



City of Phoenix
 PLANNING AND DEVELOPMENT DEPARTMENT

Staff Report Z-54-19-4
 January 17, 2020

Alhambra [Village Planning Committee](#) January 28, 2020
Meeting Date:
[Planning Commission](#) Hearing Date: February 6, 2020

Request From: [C-2 TOD-1](#) (Intermediate Commercial District, Interim Transit-Oriented Zoning Overlay District One) (2.14 acres), [WU Code T5:5 SL](#) (Walkable Urban Code, Transect T5:5 District, Transit Solano Character Area) (1.76 acres)

Request To: [WU Code T5:5 SL](#) (Walkable Urban Code, Transect T5:5 District, Transit Solano Character Area) (3.90 acres)

Proposed Use: Multifamily residential

Location: Approximately 175 feet north of the northeast corner of 19th Avenue and Camelback Road

Owners: Phoenix Board of Realtors, Inc., Manzanita Village Associates, LP, Trinity Housing Development, LLC

Applicant: Christian Solorio, Architectural Resource Team

Representative: Chadrick Martinez, Trinity Housing Development, LLC

Staff Recommendation: Approval, subject to stipulations

General Plan Conformity			
General Plan Land Use Map Designation		Commercial, Primary Core	
Street Map Classification	19th Avenue	Major Arterial with Light Rail	Approximately 55 to 65 feet east half street

CONNECT PEOPLE AND PLACES CORE VALUE; INFILL DEVELOPMENT; LAND USE PRINCIPLE: Promote and encourage compatible infill development with a mix of housing types in neighborhoods close to employment centers, commercial areas, and where transit or transportation alternatives exist.

The site is located within the Solano Transit Oriented Development (TOD) District on 19th Avenue. The Solano TOD Policy Plan identified the site to be suitable for redevelopment. The TOD Strategic Policy Framework assigns a Medium Urban Center place type designation for the 19th Avenue and Camelback Road station area. The proposal is consistent with the redevelopment vision identified in the Solano TOD Policy Plan and the Medium Urban Center designation identified in the TOD Strategic Policy Framework Plan.

CONNECT PEOPLE AND PLACES CORE VALUE; TRANSIT ORIENTED DEVELOPMENT; LAND USE PRINCIPLE: Encourage high-density housing and high intensity employment uses to locate adjacent or close to transit stations per adopted transit district plans.

The site is located within the Solano Transit Oriented Development (TOD) District on 19th Avenue, approximately 300 feet from a light rail station and adjacent to and near numerous bus routes along 19th Avenue and Camelback Road. The proposed multifamily project is appropriately located at this location.

CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; DIVERSE NEIGHBORHOODS; LAND USE PRINCIPLE: Include a mix of housing types and densities where appropriate within each village that support a broad range of lifestyles.

The proposed development will provide new housing options within the Village. The Solano TOD Policy Plan identified the area between 15th Avenue to the east, 19th Avenue to the west, Camelback Road to the south and Bethany Home Road to the north as needing 2,328 additional housing units by the year 2035. The proposed development will contribute to the stated housing need in the area. The site fronts 19th Avenue, a major arterial street, with the 19th Avenue and Camelback Road light rail transit station located approximately 300 feet to the south. The site is also located within the primary core for the Village.

BUILD THE SUSTAINABLE DESERT CITY CORE VALUE; TREES AND SHADE; DESIGN PRINCIPLE: Integrate trees and shade into the design of new development and redevelopment projects throughout Phoenix.

The development, as stipulated, provides trees and shade which will reduce the urban heat island effect while also improving thermal comfort to site users and the surrounding neighborhood.

Applicable Plans, Overlays and Initiatives
<u>Transit Oriented Development Strategic Policy Framework</u> – See Background Item No. 7 below.
<u>Solano Transit Oriented Development Policy Plan</u> – See Background Item No. 8 below.
<u>Tree and Shade Master Plan</u> – See Background Item No. 9 below.
<u>Complete Streets Guidelines</u> – See Background Item No. 10 below.
<u>Comprehensive Bicycle Master Plan</u> – See Background Item No. 11 below.
<u>Reimagine Phoenix</u> – See Background Item No. 12 below.

Surrounding Land Uses/Zoning		
	<u>Land Use</u>	<u>Zoning</u>
On Site	Office, undeveloped land	C-2 TOD-1, WU Code T5:5 SL
North	Animal hospital and boarding, office	WU Code T5:5 SL
South	Retail	C-2 TOD-1
East	Self-service storage, multifamily residential	C-2 SP TOD-1, R-3 TOD-1
West (across 19th Avenue)	Office park, elementary school	C-2 TOD-1

Walkable Urban Code T5:5			<i>*if variance required</i>
<u>Standards</u>	<u>Requirements</u>	<u>Provisions on the Proposed Site Plan</u>	
Gross Acreage	N/A	3.90	
Total Number of Units	N/A	297	
Density	No Maximum	76.15 dwellings per acre	
Building Height	56-foot maximum	56 feet, highest building (Met)	
Parking – Affordable Housing <ul style="list-style-type: none"> • 0.5 per unit and 25% reduction when within 1,320 feet of a light rail stop 	112 spaces minimum	114 spaces (Met)	

	Walkable Urban Code T5:5	<i>*if variance required</i>
Bicycle Parking (Section 1307.H.6.d.)	Minimum 0.25 per residential unit, with a maximum of 50 required spaces	50 spaces provided (See Stipulation 6)
Streetscape Standards (Section 1312.D)		
Arterial Streets – Light Rail Corridor (19th Avenue)	8-foot sidewalk (minimum)	8 feet (met)
	5-foot landscape (minimum)	Approximately 14 to 18 feet (Met)
<i>Main Building Setbacks</i>		
Primary Frontage (19th Avenue)	12-foot maximum	Approximately 14 to 18 feet* (See Item No. 4)
Side (North)	0-foot minimum	10 feet (Met)
Side (South)	0-foot minimum	10 feet (Met)
Rear (East)	0-foot minimum	10-12 feet (Met)
<i>Parking Setbacks</i>		
Primary Frontage	30-foot minimum or behind building	Approximately 40 feet, behind building (Met)
<i>Lot Requirements</i>		
Lot Coverage	80% maximum	46.8% (Met)
Primary Building Frontage	70% minimum	73% (Met)
<i>Frontage Types Allowed</i>		
Primary Frontage	All frontages or alternative frontages	Porch (Met)

Background/Issues/Analysis

SUBJECT SITE

1. This request is to rezone a 3.90-acre site located approximately 175 feet north of the northeast corner of 19th Avenue and Camelback Road from C-2 TOD-1 (Intermediate Commercial District, Interim Transit-Oriented Zoning Overlay District One) and WU Code T5:5 SL (Walkable Urban Code, Transect T5:5 District, Transit Solano Character Area) to WU Code T5:5 SL (Walkable Urban Code Transect T5:5 District, Transit Solano Character Area) to allow multifamily residential.

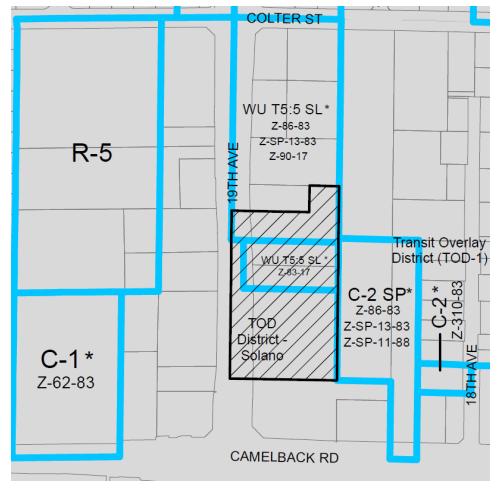
SURROUNDING LAND USES AND ZONING

2. On March 7, 2018 the Phoenix City Council approved rezoning cases Z-90-17-4 and Z-83-17-4. The combined cases rezoned approximately 6 acres of land on

the southeast corner of Colter Street and 19th Avenue to WU Code T5:5 SL (Walkable Urban Code, Transect T5:5 District, Transit Solano Character Area). This request incorporates approximately two acres of the previously approved area zoned WU Code T5:5 SL and an additional two acres zoned C-2 TOD-1. The stipulations for this proposal are derivative of the previously approved stipulations for the cases.

The site is partially developed with two office buildings in addition to a portion of the site being undeveloped land. The property to the north, zoned WU Code T5:5 SL, is an animal hospital and office. A self-service storage facility zoned C-2 SP TOD-1, and multifamily residential zoned R-3 TOD-1 are to the east. Across 19th Avenue, to the west, is an office park and a public charter elementary school zoned C-2 TOD-1. To the south of the site are retail uses, zoned C-2 TOD-1. The request to rezone to WU Code T5:5 SL is generally consistent and compatible with the entitlements to the north and the land uses to the east and south.

Figure A: Site Context and Surrounding Land Uses



Source: Planning and Development Department

GENERAL PLAN LAND USE MAP DESIGNATIONS

- The General Plan Land Use Map designation of the site is Commercial, which is consistent with the request to rezone to WU Code T5:5 SL.

Legend

- Commercial
- 15+ du/acre
- 10 to 15 du/acre
- 3.5 to 5 du/acre

Figure B: General Plan Land Use Map Designation



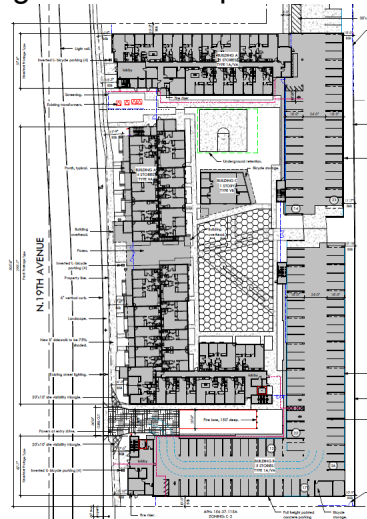
Source: Planning and Development Department

4. **Site Plan**

The conceptual site plan proposes three buildings ranging from four to five stories in height. The ground level will include parking, three lobbies, and units with porch frontages, one of the approved frontage types listed in the Walkable Urban Code, along 19th Avenue. The conceptual site plan also shows a paseo off of 19th Avenue, bicycle storage, a community room, and a courtyard.

Multiple utility conflicts exist that run parallel to the proposed sidewalk along the 19th Avenue frontage. These conflicts reduce the ability to plant shade trees in the required minimum five-foot-wide landscape strip between the sidewalk and back of curb. Therefore, the proposed site plan shows trees to be placed between the sidewalk and the building. To accommodate the utility conflict and the required planting distance between trees and utility lines, the applicant may either record a public utility easement or request a variance from the primary frontage setback maximum. Section 1304.B.4 of the Walkable Urban Code states that where public utility easements conflict with the required setbacks or build to dimensions, the measurement can be taken from the back of the easement. The planting requirement is addressed in Stipulation No. 1.

Figure C: Conceptual Site Plan



Source: Architectural Resource Team

5. The existing sidewalk is extremely narrow. To increase walkability and accessibility, the sidewalk will be reconstructed to be eight feet wide as required by Section 1312.E. of the Zoning Ordinance and the Complete Streets Guiding Principles. This is addressed in Stipulations Nos. 2 and 7.

As a primary purpose of the Walkable Urban Code and due to the site's proximity to public transit, numerous stipulations address pedestrian safety:

- Stipulation No. 3 requires stamped or colored concrete, decorative pavers or another material to be placed across the driveway to alert drivers of pedestrians.
- Stipulation No. 4 requires a traffic calming device such as a speed hump or speed cushion to be placed in the driveway to slow cars entering and exiting the site.

- Stipulation No. 5 requires signs to be placed at the entrance of the driveway to alert drivers of pedestrians.

Short-term bicycle parking is shown along 19th Avenue and long-term bicycle storage is shown on the ground floor of Building B. Bicycle parking requirements are addressed in Stipulation No. 6.

6. Conceptual Elevations

Section 1304.C. of the Zoning Ordinance requires that all sides of a building exhibit design continuity and multiple exterior accent materials. Further, multiple buildings on the same site should borrow and incorporate architectural styles, materials, forms, features, colors and compatible elements of the same site. The provided conceptual elevations show multiple exterior accent colors and materials. The proposed buildings are related in style, colors and features.

Figure D: Conceptual Elevations



Source: Architectural Resource Team

STUDIES AND POLICIES

7. [Transit Oriented Development Strategic Policy Framework](#)

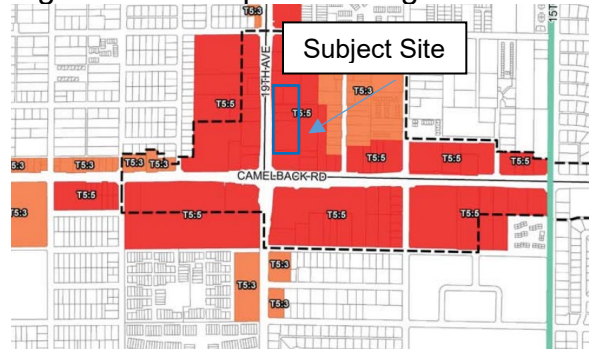
The Transit Oriented Development Strategic Policy Framework is part of the city's General Plan which identified planning typologies to describe urban environments. The identified environment for the 19th Avenue and Camelback Road light rail station area is Medium Urban Center. Medium Urban Center is a place type characterized by medium intensity with building heights typically from three to six stories, with incentive heights of up to 10 stories. Land uses may include balanced commercial and residential, retail destination, entertainment destination, and some employment. The proposed project falls within the parameters of the Medium Urban Center place type.

8. **Solano Transit Oriented Development Policy Plan**

The site is located within the Solano TOD (Transit Oriented Development) District, the boundaries for which are Campbell Avenue on the south, Rose Lane and Kiem Drive on the north, 15th Avenue on the east and 23rd Avenue on the west. The policy plan adopted for the Solano TOD District provides a blueprint for fully achieving the transformative potential of light rail in a sustainable manner. Changes advocated in the plan can lower transportation costs for residents, create new business opportunities, encourage active, healthy lifestyles, ensure Phoenix increases its competitive advantage in the global marketplace, and improve prosperity by growing the economy in locations with existing infrastructure and public services. To realize the implementation of the Vision and Master Plan for the Solano TOD District, one key recommendation is the implementation of a form-based zoning code.

The Solano TOD Policy Plan utilized the Medium Urban Center place type to determine the recommended scale and character of the area around the 19th Avenue and Camelback Road light rail station, and this scale and character was illustrated in both the conceptual master plan and the conceptual zoning plan. The subject site has a suggested zoning designation of T5:5 with a maximum building height of 56 feet. The request is consistent with the conceptual master plan transect of T5:5.

Figure E: Conceptual Zoning Plan



Source: Solano TOD Policy Plan, Planning and Development Department

The applicant is applying for Low-Income Housing Tax Credits from the Arizona Department of Housing, which requires properties to remain affordable for at least 30 years. The inclusion of affordable housing units in this proposal supports the TOD Strategic Policy Framework and the stated housing needs in the Solano TOD Policy Plan.

9. **Tree and Shade Master Plan**

The Tree and Shade Master Plan encourages treating the urban forest as infrastructure to ensure the trees are an integral part of the City's planning and development process. The general development standards of the Walkable Urban Code require that 75 percent of sidewalks and pedestrian ways be shaded. Staff is recommending Stipulation No. 1 to provide trees and shade along 19th Avenue.

10. **Complete Streets Guidelines**

In 2014, the City of Phoenix City Council adopted the Complete Streets Guiding Principles. The principles are intended to promote improvements that provide an accessible, safe, connected transportation system to include all modes, such as bicycles, pedestrians, transit, and vehicles.

The proposal includes shaded sidewalks which will increase the thermal comfort for those walking to and from nearby transit and those patronizing local businesses. The proposal also includes several bicycle racks for visitors and bicycle storage for residents. These are addressed in Stipulation Nos. 1 and 6, respectively. Stipulations Nos. 3, 4 and 5 require pedestrian safety features such as stamped or colored concrete, decorative pavers or other materials across the driveway, speed humps or speed cushions along the driveway and signs at the driveway entrance alerting drivers of pedestrians passing on the sidewalk.

11. **Comprehensive Bicycle Master Plan**

The City of Phoenix adopted the Comprehensive Bicycle Master Plan in 2014 to guide the development of its Bikeway System and supportive infrastructure. The Comprehensive Bicycle Master Plan supports options for both short- and long-term bicycle parking as a means of promoting bicyclist traffic to a variety of destinations. The conceptual site plan depicts that bicycle parking will be provided on site. It is recommended that two types of parking be provided on the property: secured parking for residents, and short-term rack parking for guests. Providing secure bicycle parking for residents and parking for guests of the development is supportive of multimodal travel options. Secured bicycle parking can be provided in bicycle lockers or via garage entry into each unit. The short-term bicycle racks should be an inverted-u design where both ends of the "U" are affixed to the ground and installed per the requirements of Walkable Urban Code. This variety of bicycle parking options will encourage residents to utilize biking as an alternative mode of transportation. This is addressed in Stipulation No. 6.

12. **Reimagine Phoenix**

As part of the Reimagine Phoenix initiative, the City of Phoenix is committed to increasing the waste diversion rate to 40 percent by 2020 and to better manage its solid waste resources. Section 716 of the Phoenix Zoning Ordinance establishes standards to encourage the provision of recycling containers for multifamily, commercial and mixed-use developments meeting certain criteria. The provision of recycling containers was not addressed in the applicant's submittals.

COMMUNITY INPUT SUMMARY

13. The applicant has completed the Citizen Participation requirements as outlined in the Rezoning Process Packet. The required mailings and site posting

generated attendance at the neighborhood meeting. There were six community members in attendance. At the time this staff report was written, staff has not received any community correspondence in support or opposition.

INTERDEPARTMENTAL COMMENTS

14. The Floodplain Division of the Public Works Department determined the site is not in a Special Flood Hazard Area (SFHA), but located in a Shaded Zone X, on panel 1740 L of the Flood Insurance Rate Maps (FIRM) dated October 16, 2013.
15. The City of Phoenix Water Services Department has noted the property has existing water and sewer mains that can potentially serve the proposed development, however there is a potential need to up size existing water and sewer infrastructure mains so that any remodels or new buildings will be able to meet domestic and fire code requirements.
16. The Street Transportation Department's Pedestrian Safety Coordinator commented on alternative paving materials across the driveway, traffic calming devices on the site such as speed humps or speed cushions, and signage where vehicles enter and exit the property warning drivers to be aware of pedestrians walking on the sidewalk. The referenced comments are addressed in Stipulation Nos. 3, 4 and 5.
17. The Street Transportation Department indicated that when public utility conflicts exist, trees planted between the sidewalk and building are acceptable and that all newly constructed streets within the site and sidewalks be constructed to ADA standards. These comments are addressed in Stipulations Nos. 1 and 7.
18. The Fire Department indicated there are no problems anticipated with the case and that the site and/or buildings shall comply with the Phoenix Fire Code. Further, the Department commented that they do not know the water supply at this site and noted that additional water supply may be required to meet the required fire flow per the Phoenix Fire Code.

OTHER

19. The site has not been identified as being archaeologically sensitive. However, in the event archaeological materials are encountered during construction, all ground disturbing activities must cease within 33-feet of the discovery and the City of Phoenix Archaeology Office must be notified immediately and allowed time to properly assess the materials. This is addressed in Stipulation 8.
20. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonments, may be required.

Findings

1. The proposal is consistent with the surrounding entitlements and approved policy plans.
2. This infill proposal provides a new housing option to contribute to the mix of housing types in the area.
3. The proposed increased scale and intensity is supported in proximity to the light rail corridor.

Stipulations

1. The developer shall install large canopy, single-trunk, shade trees placed a minimum of 20 feet on center or in equivalent groupings provided between the sidewalk and the building, per the requirements of Section 1309.C of the Zoning Ordinance, as approved by the Planning and Development Department.
2. The developer shall (re)construct sidewalk and landscape improvements to comply with Section 1312.E. of the Zoning Ordinance, as approved by the Planning and Development Department.
3. A sidewalk crossing, constructed of decorative pavers, stamped or colored concrete, or another material, other than those used to pave the parking surfaces and drive aisles, shall be provided across the driveway, as approved by the Planning and Development Department.
4. The developer shall install traffic calming measures such as speed humps or speed cushions at the property's driveways to increase the safety of pedestrians in the sidewalks by slowing down vehicles entering and exiting the property, as approved by the Planning and Development Department.
5. The developer shall install signage where vehicles enter and exit the property warning drivers to be aware of pedestrians walking on the sidewalk, as approved by the Planning and Development Department.
6. The developer shall provide secured bicycle parking for the required bicycle parking spaces up to a maximum of 50 spaces. In addition, a minimum of eight inverted U-bicycle racks for guests located near entrances to the building shall be installed per the requirements of Section 1307.H of the Zoning Ordinance, as approved by the Planning and Development Department.
7. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals as per plans approved by

the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.

8. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.

Writer

Sarah Stockham

January 17, 2020

Team Leader

Samantha Keating

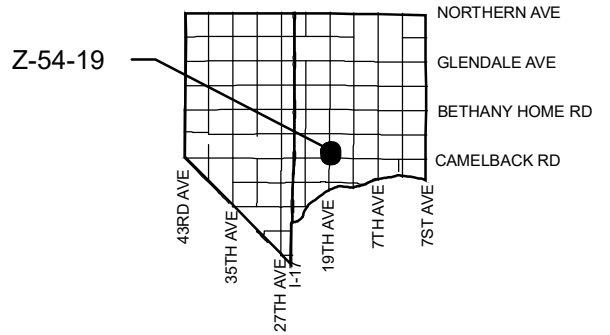
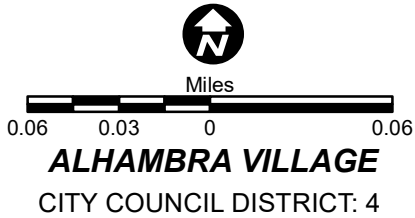
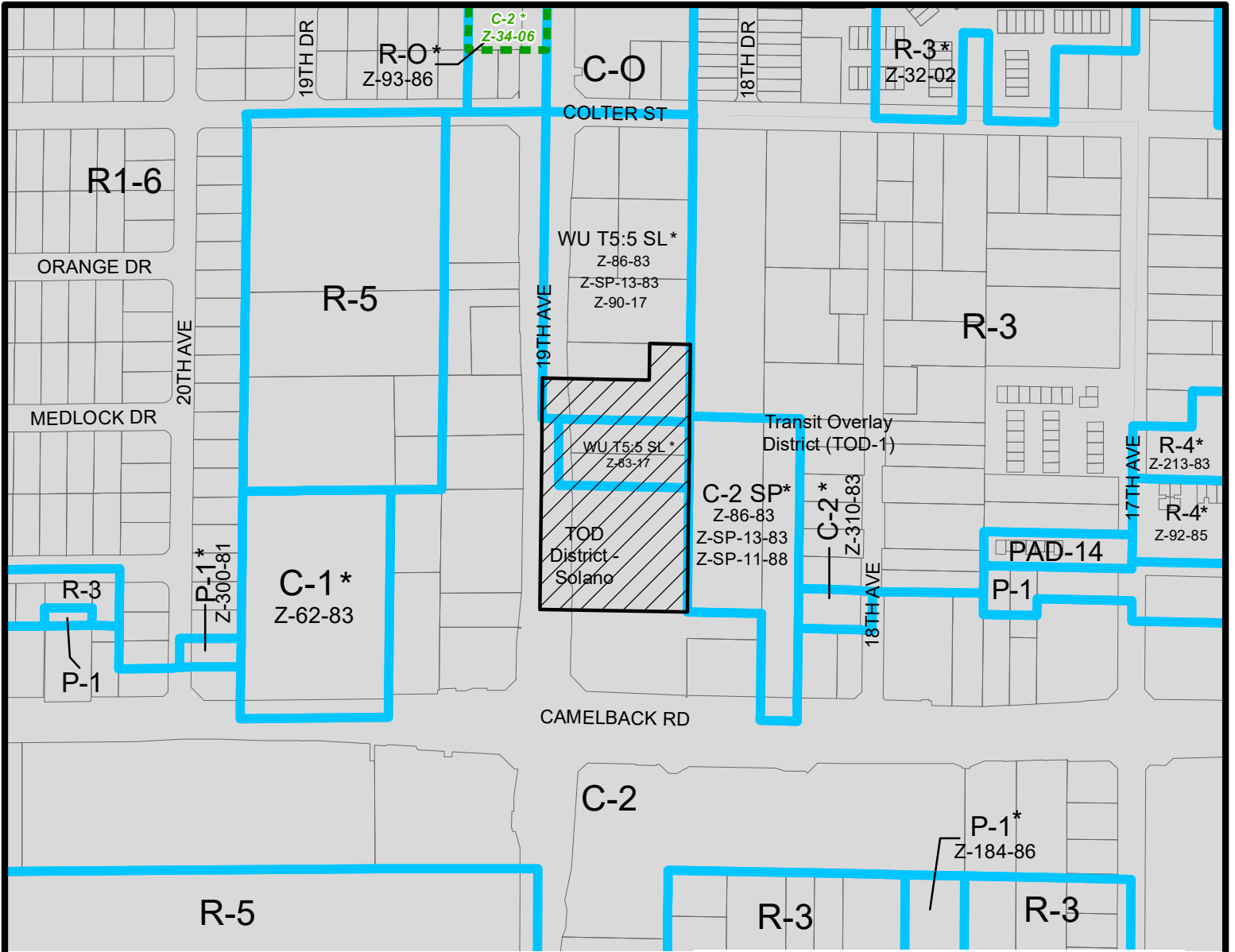
Attachments

Zoning sketch map

Aerial sketch map

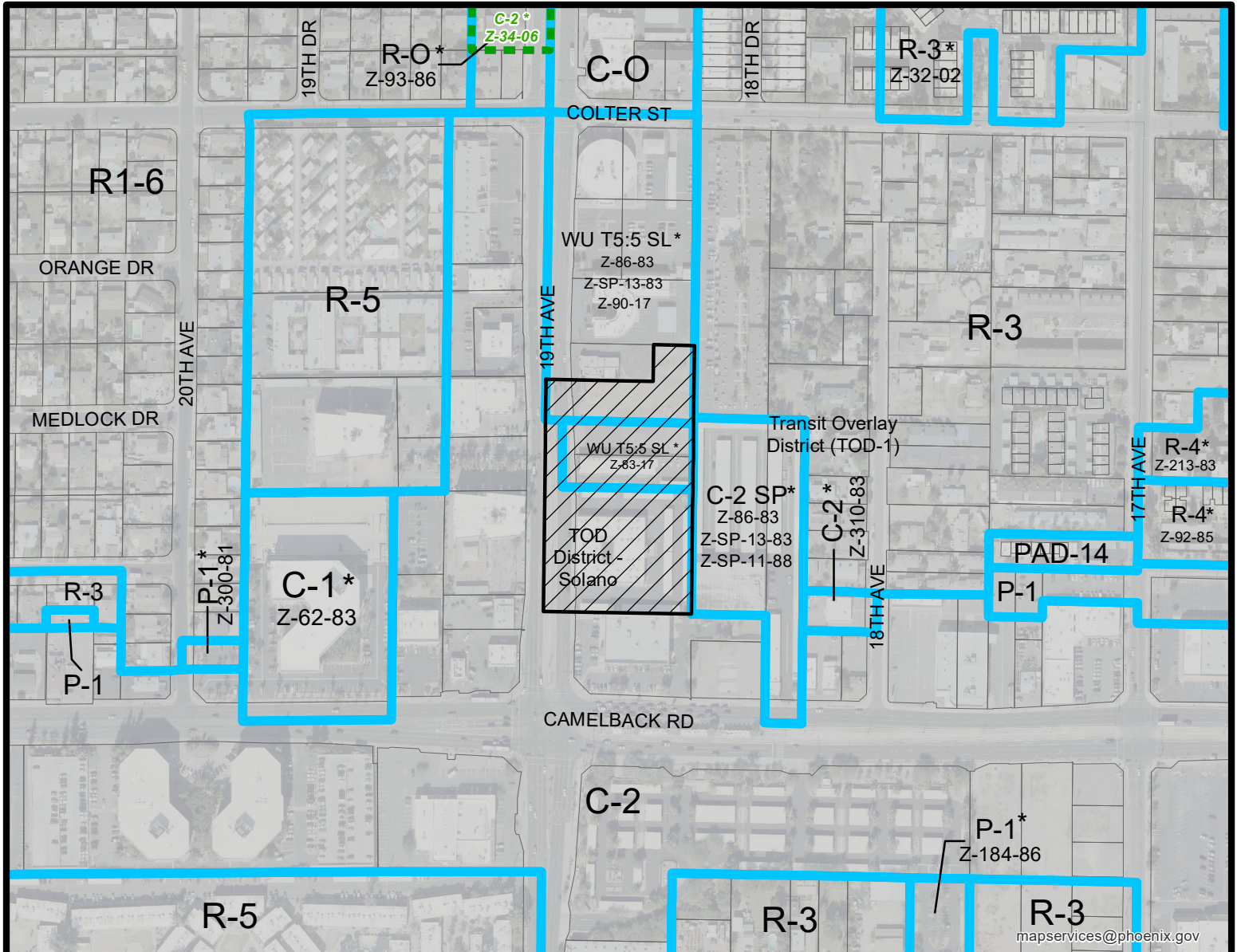
Conceptual Site Plan date stamped December 18, 2019

Conceptual Elevations date stamped December 18, 2019

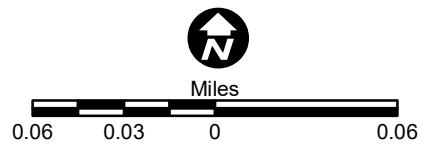


APPLICANT'S NAME: Christian Solorio, Architectural Resource Team		REQUESTED CHANGE:		
APPLICATION NO. Z-54-19	DATE: 11/26/2019 REVISION DATES:	FROM: C-2 TOD-1 (2.14 a.c.) WU CODE T5:5 SL (1.76 a.c.)		
<small>GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.</small> 3.90 Acres	12/09/2019 1/3/2020			
	AERIAL PHOTO & QUARTER SEC. NO. QS 19-25	ZONING MAP H-7	TO: WU CODE T5:5 SL (3.90 a.c.)	
MULTIPLES PERMITTED C-2 TOD-1, WU CODE T5:5 SL WU CODE T5:5 SL	CONVENTIONAL OPTION 31, No Maximum No Maximum			

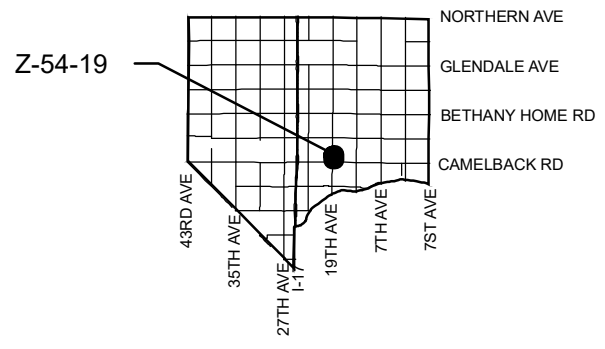
* Maximum Units Allowed with P.R.D. Bonus



mapservices@phoenix.gov



ALHAMBRA VILLAGE
CITY COUNCIL DISTRICT: 4



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MULTIPLES PERMITTED C-2 TOD-1, WU CODE T5:5 SL WU CODE T5:5 SL	CONVENTIONAL OPTION 31, No Maximum No Maximum		* UNITS P.R.D. OPTION 37, N/A N/A	

* Maximum Units Allowed with P.R.D. Bonus



SITE PLAN LEGEND

- property line
- easement
- right-of-way
- building setback
- landscape setback
- accessible route
- fire access route
- vehicular route
- waste access route
- building overhead
- overhead utilities
- underground retention
- fence and gate
- building footprint
- open space
- hardscape
- site visibility triangle

LEGAL DESCRIPTION

APN 156-37-002B
That portions of Lots 1,2,9 and 10, Block 3, NILE TRACT, according to Book 14 of Maps, Page 9 records of Maricopa County, Arizona, located in the Southwest quarter of Section 18, Township 2 North, Range 3 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona.

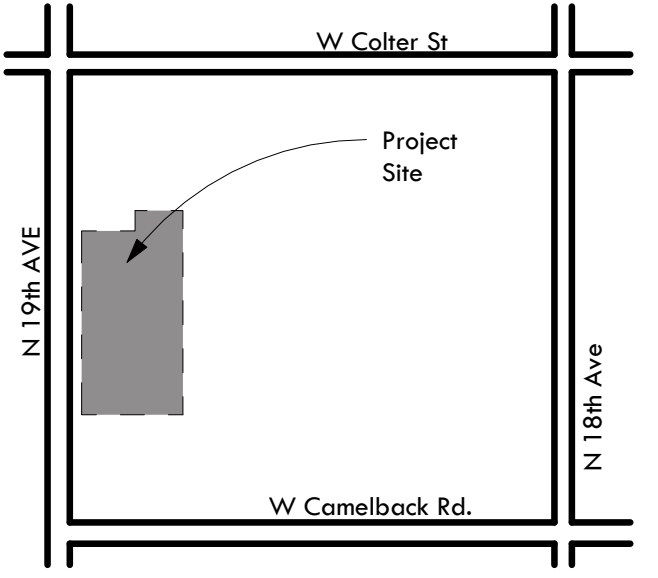
APN 156-37-047A
The North 72 feet of the South 145 feet of the North quarter of Lots 9 and 10, Block 3, of NILE TRACT, according to the plat of record in the office of the County Recorder of Maricopa County, Arizona, in Book 14 of Maps, page 9.

APN 156-37-043A
The South 145 feet of the North quarter of Lots 9 and 10, Block 3, of NILE TRACT, according to Book 14 of Maps, page 9, records of Maricopa County, Arizona.

APN 156-37-040B
The south half of lot nine (9), except the south 100 feet thereof, and except the west 7 feet thereof, and the west 6 feet of the south half of lot ten (10), except the south 100 feet thereof, all in block three (3), NILE TRACT, according to the plat of record in the office of the county recorder of Maricopa County, Arizona in Book 14 of Maps, page 9.

GLAZING CALCULATIONS

PHASE I: RESIDENTIAL REQUIREMENT:	25% GROUND FLOOR 10% SECOND FLOOR
GROUND FLOOR BUILDING FRONTAGE AREA:	289 SF
GROUND FLOOR GLAZED AREA:	143 SF
	143 / 289 = 49%
SECOND FLOOR BUILDING FRONTAGE AREA:	289 SF
SECOND FLOOR GLAZED AREA:	115 SF
	115 / 289 = 39%
PHASE II RESIDENTIAL REQUIREMENT:	25% GROUND FLOOR 10% SECOND FLOOR
GROUND FLOOR BUILDING FRONTAGE AREA:	1795 SF
GROUND FLOOR GLAZED AREA:	523 SF
	523 / 1795 = 29%
SECOND FLOOR BUILDING FRONTAGE AREA:	1795 SF
SECOND FLOOR GLAZED AREA:	436 SF
	436 / 1795 = 24%



VICINITY MAP

ZONING ANALYSIS - SITE DATA

ZONING (EXISTING):	C-2 WU T5.5 SOLANO-TOD
ZONING (PROPOSED):	WU T5.5 SOLANO-TOD
PARCEL NUMBER:	156-37-040B 156-37-047A 156-37-043A 156-37-040B
PROPOSED USE:	MULTIFAMILY (AFFORDABLE HOUSING)
LOT SALES PROPOSED:	NO
SITE AREA:	NET: 137,702 SF (3.16 ACRE) GROSS: 168,070 SF (3.86 ACRE)
BUILDING FOOTPRINT:	BUILDING A: 23,413 SF BUILDING B: 24,815 SF BUILDING C: 28,570 SF BUILDING D: 2,000 SF TOTAL: 78,798 SF
LOT COVERAGE:	78,798 SF/168,070 SF = 46.8%
BUILDING FRONTAGE:	352.76 LF/483.17 LF = 73%
BUILDING HEIGHT:	56'-0"/5-STORIES MECHANICAL PENTHOUSE HEIGHT TO BE LIMITED
DWELLING UNIT DENSITY:	TOTAL: 297 DU/3.86 AC = 76.94 DU/AC
OPEN SPACE:	TOTAL: 9,510 SF/168,070 SF = 5.6%
SETBACKS:	FRONT (WEST): VARIES SEE SITE PLAN SIDE (SOUTH): 10'-0" SIDE (NORTH): 10'-8" REAR (EAST): 10'-0"
PARKING ANALYSIS:	PHASE I-REQUIRED: AFFORDABLE: .5 PER UNIT 297 x .5 = 149 STALLS (25% REDUCTION) 149 x .75 = 112 STALLS TOTAL PROVIDED: 114 STALLS (INCLUDING 5 ADA)
BICYCLE PARKING ANALYSIS:	TOTAL REQUIRED: MULTIFAMILY: .25 PER UNIT 297 x .25 = 75 STALLS MAX SPACES REQUIRED = 50 TOTAL PROVIDE: 50 SPACES
REFUSE REQUIREMENTS:	.25 CU YARDS PER UNIT 297 UNITS x .25 = 74.25 CU YARDS

PROJECT INFORMATION

PROJECT: MESQUITE TERRACE
5033 N. 19TH AVE.
PHOENIX, AZ 85015

PROJECT DESCRIPTION:
THE PROJECT IS A 297-UNIT TWO-PHASE DEVELOPMENT IN THE SOLANO NEIGHBORHOOD. THE PROJECT CONTAINS A TOTAL OF 297 UNITS WITH A MIXTURE OF 1-BEDROOM, 2-BEDROOM, AND 3-BEDROOM UNITS. THE PROJECT HAS 4 TOTAL BUILDINGS ON SITE. TWO (2) FIVE STORY BUILDINGS, ONE (1) FOUR-STORY BUILDING AND ONE (1) SINGLE STORY COMMUNITY BUILDING. THE PROJECT WILL PROVIDE MUCH NEEDED AFFORDABLE HOUSING NEAR THE LIGHT RAIL CORRIDOR. THE PROJECT HAS A LARGE CENTRAL COURTYARD WITH AMENITIES AND COMMUNITY SPACE. THE BUILDING WILL HAVE A LARGE DYNAMIC PRESENCE ALONG 19TH AVENUE.

PROJECT TEAM

ARCHITECT
Architectural Resource Team, Inc
1055 e Indian school rd
Phoenix, AZ 85014
V | 602.307.5399
Design Professional in Charge
Doug McCord, AIA, LFA, LEEDap
E | dcmccord@art-team.com

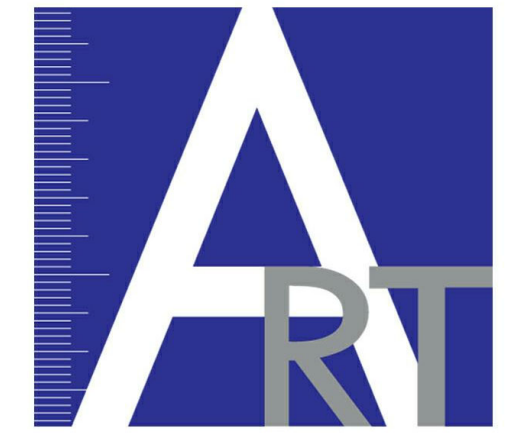
DEVELOPER/OWNER
Trinity Housing Development
4025 Automation Way B-4
For Collins, CO 80525
V | 417.882.1701
Contact: Chadrick Martinez
E | cmarinez@4conersdevelopmentllc.com

LANDSCAPE ARCHITECTURE
McGough Adamson
535 E. McKellips Rd. Suite 131
Mesa, AZ 85203
V | 602.997.9093
Contact: Tim McGough
E | timm@mg-az.com

SURVEY / CIVIL
Cypress Civil Development
4450 north 12th street, suite #228
Phoenix, AZ 85014
V | 623.282.2498
Contact: Jeff Hunt
E | jphunt@cypresscivil.com

Z-54-19-4 STIPULATIONS

- A minimum building setback of 12 feet shall be required along the west property line to allow trees to be placed between the buildings and sidewalk along the 19th Avenue frontage, as approved by the Planning and Development Department.
- The Developer shall install a minimum of 3-inch caliper large canopy, single trunk, shade trees placed a minimum of 20 feet on center or in equivalent groupings shall be provided in the landscape setback areas, per the requirements of Section 1309.C of the zoning ordinance, as approved by the Planning and Development Department.
- The Developer shall (re)construct sidewalk and landscape improvements to comply with Section 1312.E of the zoning ordinance, as approved by the Planning and Development Department.
- A sidewalk crossing, constructed of decorative pavers, stamped or colored concrete, or another material, other than those used to pave the parking surfaces and drive aisles, shall be provided across the driveway, as approved by the Planning and Development Department.
- The developer shall install signage where vehicles enter and exit the property warning drivers to be aware of pedestrians walking on the sidewalk, as approved by the Planning and Development Department.
- the developer shall install traffic calming measures such as speed humps or speed cushions at the property's driveways to increase the safety of pedestrians in the sidewalks by slowing down vehicles enter and exiting the property, as approved by the Planning and Development Department.
- The developer shall provide secured bicycle parking for the required bicycle parking spaces up to a maximum of 50 spaces. In addition, a minimum of eight inverted U-bicycle racks for guests located near entrances to the building shall be installed per the requirements of Section 1307.H of the Zoning Ordinance, as approved by the Planning and Development Department
- The Developer shall construct all streets within and adjacent to the development with paving, curb ramps, streetlights, median islands, landscaping and other incidentals as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
- In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the archaeology office to properly assess the materials.



ARCHITECTURAL RESOURCE TEAM

1055 e indian school rd
phoenix, az 85014
602-307-5399 | v
www.art-team.com

Trinity Housing/ Catholic Charities
Mesquite Terrace
5033 N 19th Ave, Phoenix, AZ 85015

Pre-Application

Revision Schedule		
No.	Date	Description

19039	ART PROJECT NO.
9/12/2019	DATE
Author	DRAWN BY
Checker	CHECKED BY

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CITY OF PHOENIX
DEC 18 2019
Planning & Development
Department

KIVA#: XXXXX
SDEV#: XXXXX
PAPP#: XXXXX
QS#: 19-25

PRELIMINARY
NOT FOR
CONSTRUCTION

Follow-up Pre-App
Site Plan

DRAWING NO.

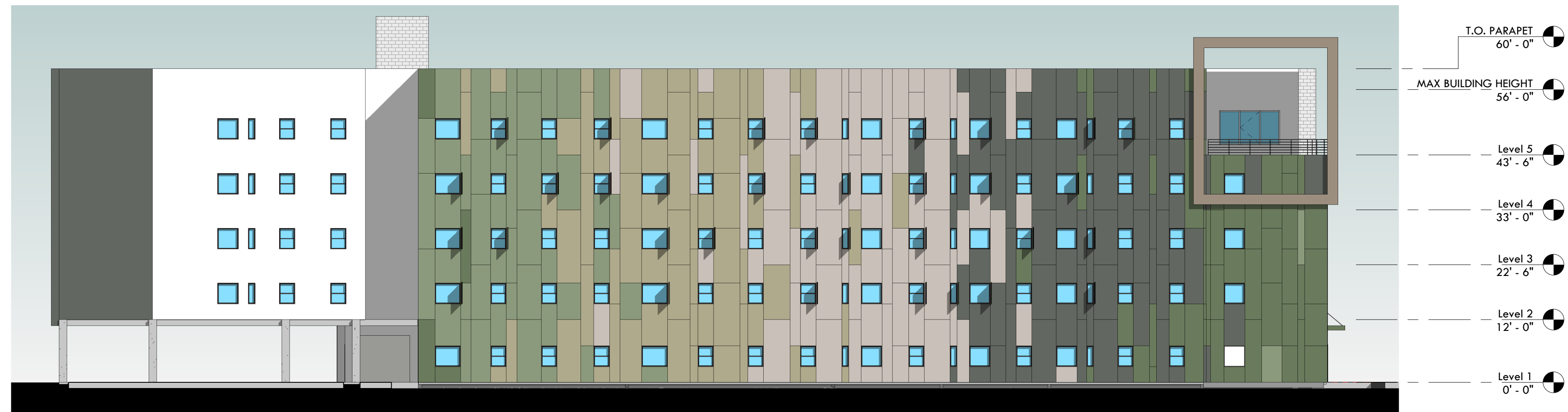
Z0.21



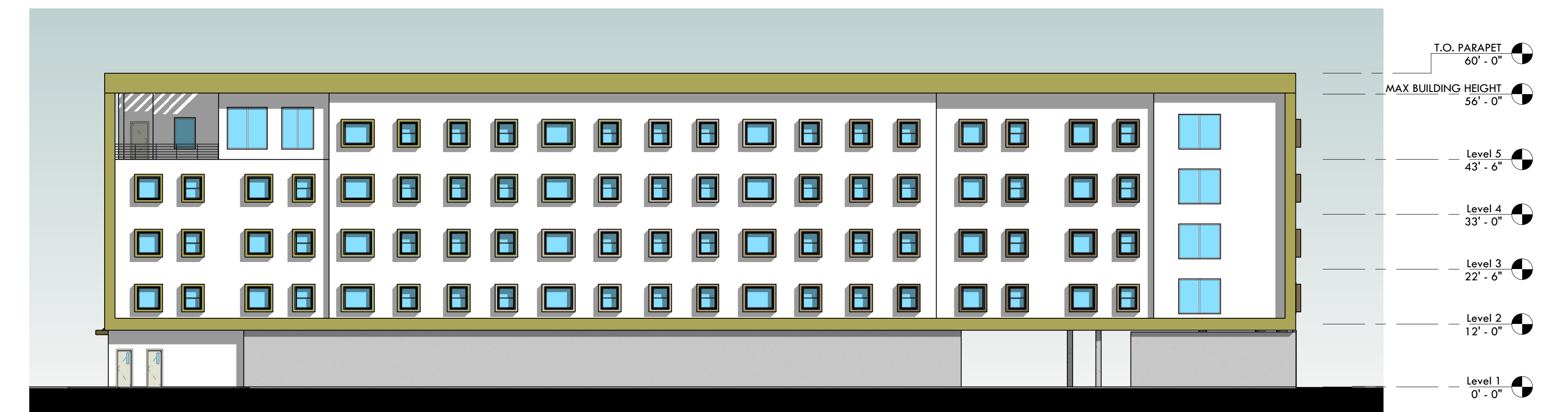
1 Rezoning Elevation - West
1/16" = 1'-0"



2 Rezoning Elevation - East
1/16" = 1'-0"



3 Rezoning Elevation - North
1/16" = 1'-0"



4 Rezoning Elevation - South
1/16" = 1'-0"

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Pre-Application

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DRAWING TITLE
Rezoning Building Elevations

DRAWING NO.

Z3.11

CITY OF PHOENIX

DEC 18 2019

**Planning & Development
Department**