



**City of Phoenix**  
 PLANNING AND DEVELOPMENT DEPARTMENT

**Staff Report Z-65-19-2**  
**February 13, 2020**

**Desert View Village Planning Committee** Meeting Date: March 3, 2020  
**Planning Commission** Hearing Date: April 2, 2020  
**Request From:** [RE-35 \(Single-Family Residence District\)](#) (7.67 acres)  
**Request To:** [R1-10 \(Single-Family Residence District\)](#) (7.67 acres)  
**Proposed Use:** Single-family residential  
**Location:** Northeast corner of 42nd Street and Peak View Road  
**Owner:** Roger Malcolm  
**Applicant:** Michael S. Buschbacher II, Hunter Engineering Inc.  
**Representative:** Ron Homyak, Cachet Homes  
**Staff Recommendation:** Approval, subject to stipulations

<b><u>General Plan Conformity</u></b>			
<b><u>General Plan Land Use Map Designation</u></b>		Residential 2 to 5 dwelling units per acre Residential 0 to 2 dwelling units per acre	
<b><u>Street Map Classification</u></b>	Peak View Road	Collector	40-foot north half right-of-way easement
	42nd Street	Local	30-foot east half right-of-way easement
<b><i>CONNECT PEOPLE AND PLACES CORE VALUE; OPPORTUNITY SITES; LAND USE PRINCIPLE: Support reasonable levels of increased intensity, respectful of local conditions and surrounding neighborhoods.</i></b>			

The site is currently a single-family ranch residence adjacent to similar properties to the east and south. The proposed increase in density will provide additional housing options in the area while still being mindful of the character of the surrounding area.

***CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; CERTAINTY AND CHARACTER; DESIGN PRINCIPLE: Protect and enhance the character of each neighborhood and its various housing lifestyles through new development that is compatible in scale, design, and appearance.***

A reasonable increase in density on this property will provide compatibility with smaller lot single-family subdivisions to the north and southwest of the site while remaining compatible in design and scale to the surrounding community. With the RE-35 and S-1 lots to the east and south, and the R1-6 lots to the southwest and north of the site, the development of R1-10 lots will be compatible with existing conditions and will act as an appropriate transition between the different lot sizes present in the area. The proposed home designs are consistent with other homes in the area.

***CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; CERTAINTY AND CHARACTER; DESIGN PRINCIPLE: Require appropriate transitions/buffers between neighborhoods and adjacent uses.***

The development of the site as a single-family subdivision will provide an appropriate transition between the existing ranch residences and the single-family residential subdivisions in the area. This project will further serve as a buffer between the self-storage facilities to the west of the site and the remainder of the neighborhood.

***CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; CERTAINTY AND CHARACTER; DESIGN PRINCIPLE: Enhance the compatibility of residential infill projects by carefully designing the edges of the development to be sensitive to adjacent existing housing.***

Lots that abut the large ranch residences to the east will be limited to a maximum height of one story and twenty feet, and include larger lot widths, to provide a reasonable buffer between the existing neighborhood conditions and the new development.

***BUILD THE SUSTAINABLE DESERT CITY CORE VALUE; TREES AND SHARE; DESIGN PRINCIPLE: Integrate trees and shade into the design of new development and redevelopment projects throughout Phoenix.***

The proposal, as stipulated, will provide tree-shaded sidewalks which will help to increase pedestrian activity and reduce the urban heat island effect.

<b>Applicable Plans, Overlays and Initiatives</b>
<a href="#"><u>North Land Use Plan</u></a> – See Background Item No. 4.
<a href="#"><u>Tree and Shade Master Plan</u></a> – See Background Item No. 8.
<a href="#"><u>Complete Streets Guiding Principles</u></a> – See Background Item No. 9.
<a href="#"><u>Reimagine Phoenix</u></a> – See Background Item No. 10.

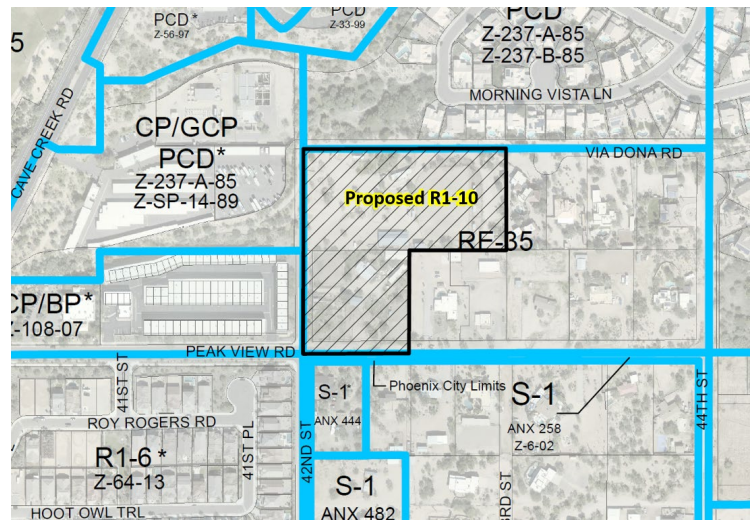
<b>Surrounding Land Uses/Zoning</b>		
	<b><u>Land Use</u></b>	<b><u>Zoning</u></b>
<b>On Site</b>	Single-family residence	RE-35
<b>North</b>	Single family residences	R1-6 PCD
<b>South</b>	Single-family residences	RE-35, S-1, County RU-43
<b>East</b>	Single-family residences	RE-35
<b>West</b>	Self-storage facilities	CP/BP, CP/GCP SP PCD

<b>R1-10 Single-Family (Planned Residential Development Option)</b>		
<b><u>Standards</u></b>	<b><u>Requirements</u></b>	<b><u>Proposed Site Plan</u></b>
Gross Acreage	-	7.67 acres
Total Number of Units	-	23
Density (du/ac)	3.5; 4.5 with bonus	Met – 3.0
Minimum lot width	45-foot minimum	Met – 70 feet
Common landscaped setback adjacent to perimeter streets (Peak View Road)	15 feet average, 10 feet minimum	Not shown
Minimum Perimeter Setbacks	<u>Street (Peak View Road):</u> 15 feet  <u>Rear:</u> 15 feet (1-story), 20 feet (2-story) <u>Side:</u> 10 feet (1-story), 15 feet (2-story)	<u>Street (Peak View Road):</u> Not shown  <i>All 1-story</i> <u>Rear:</u> 15 feet – Met <u>Side:</u> Not shown

	<b>R1-10 Single-Family</b>	<b>*if variance required</b>
Minimum Interior Setbacks	<u>Front:</u> 10 feet <u>Rear:</u> none (established by Building Code);  <u>Street side:</u> 10 feet <u>Side:</u> none (established by Building Code)	<u>Front:</u> 10 feet – Met <u>Rear:</u> 15 feet – Met  <u>Street side:</u> Not shown <u>Side:</u> 5 feet – Met
Lot Coverage	40%; 50% including shade structures	Not shown
Common Areas	Minimum 5% of gross area	11% – Met

**Background/Issues/Analysis**

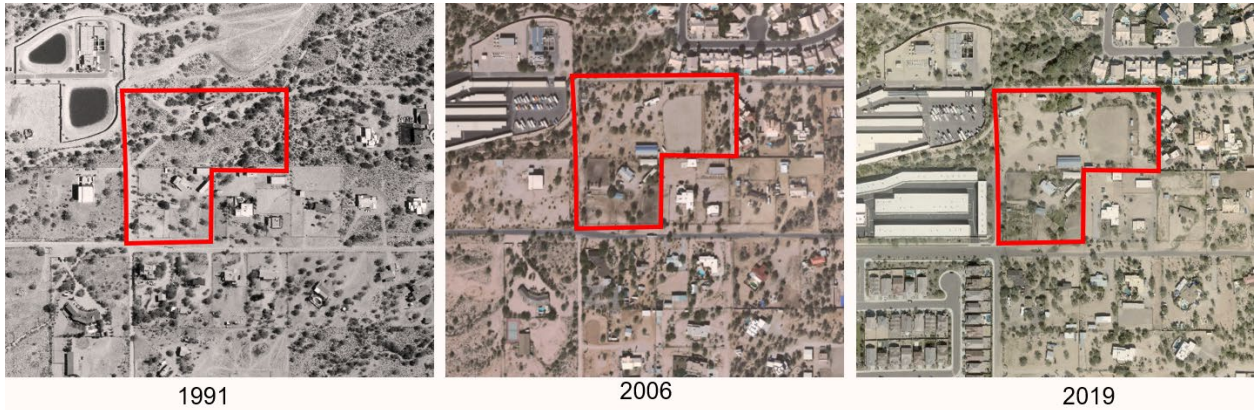
1. This is a request to rezone a 7.67-acre site located at the northeast corner of 42nd Street and Peak View Road from RE-35 (Residential Estate District) to R1-10 (Single-Family Residence District) to allow a single-family residential subdivision by Cachet Homes. The site is currently zoned RE-35 and, although it is located within the general area of the Tatum Ranch Planned Community District (PCD), it is not part of the PCD.



Source: City of Phoenix Planning and Development Department

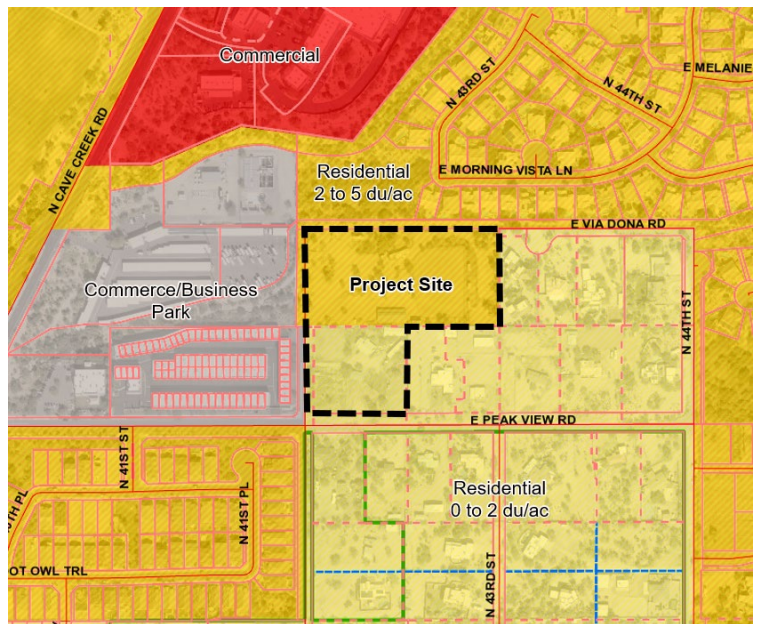


2. The subject site was annexed into the City of Phoenix on January 19, 1975 under Annexation No. 121. The majority of the area was vacant land in 1991, with some large-lot single-family residences scattered throughout. Over time, the area has been developed into mostly single-family residential subdivisions, with some commercial uses to the west of the site along Cave Creek Road. The proposed development is similar in nature and design to the single-family residential subdivisions to the northeast and southwest of the site, which are zoned R1-6 (Single-Family Residence District).



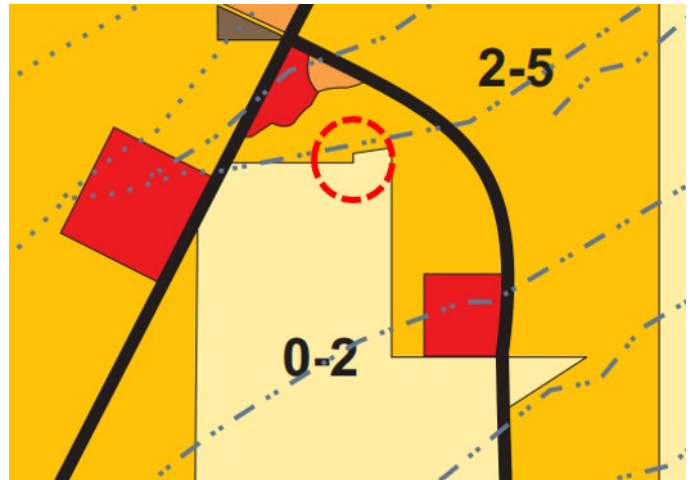
Source: Maricopa County Historical Aerials

3. The site has General Plan Land Use map designations of Residential 0 to 2 dwelling units per acre on the southern portion and Residential 2 to 5 dwelling units per acre on the northern portion. The northern portion is approximately 5 acres and, at a maximum allowed density of 5 dwelling units per acre, per the General Plan, can contain up to 25 units on site. The southern portion is approximately 2.7 acres, with a maximum density designation of 2 dwelling units per acre, which would result in a maximum of 5 dwelling units (rounded down from 5.4). As such, the entire project site permits a maximum of 30 dwelling units. The proposed development has a total of 23 dwelling units across both portions. As a combined development, the project will be consistent with the General Plan density designations.



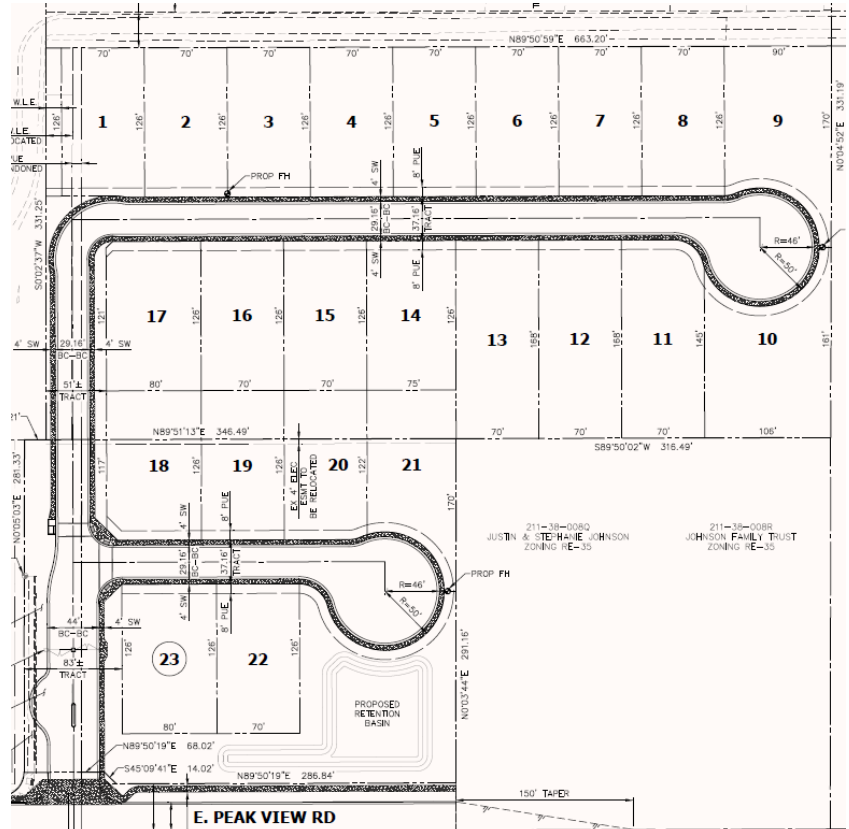
Source: City of Phoenix Planning and Development Department

4. The project site is located within the boundaries of the North Land Use Plan, which designates this area as Residential 0 to 2 dwelling units per acre on the southern portion of the site and 2 to 5 dwelling units per acre on the northern portion of the site. The North Land Use Plan was created in 1997 with the purpose of establishing growth patterns while preserving the desert landscape and character of the area. The plan recognizes the importance that the rural character and lifestyle play in determining appropriate land use densities. Similar to the General Plan Land Use Map designations, the North Land Use Plan lists two density designations for the project site: the northern portion is designated Residential 2 to 5 dwelling units per acre, and the southern portion is designated Residential 0 to 2 dwelling units per acre. As explained in Background Item No. 3, the development is permitted up to 30 dwelling units across the combined north and south parcels. The developer is proposing 23 residential lots, which is under the maximum allowed density. Further, staff is recommending that 23 lots be the maximum allowed on this site, which is addressed in Stipulation No. 3.



*Source: City of Phoenix Planning and Development Department*

5. The site plan depicts 23 single-family residential units under the Planned Residential Development option of the R1-10 zoning district. The common landscape area is located on the southeastern portion of the site and serves as a buffer between the project site and the property directly adjacent to the east, as well as providing some natural visual interest to the streetscape. The project will be a gated and contains two cul-de-sac interior streets. The site plan submitted with the request shows a minimum lot width of 70 feet.



Source: Hunter Engineering

However, due to considerable site constraints such as water easement locations, street layouts and requirements regarding open space, landscaping, and pedestrian connectivity (see below), the minimum sizes of the lots are likely to fluctuate through the development process. The Planned Residential Development option of the R1-10 zoning requires a minimum lot size of 45 feet. To ensure that the proposed lots are compatible in scale to the surrounding neighborhoods, staff is recommending a minimum lot width of 65 feet, per Stipulation No. 4. The homes directly adjacent to the east of the project site are large lot residences. To minimize impact to these homes, staff is recommending that the development shall be limited to a maximum of 23 residential lots, per Stipulation No. 3, and all lots that abut the large lot neighbors will be limited to one story in height, per Stipulation No. 2.

6. Conceptual elevations were not submitted as part of this rezoning request. The Single-Family Design Review Standards in the Zoning Ordinance address building elements including, but not limited to the buildings' interface with the street, driveway orientation, street orientation, housing diversity, color diversity, roof diversity, building materials, plant palettes, exterior detailing, and garage treatment. Single-family design review is required for lots less than 65 feet in width. Although the proposed residential lots meet the threshold to not require Single-Family Design Review, staff is recommending Stipulation No. 1 to ensure high quality elevations.



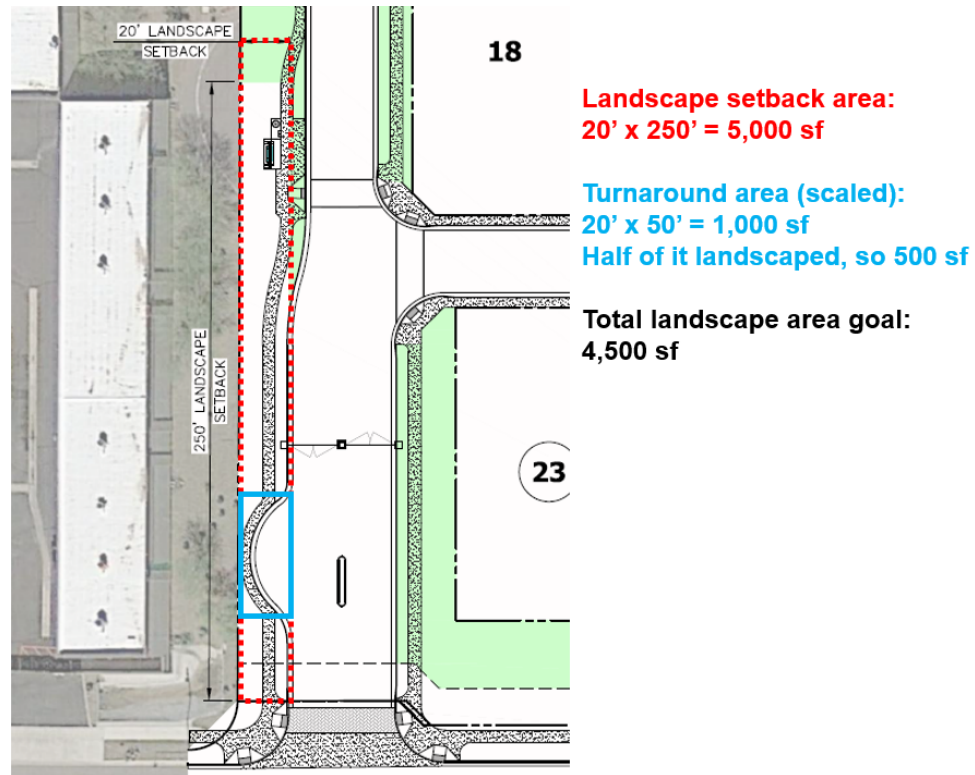
7. The developer has proposed high quality wall materials such as decorative split-face CMU block with scoured columns, which are required for all perimeter walls that are visible from public right-of-way or private streets, per Stipulation No. 10. Further, the developer has provided a Design Concept Plan which depicts an entryway with enhanced design and materials, therefore staff is recommending the development incorporates these features. This is addressed in Stipulation No. 11.



Source: Hunter Engineering

8. The Tree and Shade Master Plan has a goal of treating the urban forest as infrastructure to ensure that trees are an integral part of the city's planning and development process. By investing in trees and the urban forest, the city can reduce its carbon footprint, decrease energy costs, reduce storm water runoff, increase biodiversity, address the urban heat island effect, clean the air, and increase property values. In addition, trees can help to create walkable streets and vibrant pedestrian places. To support the City's urban forestry efforts, staff is recommending that the applicant provide a minimum 4,500 square-foot landscape area along the west side of 42nd Street and that the developer provide a minimum of 10 percent open space, both of which will be landscaped per Zoning Ordinance standards. These are addressed in Stipulations Nos. 5 and 7.

The minimum 4,500 square feet of landscape area on the west side of 42nd Street is being recommended in lieu of a minimum landscape setback due to site constraints - specifically, the street widths and the radius requirements for the vehicle turnaround south of the community gate. A minimum landscape setback width could create compliance difficulties as the developer moves through the development process to meet all technical street requirements. The minimum square footage stipulated is intended to guarantee that this area will be sufficiently landscaped while still giving the developer enough flexibility to change the layout if needed.



Staff is also recommending that the sidewalks along Peak View Road and the east and west sides of 42nd Street be detached with a 5-foot landscape strip between the sidewalk and back of curb, with trees planted on both sides of the sidewalk to provide pedestrians with adequate shade, per Stipulation No. 8. The size and layout of the site created challenges in providing detached sidewalks in all interior streets of the project, so the developer is required to plant at minimum two trees per residential lot to promote shade on the attached sidewalks, per Stipulation No. 9.

9. In 2014, the City of Phoenix City Council adopted the Complete Streets Guiding Principles, which are intended to promote improvements that provide an accessible, safe, connected transportation system to include all modes, such as bicycles, pedestrians, transit, and vehicles. To support these principles, staff has added stipulations to require that the developer construct a detached sidewalk, with the addition of landscaping between the sidewalk and the curb, on the north side of Peak View Road and the east side of 42nd Street, per Stipulation No. 8. The development has one main common open space area adjacent to Peak View Road. To provide connectivity from the northernmost residential lots to this open space, staff is recommending a pedestrian pathway be constructed, per Stipulation No. 6. Finally, staff recommends that the pedestrian crossing at the main entry driveway be constructed of a material other than that used to pave the drive aisles and parking surfaces to alert cars entering and exiting the community that pedestrians may be present, and increasing pedestrian safety. This is addressed in Stipulation No. 12.

10. As part of the Reimagine Phoenix initiative, the City of Phoenix is committed to increasing the waste diversion rate to 40 percent by 2020 and to better manage its solid waste resources. The City of Phoenix offers recycling collection for all single-family residences. The provision of recycling containers was not addressed in the applicant's submittals; however, per City Code, the City provides recycling containers and services to all single-family residences.

#### COMMUNITY INPUT SUMMARY

11. At the time this staff report was written, the applicant received one email from an adjacent neighbor stating concerns with the height of the proposed homes and potential light and noise pollution resulting from the proposal.

#### INTERDEPARTMENTAL COMMENTS

12. The Street Transportation Department has required that the developer dedicate 40-feet of right-of-way for the north half of Peak View Road and provide 25 feet of paving on this road from the monument line to the face of curb, per Stipulations No. 13 and 14. The department has also required that the developer extend and develop 42nd Street in accordance with City Code and development requirements if retained as a public street and that all streets be constructed with all required improvements, and comply to current ADA standards. These requirements are addressed in Stipulation Nos. 15 and 16.
13. The site has not been identified as being archaeologically sensitive. However, in the event archaeological materials are encountered during construction, all ground disturbing activities must cease within 33 feet of the discovery and the City of Phoenix Archaeology Office must be notified immediately and allowed time to properly assess the materials. This is addressed in Stipulation No. 17.

#### OTHER

14. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonments, may be required

#### **Findings**

1. The overall proposal is consistent with the General Plan Land Use Map and North Land Use Plan designations of Residential 0 to 2 and 2 to 5 dwelling units per acre. On the entire site, a maximum of 30 dwelling units is permitted. The proposal consists of 23 units, making it consistent with the density designations.

2. As stipulated, the proposal is compatible with the surrounding land uses in specific regard to scale and density and will act as an appropriate buffer between the commercial use to the west and the existing single-family residences in the neighborhood.
3. The development will include detached sidewalks and trees along 42nd Street and Peak View Road which will provide increased connectivity as well as promote pedestrian-oriented design in the area.

### **Stipulations**

1. The development shall be subject to Single-Family Design Review prior to final site plan approval, with the additional requirement that building materials and colors shall express a desert character and shall blend with, rather than strongly contrast with the desert environment, as approved by the Planning and Development Department.
2. Homes shall have a maximum height of one story and 20 feet on Lot Nos. 9, 10, 11, 12, 13, 21, 22, and 23, as depicted on the Site Plan date stamped December 9, 2019, as approved or modified by the Planning and Development Department.
3. The development shall not exceed 23 residential lots.
4. The minimum residential lot width shall be 65 feet.
5. The minimum open space provided shall be 10 percent.
6. A pedestrian connection shall be provided from the northern internal street to the common open space area abutting Peak View Road.
7. A minimum 4,500-square-foot landscape setback shall be provided on the west side of 42nd Street, as approved by the Planning and Development Department.
8. The sidewalks along the north side of Peak View Road, the east side of 42nd Street, and the first 250 feet of the west side of 42nd Street shall be detached with a minimum five-foot-wide landscaped strip located between the sidewalk and back of curb. Minimum 2-inch caliper shade trees shall be planted on both sides of the sidewalk at 20 feet on center or in equivalent groupings, as approved by the Planning and Development Department.
9. On interior private accessways, shade trees shall be planted adjacent to sidewalks at a rate of a minimum of two, 2-inch caliper or greater shade tree provided at a spacing of 20 to 30 feet on center, depending on species, within the front yard of each residential lot and where sidewalks are adjacent to common area tracts, as approved by the Planning and Development Department.

10. All new perimeter walls where visible from Peak View Road shall include material and textural differences, such as stucco and/or split face block with a decorative element, such as tile, glass insets, or stamped designs, as approved by the Planning and Development Department.
11. The development entry shall incorporate decorative metal gates and signage as depicted on the Design Concept Plan date stamped January 31, 2020, as approved by the Planning and Development Department.
12. A pedestrian crossing, constructed of decorative pavers, stamped or colored concrete, or another material, other than those used to pave the parking surfaces and drive aisles, shall be provided across the main entry driveway, as approved by the Planning and Development Department.
13. The developer shall dedicate 40 feet of right-of-way for the north half of Peak View Road, as approved by the Planning and Development Department.
14. The developer shall provide 25 feet of paving, from the monument line to the face of curb on Peak View Road, as approved by the Planning and Development Department.
15. The developer shall extend and develop 42nd Street in accordance with City Code and development requirements, if retained as a public street.
16. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards
17. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.

**Writer**

Sofia Mastikhina  
February 13, 2020

**Team Leader**

Samantha Keating

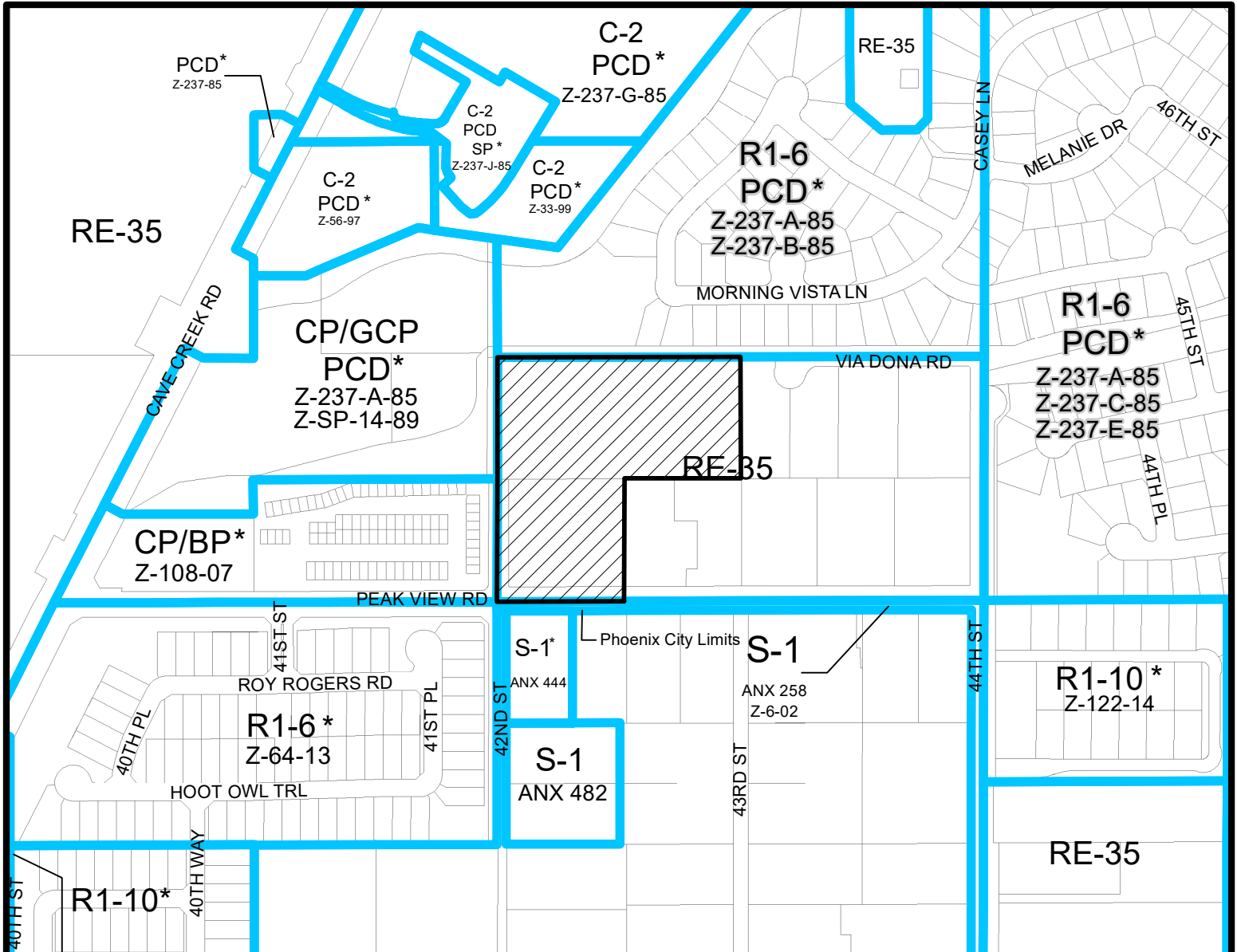
**Exhibits**

Sketch Map  
Aerial

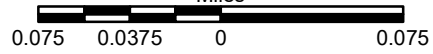


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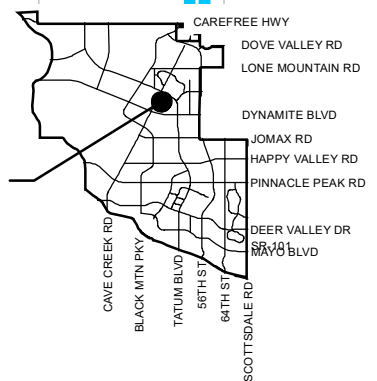
Site Plan date stamped December 9, 2019  
Open Space Exhibit date stamped January 31, 2020  
Design Concept Plan date stamped February 13, 2020  
Community correspondence (2 pages)



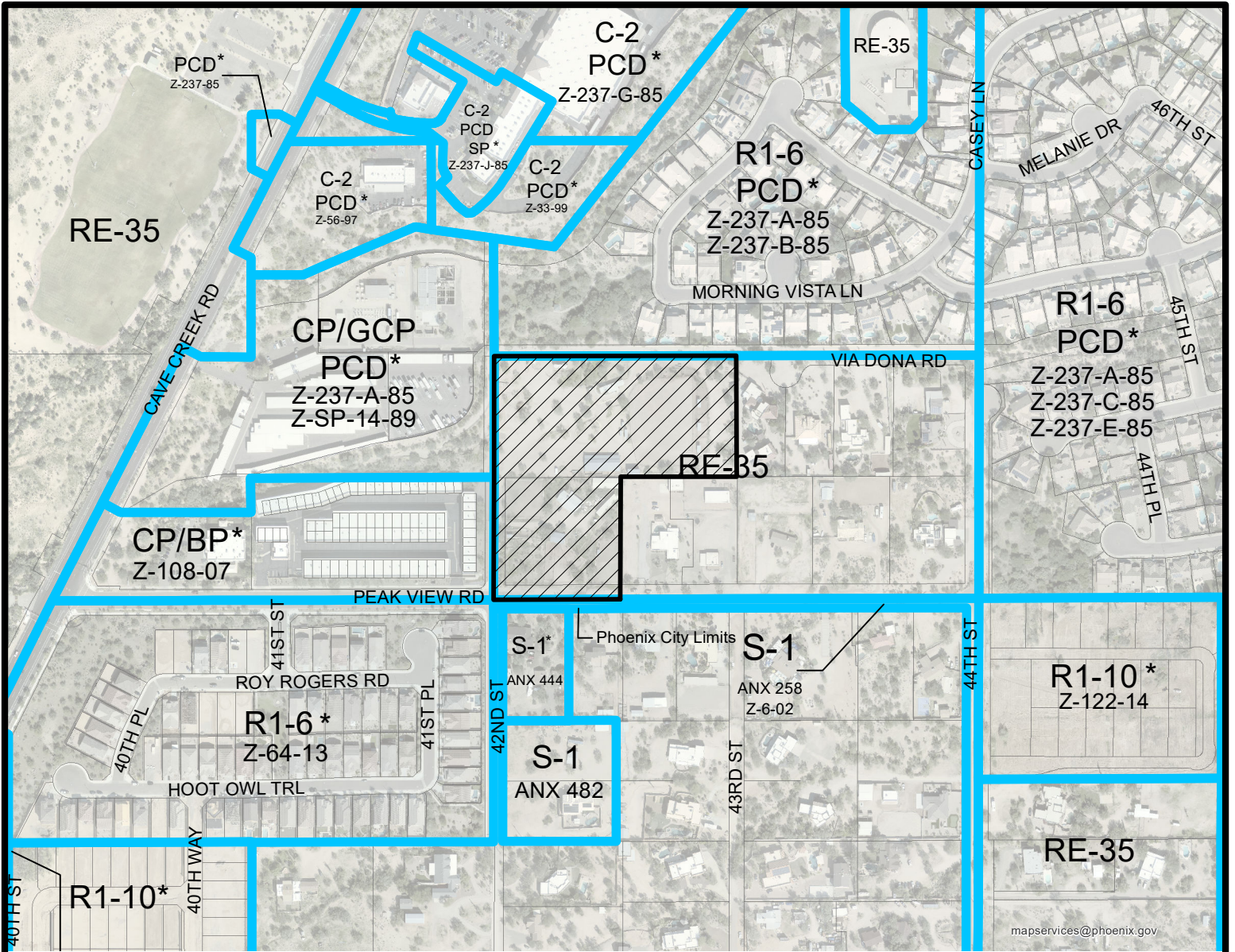
Miles



**DESERT VIEW VILLAGE**  
CITY COUNCIL DISTRICT: 2



<b>APPLICANT'S NAME:</b> Michael S. Buschbacher II, Hunter Engg		<b>REQUESTED CHANGE:</b>	
<b>APPLICATION NO.</b> Z-65-19		<b>FROM:</b> RE-35 ( 7.67 a.c.)	
<small>GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.</small> <b>7.67 Acres</b>		<b>TO:</b> R1-10 ( 7.67 a.c.)	
<b>MULTIPLES PERMITTED</b>		<b>* UNITS P.R.D. OPTION</b>	
RE-35		10	
R1-10		34	
<b>MULTIPLES PERMITTED</b>		<b>CONVENTIONAL OPTION</b>	
RE-35		8	
R1-10		27	
<b>* Maximum Units Allowed with P.R.D. Bonus</b>			



mapservices@phoenix.gov



Miles

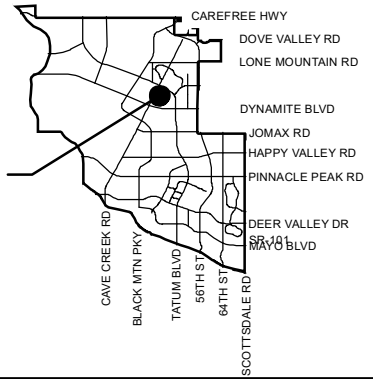
0.075 0.0375 0 0.075

**DESERT VIEW VILLAGE**

CITY COUNCIL DISTRICT: 2



**City of Phoenix**  
PLANNING AND DEVELOPMENT DEPARTMENT



Z-65-19

APPLICANT'S NAME: **Michael S. Buschbacher II, Hunter Engg**

**REQUESTED CHANGE:**

FROM: **RE-35 ( 7.67 a.c.)**

APPLICATION NO. **Z-65-19**

DATE: **1/06/2020**  
REVISION DATES:

**2/04/2020**

GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.

**7.67 Acres**

AERIAL PHOTO & QUARTER SEC. NO. **QS 52-37**  
ZONING MAP **Q-10**

TO: **R1-10 ( 7.67 a.c.)**

**MULTIPLES PERMITTED**

RE-35

R1-10

**CONVENTIONAL OPTION**

8

27

**\* UNITS P.R.D. OPTION**

10

34

\* Maximum Units Allowed with P.R.D. Bonus



**SITE DESCRIPTION**

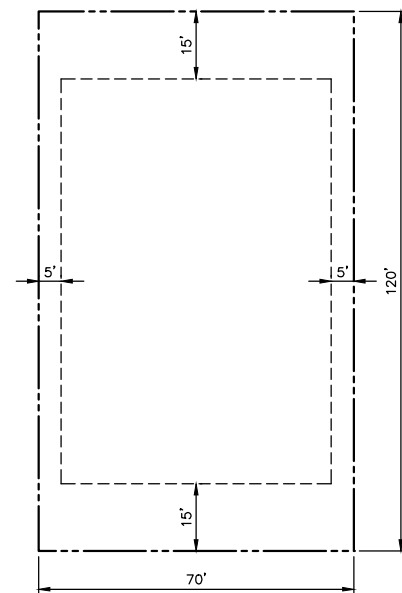
THE PROJECT ENCOMPASSES APPROXIMATELY 7.36 ACRES OF LAND AND IS LOCATED AT THE NWC OF PEAK VIEW ROAD AND NORTH 42ND STREET IN PHOENIX, ARIZONA. THE PROPOSED PROJECT WILL SEEK TO CREATE A NEW SINGLE-FAMILY RESIDENTIAL SUBDIVISION WITH A TOTAL OF 23 LOTS, COMMUNITY OPEN SPACE, THE ASSOCIATED ROADS AND THE REQUIRED UTILITIES. THE DEVELOPER OF THIS NEW SUBDIVISION WILL BE PROVIDING ADDITIONAL SINGLE-FAMILY HOUSING TO THE AREA WITH A DENSITY OF 2.98 DWELLING UNITS PER ACRE. THE PROJECT WILL SEEK A REZONE FROM RE-35 TO R1-8 PRD.

**SITE PLAN NOTES**

1. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
2. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURED BACK 10' FROM THE PROPERTY LINE AND 20' ALONG THE PROPERTY LINE ON EACH SIDE OF THE DRIVEWAY ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
3. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 33'x33' ALONG THE PROPERTY LINES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
4. OWNERS OF PROPERTY ADJACENT TO PUBLIC RIGHTS-OF-WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING LOCATED WITHIN THE RIGHTS-OF-WAY, IN ACCORDANCE WITH APPROVED PLANS.
5. ALL SIGNAGE REQUIRES SEPARATE REVIEWS, APPROVALS, AND PERMITS. NO SIGNS ARE APPROVED PER THIS PLAN.

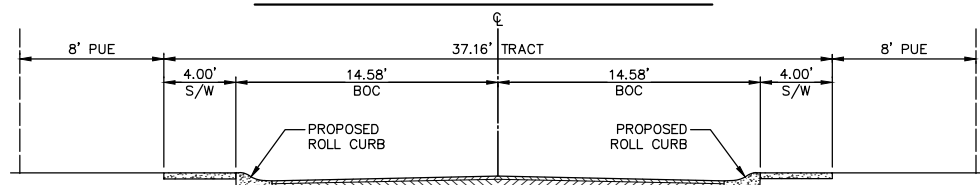
**BUILDING SET BACKS**

- MINIMUM LOT WIDTH 70'  
 MINIMUM LOT DEPTH 120'  
**REQUIRED**  
 MINIMUM FRONT 15' MIN  
 MINIMUM BACK 15' MIN  
 MINIMUM SIDES 5' MIN



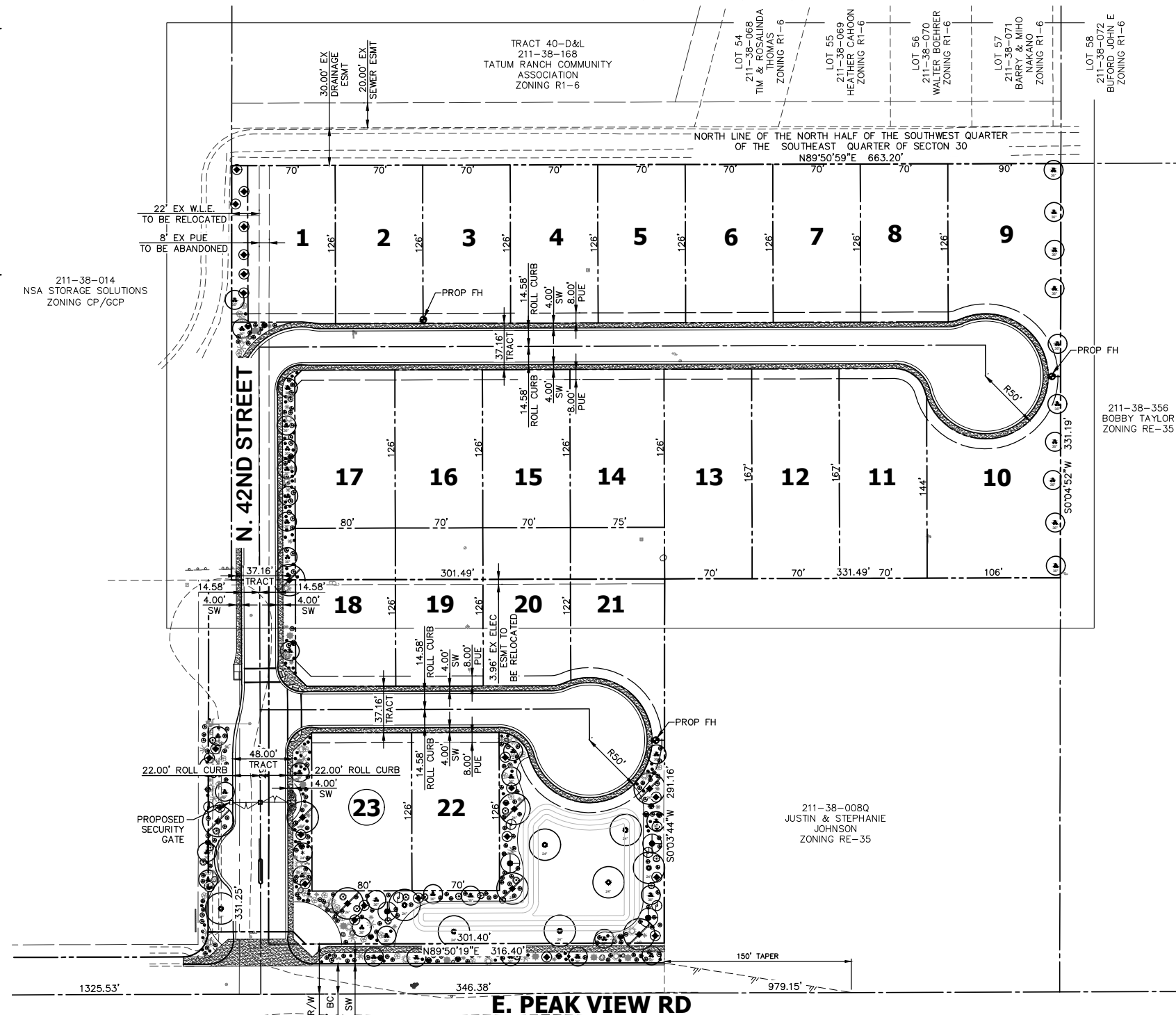
**TYPICAL LOT**  
70' x 120' - 8,400 SF

**TYPICAL PRIVATE DRIVE SECTION**



**SITE PLAN**  
FOR  
**PEAK VIEW SUBDIVISION**  
29025 N. 42ND ST.  
PHOENIX, ARIZONA 85331

THE WEST HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER; AND THE WEST 15 FEET OF THE EAST HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 5 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;



211-38-014  
NSA STORAGE SOLUTIONS  
ZONING CP/GCP

211-38-008Q  
JUSTIN & STEPHANIE  
JOHNSON  
ZONING RE-35

211-38-356  
BOBBY TAYLOR  
ZONING RE-35

**SHEET INDEX**

SITE PLAN . . . . . SP1.0

**OWNER/DEVELOPER**

CACHET HOMES  
10446 N 74TH STREET SUITE 220  
SCOTTSDALE, AZ 85258  
PHONE: (480) 556-7000  
CONTACT: MATT CODY  
EMAIL: MHCODY@CACHETHOMES.NET

**CIVIL ENGINEER**

HUNTER ENGINEERING, INC.  
10450 N. 74TH STREET, SUITE 200  
SCOTTSDALE, ARIZONA 85258  
PHONE: (480) 991-3985  
CONTACT: GRANT HIRNEISE, PE  
EMAIL: GHIRNEISE@HUNTERENGINEERINGPC.COM

**SITE LAYOUT SUMMARY**

PARCEL NUMBER'S . . . . . 211-38-008K, & 211-38-335

SITE ACREAGE  
NET . . . . . 7.36 ACRES±  
. . . . . 320,601 SF±  
GROSS . . . . . 7.71 ACRES±  
. . . . . 335,817 SF±

ZONING  
EXISTING . . . . . RE-35  
PROPOSED . . . . . R1-8 PRD

LOT COVERAGE PROPOSED  
MINIMUM LOT WIDTH . . . 70'  
MINIMUM LOT DEPTH . . . 120'  
NUMBER OF LOTS . . . . . 23  
DWELLING UNITS/ACRES . 2.98

GENERAL PLAN (UU) . . . . . COMMERCE/BUSINESS PARK

SETBACKS  
BUILDING FRONT . . . . . 15'  
BUILDING REAR . . . . . 15'  
BUILDING SIDES . . . . . 5'  
LANDSCAPE . . . . . 15'  
GARAGE . . . . . 18' FROM SIDEWALK

BUILDING HEIGHT . . . . . 30'  
COMMON AREA PROVIDED . . .  
MAXIMUM DENSITY . . . . . 5.0 DU/A

**LEGAL DESCRIPTION**

**PARCEL NO. 1**  
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARICOPA, STATE OF ARIZONA, AND IS DESCRIBED AS FOLLOWS:  
THE WEST HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER; AND THE WEST 15 FEET OF THE EAST HALF OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER;  
ALL IN SECTION 30, TOWNSHIP 5 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA;  
EXCEPT THE WEST 30 FEET THEREOF.

**PARCEL NO. 2**  
THE NORTH HALF OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 30, TOWNSHIP 5 NORTH, RANGE 4 EAST OF THE GILA AND SALT RIVER BASE MERIDIAN, MARICOPA COUNTY, ARIZONA.

**CITY OF PHOENIX**

DEC 09 2019

Planning & Development  
Department

NO.	DATE	REVISION

DESIGN BY: GH  
DRAWN BY: KSI  
CHECKED BY: GH

**HUNTER ENGINEERING**  
CIVIL AND SURVEY  
10450 NORTH 74TH STREET SUITE 200  
SCOTTSDALE, AZ 85258  
T 480 991 3985  
F 480 991 3986



**SITE PLAN FOR CACHET AT PEAK VIEW 29025 N. 42ND STREET PHOENIX, ARIZONA 85331**

CONTACT PHOENIX CITY AT LEAST 2 FULL WORKING DAYS BEFORE YOU BEGIN EXCAVATION  
**AR ZONAS11**  
CALL 811 OR CLICK ARIZONAS11.COM

THESE PLANS ARE NOT APPROVED FOR CONSTRUCTION WITHOUT AN APPROVED SIGNATURE FROM THE GOVERNING MUNICIPALITY.

**PROJECT NAME: PEAK VIEW SUBDIVISION**

HE NO.: ADAM001  
SCALE: 1"=50'

SHEET: **SP1.0**

QS#52-37 KIVA #18-3908 SDEV 1800804





OPEN SPACE  
3,041 SF

OPEN SPACE  
3,265 SF

OPEN SPACE  
3,506 SF

OPEN SPACE  
26,023 SF

20' LANDSCAPE  
SETBACK

250' LANDSCAPE  
SETBACK

15' LANDSCAPE  
SETBACK

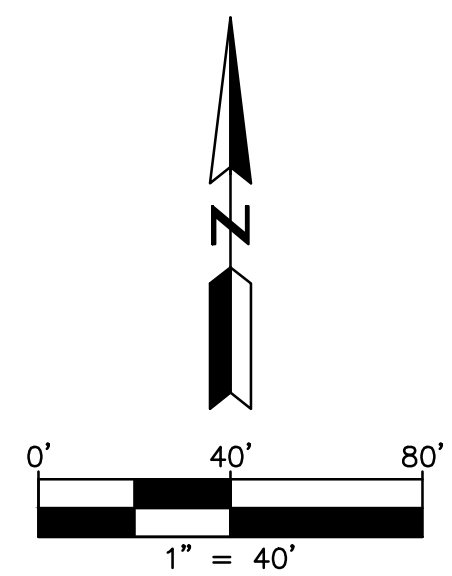
**E. PEAK VIEW ROAD**

**N. 42nd STREET**

**CITY OF PHOENIX**  
JAN 31 2020  
Planning & Development  
Department

**OPEN SPACE CALCULATION:**

SITE AREA (NET)	=	325,172	SF
	=	7.46	ACRES
OPEN SPACE AREA	=	35,835	SF
	=	0.82	ACRES
OPEN SPACE	=	$\frac{35,835}{325,172}$	SF
	=	11.0%	



NO.	DATE	REVISION	BY

DESIGN BY: GDH  
DRAWN BY: GDH  
CHECKED BY: GDH

**HUNTER**  
ENGINEERING  
CIVIL AND SURVEY  
10450 NORTH 74TH STREET, SUITE 200  
SCOTTSDALE, AZ 85258  
T 480 991 3985  
F 480 991 3986

**OPEN SPACE EXHIBIT  
FOR  
PEAK VIEW SUBDIVISION  
NEC E. PEAK VIEW RD AND N. 42ND ST  
PHOENIX, ARIZONA**

CONTACT ARIZONA811 AT LEAST 2 TO  
WORKING HOURS BEFORE YOUR PROJECT LOCATION  
**ARIZONA811**  
CALL 811 OR CLICK ARIZONA811.COM

THESE PLANS ARE  
NOT APPROVED FOR  
CONSTRUCTION  
WITHOUT AN  
APPROVED SIGNATURE  
FROM THE GOVERNING  
MUNICIPALITY.

HE JOB NO.:  
ADAM001

SCALE  
1" = 40'

SHEET  
**1**



**CITY OF PHOENIX**

FEB 13 2020

Planning & Development  
Department

- ① COMMUNITY GREAT LAWN
- ② ENTRY SIGNAGE
- ③ ENTRY GATE
- ④ DESERT LANDSCAPE
- ⑤ DESERT WASH
- ⑥ SPLIT FACE CMU THEME WALL
- ⑦ THEME PILASTER
- ⑧ COMMUNITY MAILBOX
- ⑨ ENHANCED PAVING



E. PEAK VIEW ROAD



**CACHET AT PEAK VIEW**  
DESIGN CONCEPT

0 40 80 Feet  
This plan is for conceptual purposes only  
Not to be used for construction  
2/10/2020  
AD01  
Phoenix, Arizona





## Sofia Mastikhina

---

**From:** Samantha Keating  
**Sent:** Friday, January 17, 2020 8:43 AM  
**To:** Sofia Mastikhina  
**Subject:** FW: Rezoning case Z-65-19

FYI



Thank you,  
**Samantha Keating**  
Principal Planner  
Long Range Planning  
Office: 602-262-6823  
200 West Washington Street  
Phoenix, AZ 85003



---

**From:** Michael Buschbacher <[mbuschbacher@hunterengineeringpc.com](mailto:mbuschbacher@hunterengineeringpc.com)>  
**Sent:** Friday, January 10, 2020 10:45 AM  
**To:** Walter Boehrer <[wboehrer@gmail.com](mailto:wboehrer@gmail.com)>  
**Cc:** Samantha Keating <[samantha.keating@phoenix.gov](mailto:samantha.keating@phoenix.gov)>  
**Subject:** RE: Rezoning case Z-65-19

Walter,

Again, thank you for your email. I have discuss this with the developer and the homes will be single story.

To summarize again, we will only be putting in the minimum required street lighting for a development with private streets. These few lights will be shielded.

We must comply with the City for the intersection of Peak View and 42<sup>nd</sup> Street since those are public streets, but that should be a good distance from your lot.

Thanks for your inquire, we hope you will support the project as we move forward.

Best Regards,

**Michael S. Buschbacher II, AICP, ASLA**  
Principal Planner, Senior Urban Designer



[\[hunterengineeringpc.com\]](http://hunterengineeringpc.com)

10450 N. 74th Street, Suite 200

Scottsdale, AZ 85258  
Phone: (480) 991-3985  
Fax: (480) 991-3986

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**From:** Walter Boehrer <[wboehrer@gmail.com](mailto:wboehrer@gmail.com)>  
**Sent:** Friday, January 10, 2020 9:23 AM  
**To:** Michael Buschbacher <[mbuschbacher@hunterengineeringpc.com](mailto:mbuschbacher@hunterengineeringpc.com)>  
**Cc:** [samantha.keating@phoenix.org](mailto:samantha.keating@phoenix.org)  
**Subject:** Rezoning case Z-65-19

Hi Michael,

I just got a letter in the mail a couple of days ago about rezoning case Z-65-19 near Peak View and 42nd Street.

My home is adjacent to the property and would be directly affected by this rezoning. When purchasing my property, the major reasons why I choose to purchase the property was the unobstructed views to the South, how quiet the area was, how dark the area was, and that the property to the South was zoned RE-35 so there would be limited development on the property.

Although in theory I don't mind that the property be rezoned, what I am concerned about is what the impact of the rezoning will have on what drew me to the location originally.

From what I see in the artist renditions is that these homes are single level homes. However, according to the site plan document, the homes can be up to 30 feet high, which could house a 2 story building. Since the site plan states that the structures can be 30 feet, this would not prevent the developer from putting up a 30 foot structure. This is of major concern as the setback or only 10 feet from the property line in the back of the property.

Another concern is the noise and light pollution to the area. Although Phoenix is not a dark sky community, the area is a dark sky area, with Cave Creek becoming certified as a dark sky community. What is being done to ensure that these properties do not impact the noise and light levels?

I hope to be at the meeting on Monday night, but due to the late notice I'm not sure if I will be able to attend.

Thanks,  
Walter Boehrer