



City of Phoenix
 PLANNING AND DEVELOPMENT DEPARTMENT

Staff Report: Z-63-15-6
 December 17, 2015

Camelback East Village Planning Committee Hearing Date January 5, 2016
Planning Commission Hearing Date January 14, 2016

Request From: R-5 (0.69 acres)
Request To: C-1 (0.69 acres)
Proposed Use Commercial retail and office uses
Location Southwest corner of 32nd Street and Fairmount Avenue

Owner KBP Realty Advisors
Applicant’s Representative Jason Morris, Withey Morris PLC
Staff Recommendation Approval, subject to stipulations

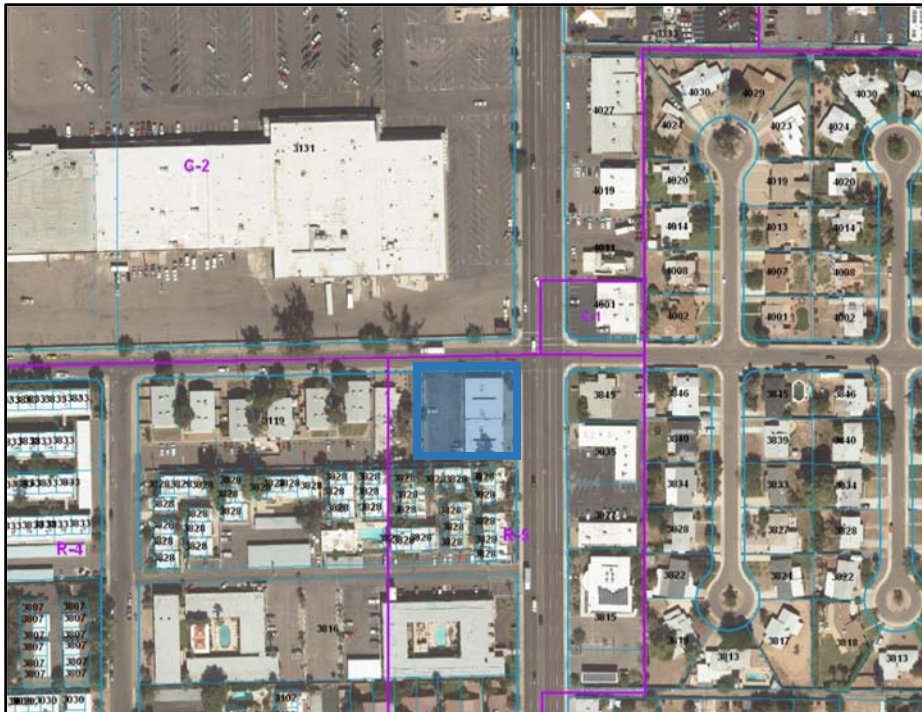
General Plan Conformity			
General Plan Land Use Designation		Residential 10 to 15 du/acre	
Street Map Classification	32nd Street	Arterial	40-foot west half street
	Fairmount Avenue	Local	25-foot north half street
<p><i>CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; CONNECTED NEIGHBORHOODS; LAND USE PRINCIPLE: Locate neighborhood retail to be easily accessible to neighborhoods.</i></p> <p>The proposal provides additional opportunities for retail amenities within close proximity to the surrounding residential neighborhoods.</p>			
<p><i>STRENGTHEN OUR LOCAL ECONOMY CORE VALUE; ENTREPRENEURS AND EMERGING ENTERPRISES; LAND USE PRINCIPLE: Encourage land uses that promote the growth of entrepreneurs or new businesses in Phoenix in appropriate locations.</i></p> <p>The proposed rezoning will encourage new retail and office users to locate in an appropriate location adjacent to an arterial street.</p>			

Surrounding Land Uses/Zoning		
	<u>Land Use</u>	<u>Zoning</u>
On Site	Office	R-5
North	Retail	C-2
South	Multi-family Residential	R-5
East	Office	R-5
West	Multi-family Residential	R-5

C-1 (Neighborhood Retail)		
<u>Standards</u>	<u>Requirements</u>	<u>Proposed</u>
<i>Building Setbacks</i>		
Street	Average 25 feet	Existing – 8 feet (north) Existing – 20 feet (east)
Interior	10 feet	Existing – 5 feet (south) Existing – 60 feet (west)
<i>Landscape Setbacks</i>		
Street	Average 25 feet	Existing – 8 feet (north) Existing – 20 feet (east)
Interior	10 feet	Existing – 5 feet (south) Existing – 0 feet (west)
Lot Coverage	Maximum 50%	Met – 30.1%
Building Height	Maximum 30 feet	Existing – 9 feet
Parking	Minimum 21 required	Met – 28 provided

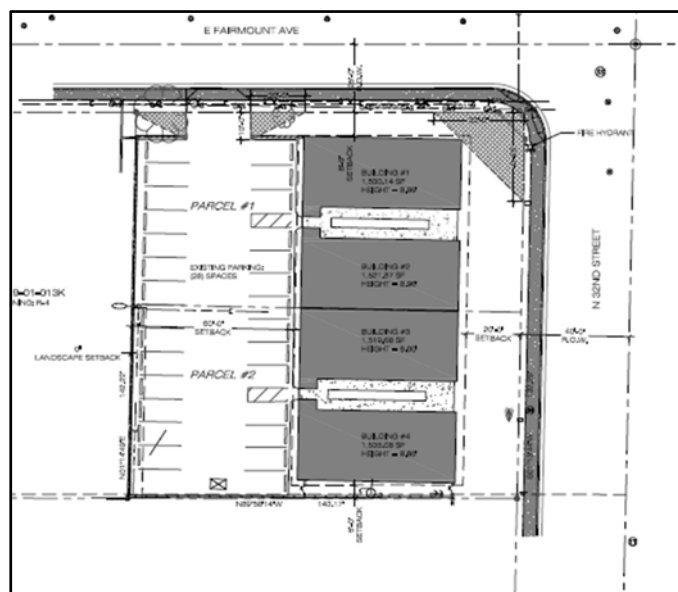
Background/Issues/Analysis

1. This is a request to rezone a 0.69 acre parcel from R-5 (Multifamily Residence District) to C-1 (Neighborhood Retail) to allow for commercial retail and office uses.
2. The General Plan Land Use designation for this property is Residential 10 to 15 dwelling units per acre. Although the proposal is not consistent with the General Plan Land Use designation, an amendment is not required as the subject parcel is less than 10 acres.
3. The site is currently utilized for professional offices. Properties to the west and south are zoned R-5 (Multifamily Residence District) and developed as two separate multifamily residential communities. Properties to the east, across 32nd Street, are zoned R-5 (Multifamily Residence District), but are used as professional offices. Existing commercial development is located to the north and northeast and zoned C-2 (Intermediate Commercial) and C-1



(Neighborhood Retail), respectively. Many of the properties along 32nd Street in the immediate vicinity are utilized for non-residential purposes.

4. Rezoning of the property will allow for the reuse of an underutilized property to provide new retail commercial and office uses for the surrounding community.
5. The site is currently developed with four, single-story buildings with a total square footage of approximately 6,100 square feet. The proposed site plan includes the retention of the office buildings and associated parking area. The buildings will be remodeled to provide separate tenant spaces for future retail and office users. In order to ensure the existing setbacks to the adjacent residential are maintained, staff is recommending a stipulation for general conformance to the site plan date stamped October 19, 2015.



6. Access to the site will be provided by the existing curb cut off Fairmount Avenue. In order to limit additional non-residential traffic from the site into the surrounding neighborhood, a stipulation has been added requiring signage to restrict left turn egress from the site.
7. The existing development maintains landscape setbacks along both 32nd Street and Fairmount Avenue. To enhance the landscape areas as well as to provide shade for pedestrians traveling past the site, a stipulation has been recommended to provide shade trees adjacent to the existing sidewalks along both streets.
8. The Street Transportation Department has proposed stipulations regarding a 10-foot sidewalk easement along 32nd Street in addition to updates of existing off-site improvements to current ADA guidelines.
9. The Aviation Department has reviewed the rezoning application and requests that the property owner record a Notice to Prospective Purchasers of Proximity to Airport in order to disclose the existence, and operational characteristics of City of Phoenix Sky Harbor International Airport (PHX) to future owners or tenants of the property. A stipulation has been added to address this request.
10. The Water Services Department has noted that there are no water or sewer infrastructure concerns with the proposed zoning.
11. The City of Phoenix Floodplain Management division of the Street Transportation Department has determined that this parcel is not in a Special Flood Hazard Area (SFHA), but is located in a Shaded Zone X, on panel 2210 L of the Flood Insurance Rate Maps (FIRM) dated October 16, 2013.
12. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonment may be required.

Findings

1. As stipulated, the proposal is compatible with existing residential development in the area.
2. The development will allow for additional retail amenities to serve the surrounding community.
3. The proposal is consistent with the commercial and office development in the immediate area and appropriately located along an arterial street.

Stipulations

1. The development shall be in general conformance with the site plan date stamped October 19, 2015, except as modified by the following stipulations and as approved by the Planning and Development Department.
2. Minimum 2-inch caliper trees, placed 20-feet on center, shall be planted within the existing landscape setbacks along 32nd Street and Fairmont Avenue, adjacent to the sidewalk, in order to provide shade for pedestrians, as approved by the Planning and Development Department.
3. The property owner shall provide signage restricting left turn egress from the driveway, as approved by the Planning and Development Department.
4. The property owner shall dedicate a 10 foot sidewalk easement along the west side of 32nd Street for the length of the project, as approved by the Planning and Development Department.
5. The property owner shall update all existing off-site street improvements, including sidewalks, curb ramps and driveways, adjacent to the project to current ADA guidelines, as approved by the Planning and Development Department.
6. The property owner shall record a Notice to Prospective Purchasers of Proximity to Airport in order to disclose the existence, and operational characteristics of City of Phoenix Sky Harbor International Airport (PHX) to future owners or tenants of the property.

Writer

Samantha Keating

12/15/2015

Team Leader

Joshua Bednarek

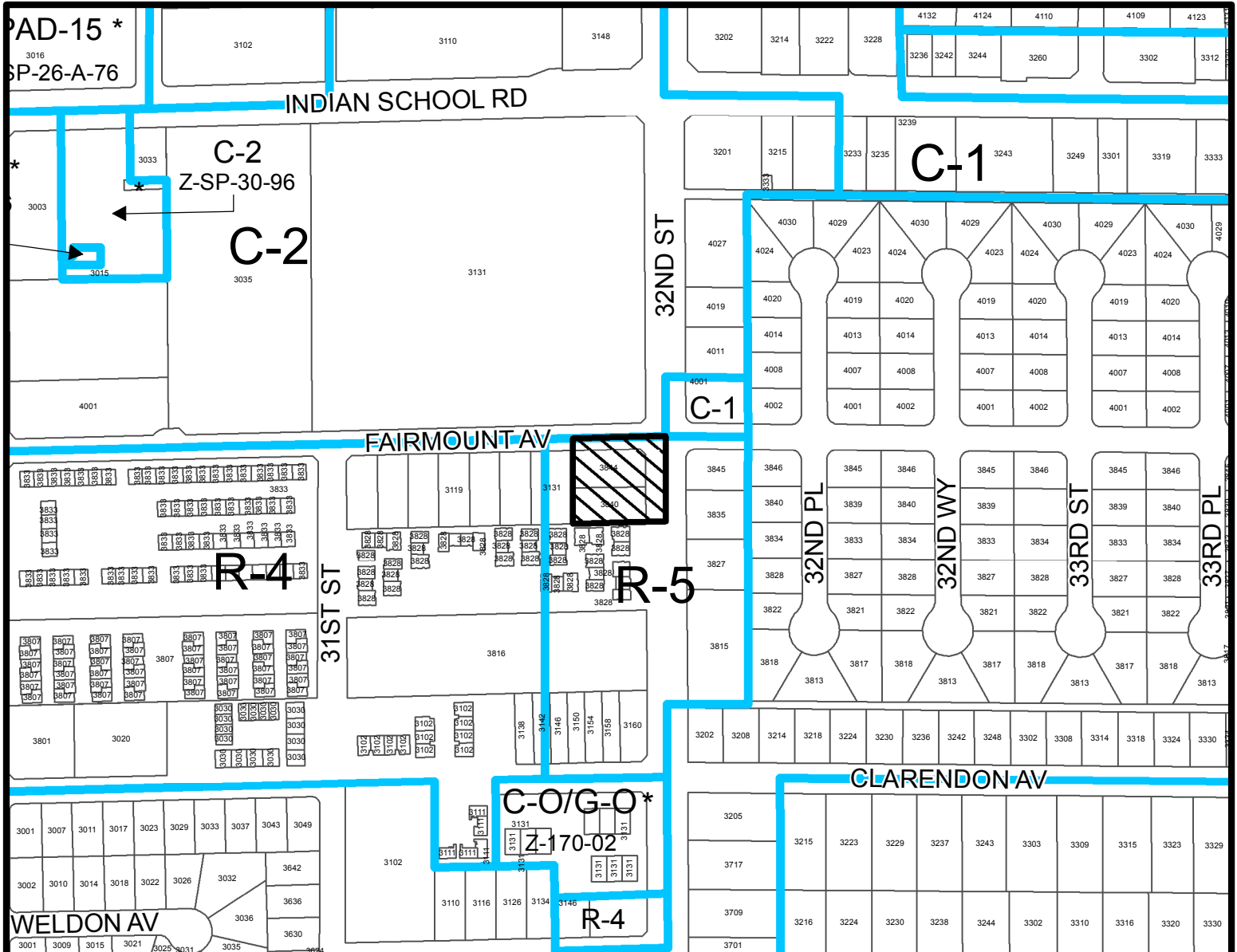
Attachments

Sketch Map

Aerial

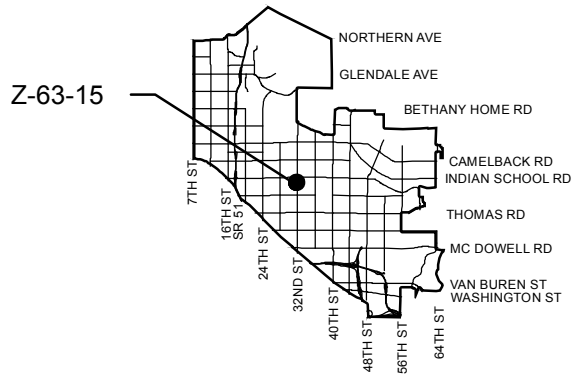
Site Plan date stamped 10/19/2015 (1 page)

Elevations date stamped 10/19/2015 (3 pages)



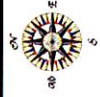
300 150 0 300 Feet

CITY OF PHOENIX PLANNING DEPARTMENT
CAMELBACK EAST VILLAGE
 CITY COUNCIL DISTRICT: 6



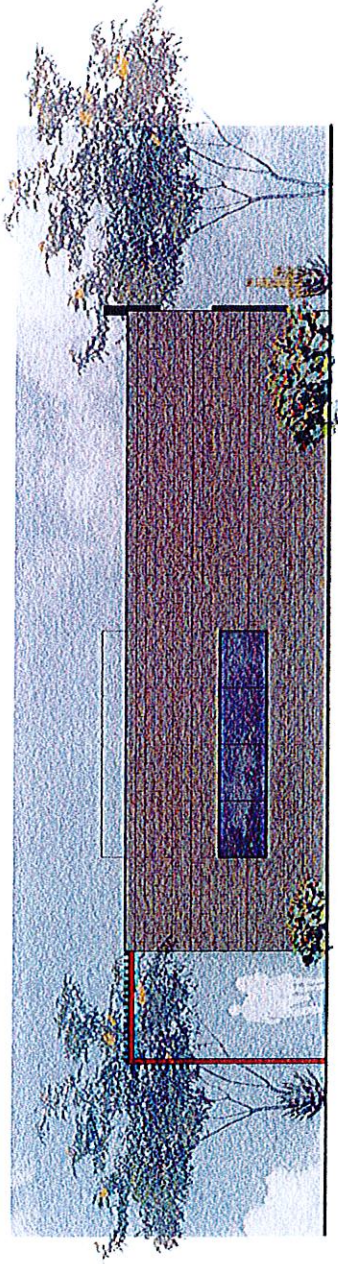
APPLICANT'S NAME: Jason Morris/ Withey Morris PLC		REQUESTED CHANGE: FROM: R-5 (0.69 a.c.) TO: C-1 (0.69 a.c.)	
APPLICATION NO. Z-63-15	DATE: 10/30/15 REVISION DATES:		
GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX. 0.69 Acres	AERIAL PHOTO & QUARTER SEC. NO. QS 16-34	ZONING MAP H-10	
MULTIPLES PERMITTED R-5 C-2	CONVENTIONAL OPTION 30 10	* UNITS P.R.D. OPTION 36 12	

* Maximum Units Allowed with P.R.D. Bonus

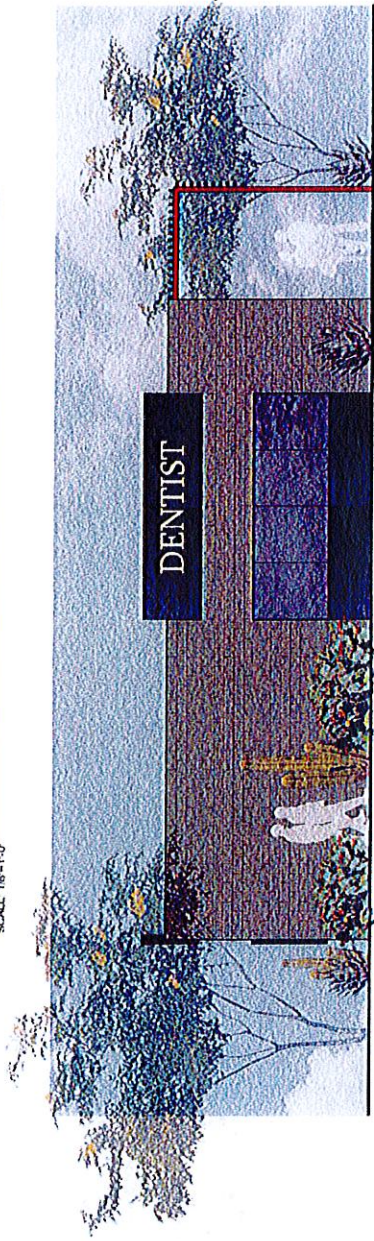


Planning and Development

The information provided on this map is based on record drawings submitted by others. Users of this information are cautioned that independent verification of actual conditions may be necessary.



2 | SOUTH ELEVATION
SCALE 1/8"=1'-0"



1 | NORTH ELEVATION
SCALE 1/8"=1'-0"

fairmount
retail elevations

3840 + 3844 n 32nd st
phoenix, az 85018

SCALE: 1/8" = 1'-0"
16 march 2015



the construction zone, ltd.
1729 west osburn road, phoenix az 85018

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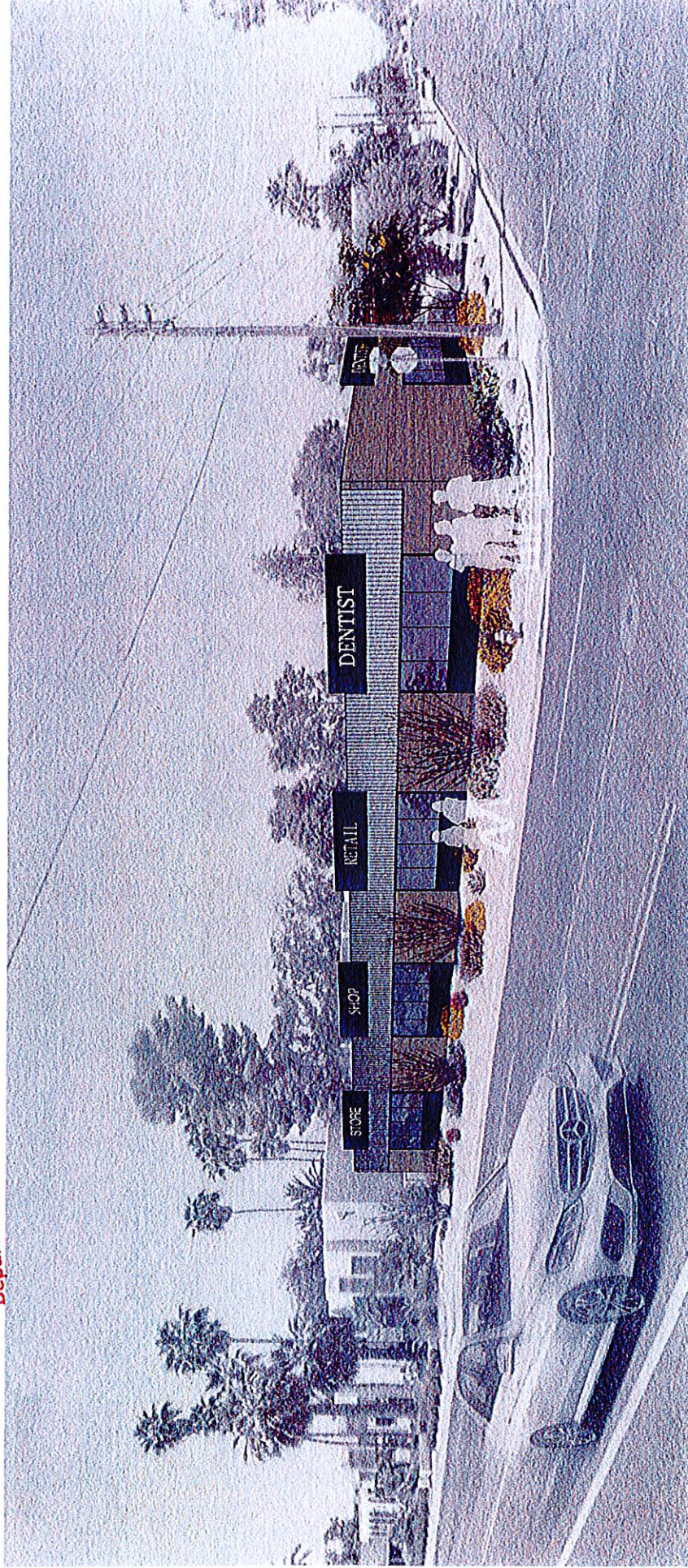
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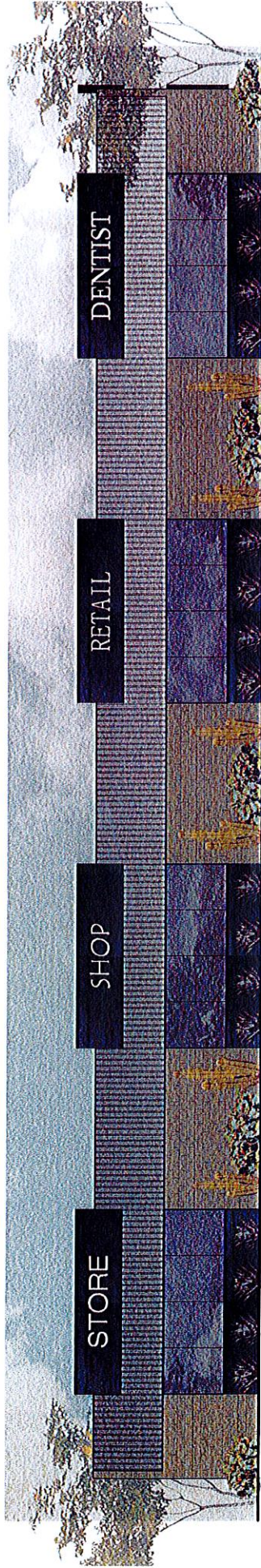
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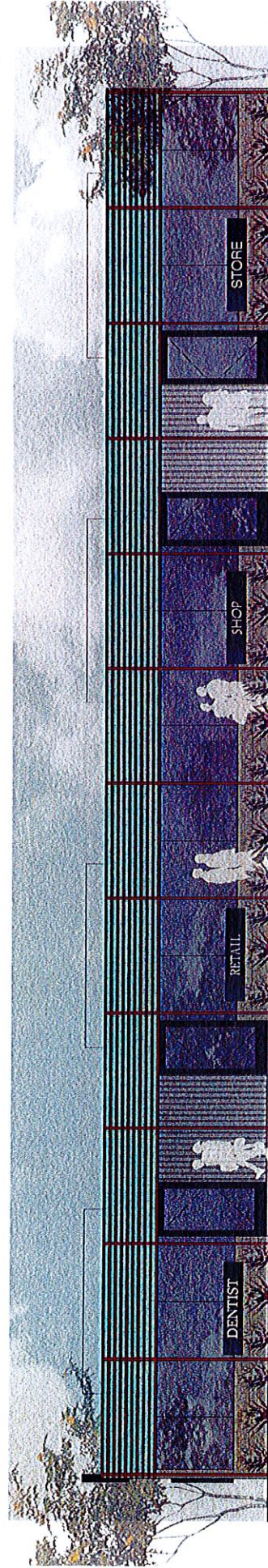
16 march 2015



the construction zone, ltd.
1759 east uaburn road, phoenix az 85016



2 | EAST ELEVATION
SCALE 1/8" = 1'-0"



1 | WEST ELEVATION
SCALE 1/8" = 1'-0"

fairmount
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Planning & Development
Department

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