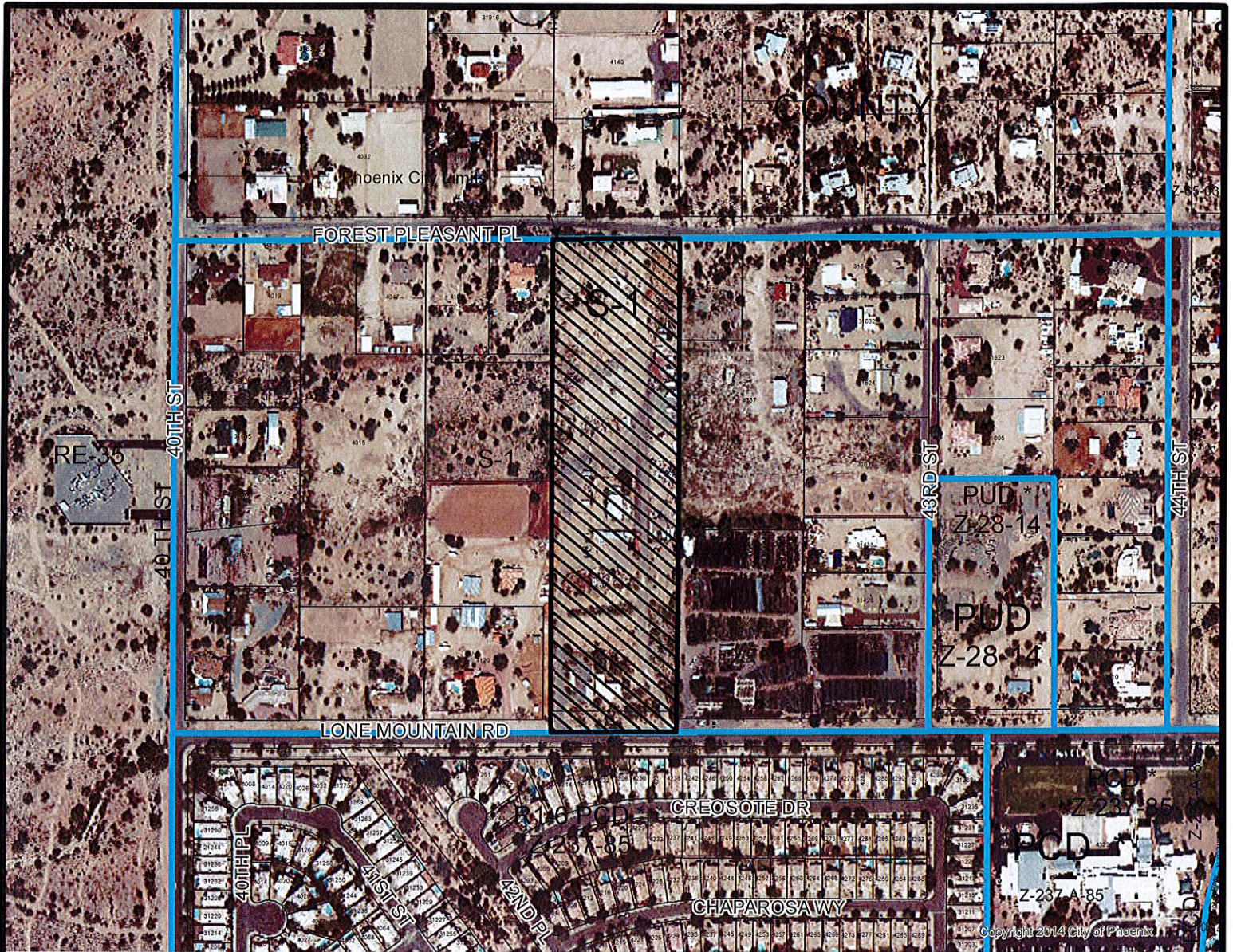


CITY OF PHOENIX PLANNING DEPARTMENT
DESERT VIEW VILLAGE
 CITY COUNCIL DISTRICT: 2



| | | | |
|---|--|--|--|
| APPLICANT'S NAME: Towne Development LLC | | REQUESTED CHANGE: FROM: S-1 (9.90 a.c.) TO: R1-10 (9.90 a.c.) | |
| APPLICATION NO. Z-67-15 | DATE: 11/9/15 | REVISION DATES: | |
| GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX. 9.90 Acres | AERIAL PHOTO & QUARTER SEC. NO. QS 55-37 | ZONING MAP Q-10 | |
| MULTIPLES PERMITTED S-1 R1-10 | CONVENTIONAL OPTION 9 29 | * UNITS P.R.D. OPTION 9 41 | |

* Maximum Units Allowed with P.R.D. Bonus



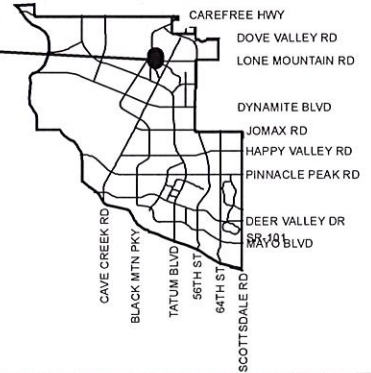
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CITY OF PHOENIX PLANNING DEPARTMENT

DESERT VIEW VILLAGE

CITY COUNCIL DISTRICT: 2

Z-67-15



APPLICANT'S NAME: **Towne Development LLC**

REQUESTED CHANGE:

APPLICATION NO. **Z-67-15**

DATE: **11/9/15**
REVISION DATES:

FROM **S-1 (9.90 a.c.)**

GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.

9.90 Acres

AERIAL PHOTO & QUARTER SEC. NO.
QS 55-37

ZONING MAP
Q-10

TO: **R1-10 (9.90 a.c.)**

MULTIPLES PERMITTED

CONVENTIONAL OPTION

*** UNITS P.R.D. OPTION**

S-1

9

9

R1-10

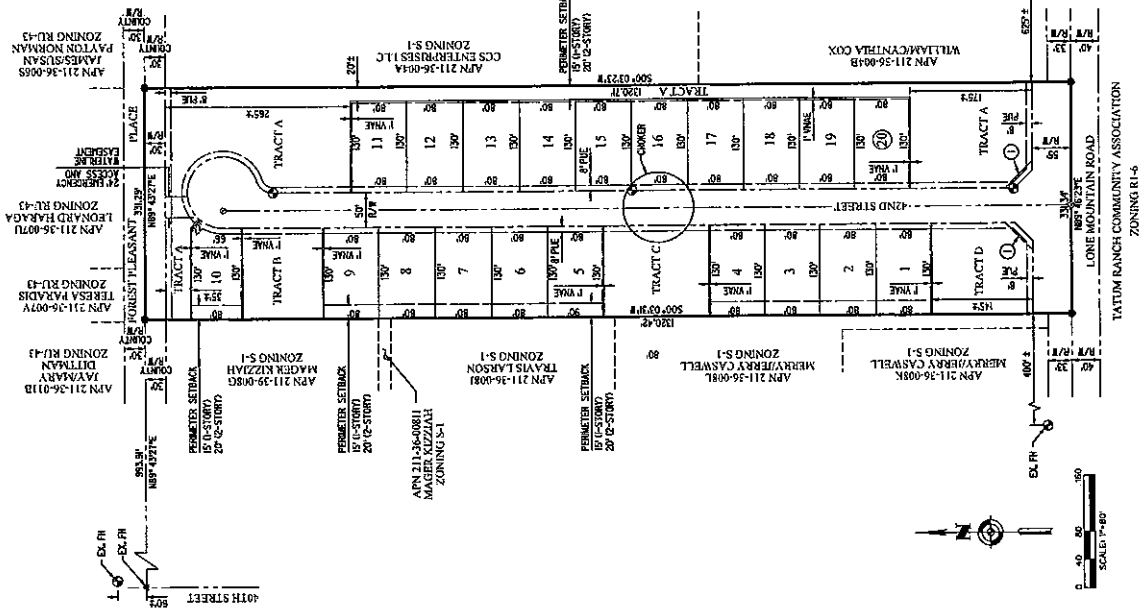
29

41

* Maximum Units Allowed with P.R.D. Bonus

REZONING SITE PLAN
FOR

43RD STREET & LONE MOUNTAIN
AN R1-10 PLANNED RESIDENTIAL SUBDIVISION SUBJECT TO SINGLE FAMILY DESIGN REVIEW
A PORTION OF SECTION 18, TOWNSHIP 5 NORTH, RANGE 4 EAST,
OF THE GILA AND SALT RIVER MERIDIAN,
MARICOPA COUNTY, ARIZONA.

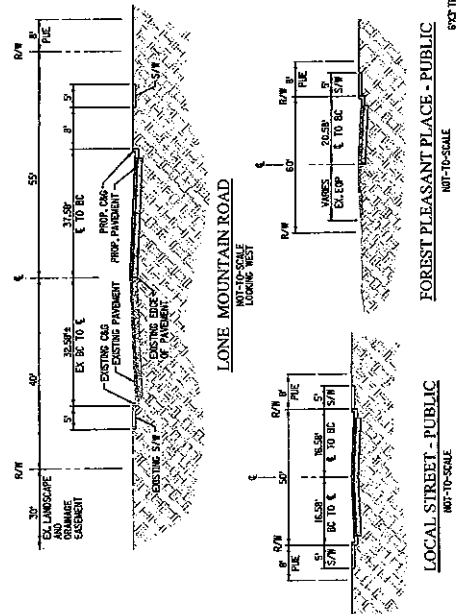


LEGEND

| | |
|------------------------|-------------------------------|
| REZONING BOUNDARY LINE | MINIMUM |
| ADJACENT PARCEL LINE | TYPICAL |
| CENTER LINE | R/W |
| EASEMENT LINE | RIGHT-OF-WAY |
| RIGHT-OF-WAY | PUBLIC UTILITY EASEMENT |
| LOT LINE | BACK-OF-CURB |
| CENTRILINE | SEWER/VA |
| W/HE | VEHICULAR NON-ACCESS EASEMENT |
| FIRE HYDRANT | EASMENT |
| FIRE | CUB & GUTTER |
| EDP | 30x25 SHORT MOBILITY TRIANGLE |

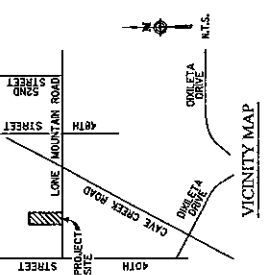
TRACT TABLE

| TRACT | USE |
|-------|---|
| A | FIRE EASEMENT, ACCESS/WATER LINE EASEMENT, DRAINAGE, RETENTION, LANDSCAPE |
| B | FIRE, LANDSCAPE, DRAINAGE, RETENTION |
| C | FIRE, LANDSCAPE, DRAINAGE, RETENTION |
| D | FIRE, LANDSCAPE, DRAINAGE, RETENTION |



LOCAL STREET - PUBLIC
NOT-TO-SCALE

FOREST PLEASANT PLACE - PUBLIC
NOT-TO-SCALE



APPLICANT
HOSKIN BY TORRE, DATE 4/02
PHONIX 412 252-8355 | FAX 480 252-8355
CONTACT: MARGARET ABLE
TEL: 480 252-8355

ENGINEER
HOSKIN RYAN CONSULTANTS, INC.
1000 PHOENIX RD SUITE 8501
PHOENIX, AZ 85024
TEL: 480 252-8355
WWW.HOSKINRYAN.COM
CONTACT: MATT WHELAN & MARGARET ABLE
EMAIL: MATT@HOSKINRYAN.COM

PROJECT DESCRIPTION
THE PROJECT IS A SINGLE FAMILY RESIDENTIAL DEVELOPMENT WITH A CROSS SECTION OF 180' ON A/C. STANDARD LOT SIZES ARE 10,000 SQ FT. THE EXISTING ZONING IS S-1 AND THE PROPOSED ZONING IS R1-10.

ZONING
THE EXISTING ZONING IS S-1. THE PROPOSED ZONING IS R1-10. PER THE CITY OF PHOENIX COMMUNICATIONS DEPARTMENT, THE PROPOSED ZONING IS R1-10.

PROPOSED UTILITIES
TELEPHONE - CENTURY LINK/COX COMMUNICATIONS
ELECTRIC - APS
GAS - WEST GAS COMPANY
CABLE TV - COMCAST COMMUNICATIONS
SEWER/WATER - CITY OF PHOENIX
FIRE - CITY OF PHOENIX
WATER - CITY OF PHOENIX
SANITATION - CITY OF PHOENIX

SITE DATA
TOTAL LOT AREA - 20,000 SQ FT
TOTAL LOT AREA - 20,000 SQ FT
GROSS AREA INCLUDING R/W - 20,000 SQ FT
GROSS AREA EXCLUDING R/W - 18,000 SQ FT
MAXIMUM HEIGHT - 35' MAX
SETBACKS - SEE LAYOUT LOT DETAIL
SERVICES - SEE LAYOUT LOT DETAIL
AREA OF PUBLIC R/W - 200' WIDE
LOT COVERAGE ALLOWED - 40% PRIMARY, 50% TOTAL

NOTES:
1. SETBACK WALLS TO BE DETERMINED DURING FINAL DESIGN AND SHALL ADHERE TO CITY OF PHOENIX STANDARDS.
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9. SETBACK WALLS TO BE DETERMINED DURING FINAL DESIGN AND SHALL ADHERE TO CITY OF PHOENIX STANDARDS.
10. SETBACK WALLS TO BE DETERMINED DURING FINAL DESIGN AND SHALL ADHERE TO CITY OF PHOENIX STANDARDS.



TYPICAL LOT LAYOUT - 80' WIDE
NOT-TO-SCALE

HOSKIN RYAN CONSULTANTS, INC.
CREATIVE ENGINEERING SOLUTIONS
6245 N. 24TH AVE. SUITE 100 PHOENIX, AZ 85016
TEL: 480 252-8355 | FAX: 480 252-8355
WWW.HOSKINRYAN.COM

REZONING SITE PLAN
43RD STREET & LONE MOUNTAIN

PROJECT NO. 15-050-01
SHEET 1 OF 1
DATE: 10/28/2015

OCT 28 2015

Planning & Development
Department

CITY OF PHOENIX



KLING STUBBINS

CITY OF PHOENIX
OCT 31 2015
Planning & Development
Department



CITY OF PHOENIX

OCT 28 2015

Planning & Development
Department



CITY OF PHOENIX

OCT. 28, 2015

Planning & Development
Department



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CITY OF PHOENIX
OCT 8 & 2015
Planning & Development
Department

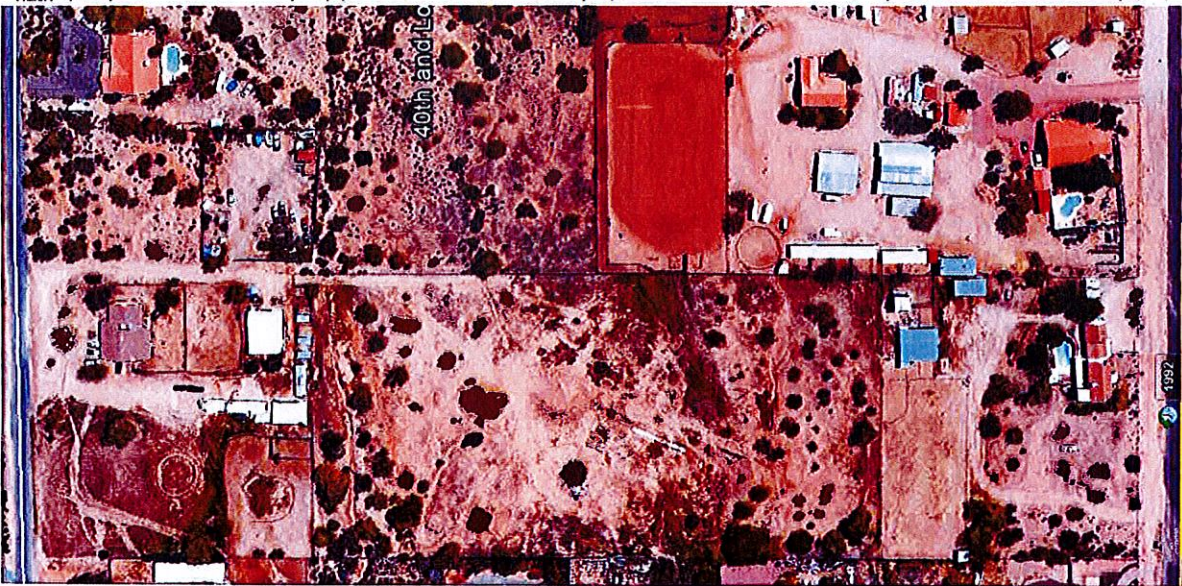
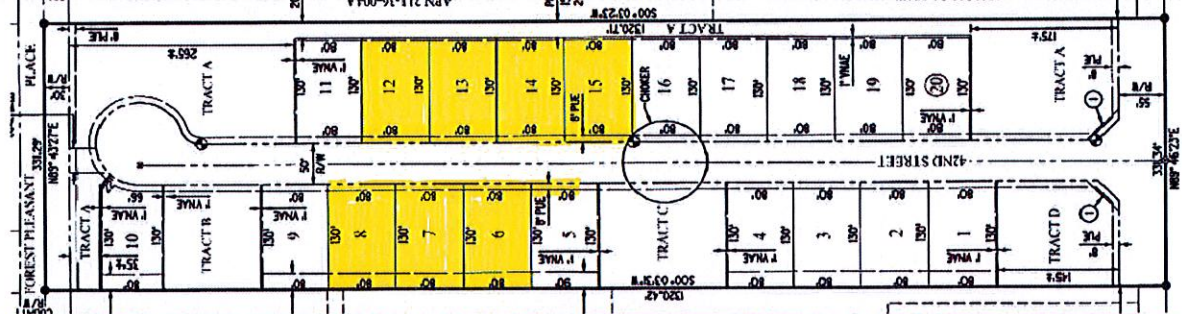


CITY OF PHOENIX
851 51 510
Phoenix Department
of Public Works



CITY OF PHOENIX
BC 18 005
Planning & Development
Expenditures

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33°46'18.88"N 111°59'27.29"W elev: 1872 ft eye alt: 3796 ft

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EXHIBIT "A"