



City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT

Staff Report Z-4-22-1
July 5, 2022

North Mountain [Village Planning Committee](#) Meeting Date: July 20, 2022
[Planning Commission](#) Hearing Date: August 4, 2022
Request From: PSC (Planned Shopping Center) (3.27 acres), C-2 (Intermediate Commercial) (0.27 acres)
Request To: C-2 (Intermediate Commercial) (3.54 acres)
Proposed Use: Shopping center with expanded uses permitted in C-2
Location: Northeast corner of 29th Avenue and Dunlap Avenue
Owner: GM Metro, LLC, GM ELPED, LLC, et al.
Applicant / Representative: Withey Morris, PLC, William F. Allison
Staff Recommendation: Approval, subject to stipulations

General Plan Conformity			
General Plan Land Use Map Designation		Commercial	
Street Map Classification	29th Avenue	Collector	Width varies from 32.5-foot to 42-foot east half street
	Dunlap Avenue	Major Arterial	84-foot north half street
<p><i>CONNECT PEOPLE AND PLACES CORE VALUE; CORES, CENTERS, AND CORRIDORS; DESIGN PRINCIPLE: Encourage centers to provide a pedestrian environment with plazas, common open space, shaded walkways, separation of pedestrian and vehicular traffic, bicycle parking, and vehicle parking in architecturally disguised structures or underground where feasible.</i></p> <p>The subject site is located within the Primary Core of the North Mountain Village which is envisioned as a walkable urban center of retail, employment, and housing activity. The subject site is also approximately one-half mile from the future Metrocenter Light Rail Station. The development, as stipulated, will create shaded and detached sidewalks to facilitate pedestrian travel from nearby neighborhoods to the North Mountain Primary Core and Metrocenter Light Rail Station.</p>			

BUILD THE SUSTAINABLE DESERT CITY CORE VALUE; TREE AND SHADE; DESIGN PRINCIPLE: Integrate trees and shade into the design of new development and redevelopment projects throughout Phoenix.

The development, as stipulated, will add shade trees and landscaping between the building and 29th Avenue. The addition of trees on this developed site will reduce its urban heat island effect and increase thermal comfort which will make the area more walkable, bikeable, and sustainable.

CONNECT PEOPLE AND PLACES CORE VALUE; BICYCLES; DESIGN PRINCIPLE: Development should include convenient bicycle parking.

The development, as stipulated, will add bicycle parking to provide convenient opportunities for employees and patrons to secure their bicycle while in the businesses. The bicycle parking will also encourage employees and patrons to utilize nearby high-capacity transit options including the light rail station at Metrocenter Mall.

Applicable Plans, Overlays, and Initiatives

[North Mountain Character Plan](#): Background Item No. 3.

[North Mountain Redevelopment Area Plan](#): Background Item No. 6.

[Transit Oriented Development Strategic Policy Framework](#): See Background Item No. 7.

[Tree and Shade Master Plan](#): Background Item No. 8.

[Comprehensive Bicycle Master Plan](#): See Background Item 9.

[Complete Streets Guidelines](#): Background Item No. 10.

[ZeroWaste Phoenix](#): Background Item No. 11.

Surrounding Land Uses and Zoning

	<u>Land Use</u>	<u>Zoning</u>
On Site	Commercial	PSC and C-2
North	Commercial	C-2 HGT/WVR DNS/WVR
East	Commercial	PSC and C-2
West (Across 29th Avenue)	City of Phoenix Water Treatment Plant	R1-6
South (Including across Dunlap Avenue)	Single-Family Residential and Commercial	R1-6 and PSC

C-2 (Intermediate Commercial – Village Core)		
<u>Standards</u>	<u>Requirements</u>	<u>Provisions in the Site Plan Provided</u>
Gross Acreage	-	3.54 acres
<i>Minimum Building Setbacks</i>		
Front yard (South – Adjacent to Dunlap Avenue)	25 feet (May be reduced to 12 feet if parking is not located in the front yard)	Not shown*
Side yard (West – Adjacent to 29th Avenue)	25 feet (May be reduced to 12 feet if parking is not located in the front yard)	Not shown*
Interior Property Lines Adjacent to C-2 Adjacent to PSC	0 feet 10 feet	Not shown* Not shown*
<i>Minimum Landscaped Setbacks</i>		
Front yard (South – Adjacent to Dunlap Avenue)	8 feet times the lot frontage between property line abutting public right-of-way and the principal building or structure with a minimum 5-foot landscape strip between the property line and parking area	Not shown*
Side yard (West – Adjacent to 29th Avenue)	8 feet times the lot frontage between property line abutting public right-of-way and the principal building or structure with a minimum 5-foot landscape strip between the property line and parking area	Not shown*
Interior Property Lines Adjacent to C-2 Adjacent to PSC	0 foot minimum 0 foot minimum	Not shown* Not shown*
Lot Coverage	Maximum of 50 percent	Not shown*
Building Height	Maximum of 4 stories, 56 feet	Not shown*
Minimum Parking	Requirement varies based on use.	Not shown* (Shared parking with adjacent commercial provided)
<i>*Existing condition, variances may be required</i>		

Background/Issues/Analysis

SUBJECT SITE

1. This request is to rezone 3.54 acres located at the northeast corner of 29th Avenue and Dunlap Avenue from PSC (Planned Shopping Center) and C-2 (Intermediate Commercial) to C-2 (Intermediate Commercial) to allow a greater number of commercial uses on an existing shopping center.

The site is in the Primary Core of the North Mountain Village and within one-half mile of two light rail stations including the Metrocenter Station and the 25th Avenue/Dunlap Avenue Station, and within close proximity to the Metrocenter Transit Center, and the bus rapid transit line which is planned along 35th Avenue with its northern terminus at Metrocenter.

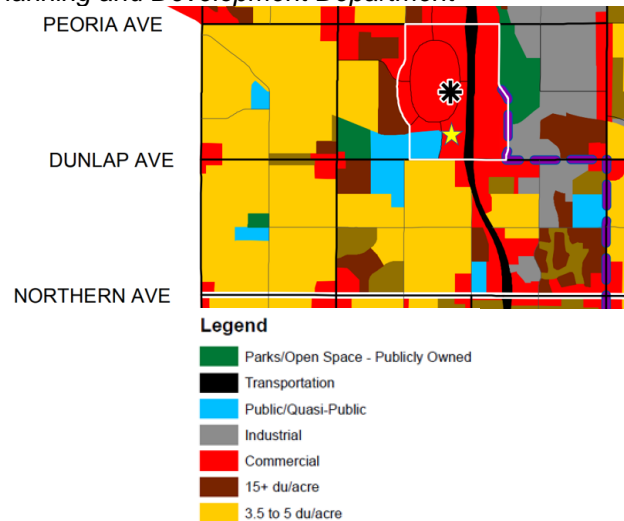
Northwest Phase II Light Rail Extension Map, annotated with a half mile buffer from the subject site; Source: Valley Metro



GENERAL PLAN LAND USE MAP

2. The General Plan Land Use Map designation for the subject site is Commercial and located within the Primary Village Core (depicted by a white outline below). This Village Core has planned light rail service (depicted with a dashed purple line). West of 29th Avenue is the Deer Valley Water Treatment Plant which has a General Plan Land Use Map designation of Public/Quasi-Public. South of Dunlap Avenue is a residential neighborhood with a General Plan Land Use Map designation of Residential 3.5 to 5 dwelling units per acre.

General Plan Land Use Map Excerpt; Source: Planning and Development Department



North of the subject site is a commercial site that was rezoned through Z-57-19-1 for multifamily and zoned C-2 HGT WVR and DNS / WVR (Intermediate Commercial, Height Waiver, Density Waiver) and have a Commercial designation on the General Plan Land Use Map. East of the subject sites are commercial sites within the Metro Marketplace that are zoned PSC with a Commercial designation on the General Plan Land Use Map.

3. **North Mountain Character Plan**

The North Mountain Village Character Plan was approved and adopted into the Phoenix General Plan through General Plan Amendment GPA-1-19. The proposal advances these concepts by integrating alternative transportation amenities, trees, and by providing additional land use options to revitalize an existing structure in the Village Core.

- Design Principle: Integrate trees and shade into the design of new development and redevelopment projects throughout Phoenix.
- Design Principle: Development should be designed to include increased amenities for transit, pedestrian and bicyclists, such as shade, water, seating, bus shelters, wider sidewalks, bike racks, pedestrian scale lighting and wayfinding.
- Design Principle: Protect and enhance the character of each neighborhood and its various housing lifestyles through new development that is compatible in scale, design, and appearance.
- Opportunities for Growth: Revitalizing commercial centers.

PROPOSAL

4. The applicant proposes to retain both existing buildings without changes to parking and vehicular circulation. The existing commercial buildings are both strip mall configuration with series of retail bays with entrances oriented to the interior of the site. The larger shopping center was master planned and therefore includes shared parking, shared points of ingress and egress, and similar architectural character throughout much of the development. While the shared parking and access routes remain, the shopping center is beginning to change toward a more pedestrian- and transit- oriented environment, which began with Rezoning Case No. Z-57-19-1.

Rezoning Case No. Z-57-19-1 rezoned 7.32 acres north of the subject sites to allow multifamily in a four-story configuration. Due to the location within North Mountain's Primary Village Core and its proximity to light rail, the site was stipulated to the following enhancements along 29th Avenue: a shaded and detached sidewalk, enhanced landscape plantings between the building and sidewalk, and primary entrances oriented to the sidewalk. The same policies apply to the subject site and staff therefore recommends a series of stipulations to enhance the 29th Avenue streetscape and the property's interface with the street which leads directly toward light rail within a 5-minute walking distance.

Rezoning Sketch Map for Z-57-20-1 with Z-4-22-1 site annotated. Source: Planning and Development Department



To establish a safe, comfortable, and transit-oriented pedestrian environment suited for North Mountain's Primary Core and for consistency with improvements required through Rezoning Case No. Z-57-19-1, staff recommends the following stipulations.

Upon the redevelopment or any change to the floor area of 25 percent including demolition, Stipulations No. 1 will require that include unit entrances be oriented to 29th Avenue accentuated by stoops and doorwells, common entries, storefronts, galleries, and/or forecourts.

Prior to the issuance of building permits for tenant improvements the following shall be completed:

- Stipulation No. 2 to require three bicycle racks at each of the two buildings.
- Stipulation No. 3 to require that clearly defined and accessible pathways be added or delineated to connect all building entrances and to one another and to the public sidewalks along 29th Avenue and Dunlap Avenue.
- Stipulation No. 4 to require the landscape setback area along 29th Avenue be landscaped in accordance with the requirements of C-2 but with all trees being of a shade variety.
- Stipulation No. 5 to require the public sidewalk along 29th Avenue be detached by a landscape area of no less than eight feet in width and shaded to 75 percent by trees.

Image from the southwest corner of the site looking northeast at the existing building and its streetscape; Source: Image Dated February 2021,

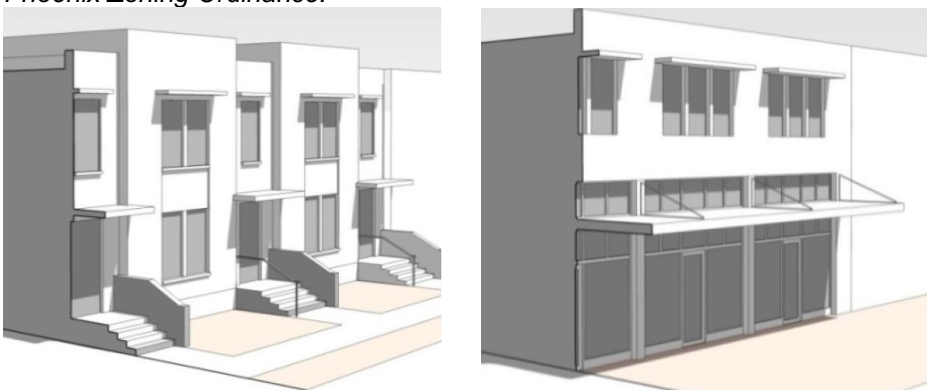


5. **Building Elevations**

The applicant is not proposing changes to the existing buildings and has not provided conceptual building elevations. The building facades are comprised of glazing, stucco, stone, and a clay tile roof which transitions to a parapet wall. While no changes are proposed to the buildings at this time, the applicant has invested in notable improvements to the visual appearance and envelope of the building.

To establish a safe, attractive, and functional interface with the public streets in alignment with the walkable urban vision for the North Mountain Primary Core, staff recommends Stipulation No. 1 a and b which require the addition of building entrances oriented to 29th Avenue and architectural embellishments, respectively.

Frontage Type Graphics. Stoop and Doorwell (left), Storefront (right). Source: Chapter 13 of the Phoenix Zoning Ordinance.

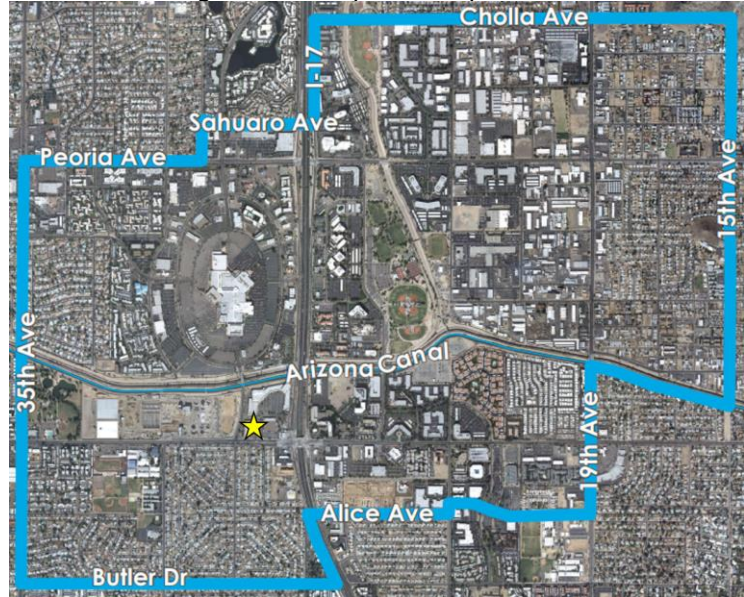


STUDIES AND POLICIES

6. **North Mountain Redevelopment Area Plan**

The North Mountain Redevelopment Area Plan, adopted in 2014, examined the general vicinity of the subject site. The study calls for a myriad of efforts to advance economic development and quality of life in the area including recommendations in support of the redevelopment of Metrocenter Mall, the expansion of high-capacity transit, and the creation of alternative transportation infrastructure. The proposal will support walkability and renewed economic vitality on an underutilized site.

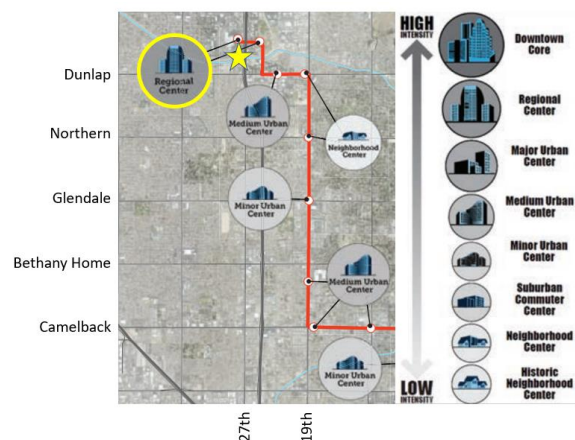
Study Boundary for the North Mountain Redevelopment; Source: Planning and Development Department



7. **Transit Oriented Development Strategic Policy Framework**

The Transit Oriented Development Strategic Policy Framework is part of the City's General Plan. The framework identifies planning typologies to describe urban environments. The subject site is located within one-half mile of a future rail station in an area identified as a Regional Center Place Type.

Place Type Map from the Transit Oriented Development Strategic Policy Framework; Source: Planning and Development Department



The Regional Center Place Type recommends 5 to 10 stories and up to 20 stories when certain bonus criteria are met. The proposal is not consistent with the recommended intensity, but as stipulated, will produce a streetscape environment conducive to the additional intensity recommended in the Primary Village Core.

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8. **Tree and Shade Master Plan**

The Tree and Shade Master Plan encourages treating the urban forest as infrastructure to ensure the trees are an integral part of the City's planning and development process. Shade at this location within the North Mountain Village Primary Core is critical because 29th Avenue serves as a primary route for pedestrians to access light rail, the destinations envisioned in the redevelopment of Metrocenter Mall, and the Arizona Canal which functions as a major active transportation corridor.

To advance the goals and intent of the Tree and Shade Master Plan, staff recommends the following stipulations:

- Upon redevelopment or a change to the floor area of 25 percent or greater, Stipulation No. 1 will require a shaded and detached sidewalk along 29th Avenue and that all uncovered surface parking areas be shaded to 25 percent by trees.
- Prior to the issuance of building permits for tenant improvements, Stipulation No. 4 will require the landscape setback area along 29th Avenue be landscaped to C-2 standards with trees being of a shade variety.

9. **Comprehensive Bicycle Master Plan**

The Comprehensive Bicycle Master Plan is a guide for creating a culture and environment conducive to bicycling as a viable mode of transportation. The proximity to the Arizona Canal, high-capacity transit, and the location within the North Mountain Village Core underscore the importance of walking and bicycling in this area.

To advance the goals and intent of the Comprehensive Bicycle Master Plan, staff recommends Stipulation No. 2 to require bicycle parking near the entrances of each existing buildings. The development, as stipulated, will contribute to a culture of bicycling, increase multi-modal trips by customers or employees, and provide convenient access to nearby recreation areas.

10. **Complete Streets Guidelines**

The City of Phoenix City Council adopted the Complete Streets Guiding Principles and these principles are intended to promote improvements that provide an accessible, safe, connected transportation system to include all modes, such as bicycles, pedestrians, transit, and vehicles. The importance of safe, comfortable, and complete streets at this location within the North Mountain Primary Core is critical because 29th Avenue will serve as a primary route for pedestrians to access light rail, the destinations envisioned in the redevelopment of Metrocenter, and the Arizona Canal which functions as a major active transportation corridor.

To advance the goals and intent of the Complete Streets Guidelines, staff recommends the following stipulations:

- Upon redevelopment or a change to the floor area of 25 percent or greater, Stipulation No. 1 will require a shaded and detached sidewalk along 29th Avenue to promote pedestrian activity.
- Prior to the issuance of building permits for tenant improvements, Stipulation No. 2 will require that three bicycle racks be installed at each of the buildings.

11. **ZeroWaste Phoenix**

The City of Phoenix is committed to its waste diversion efforts and has set a goal to become a zero waste city, as part of the city's overall 2050 Environmental Sustainability Goals. One of the ways Phoenix can achieve this is to improve and expand its recycling and other waste diversion programs. Section 716 of the Phoenix Zoning Ordinance establishes standards to encourage the provision of recycling containers for multifamily, commercial, and mixed-use developments meeting certain criteria. The provision of recycling containers was not addressed in the applicant's submittal documents.

COMMUNITY CORRESPONDENCE

12. As of the writing of this report, no community correspondence has been received on this request.

INTERDEPARTMENTAL COMMENTS

13. The Fire Department commented that the site plan must comply with the Phoenix Fire Code and further indicated there are no problems anticipated with the case. Further, the Department commented that they do not know the water supply at this site and noted that additional water supply may be required to meet the required fire flow per the Phoenix Fire Code.
14. The Street Transportation Department commented that 29th Avenue is identified on the Street Classification Map with a cross section that requires a sidewalk detached from the back of curb by a minimum 8-foot-wide landscape area with vegetation determined by the Planning and Development Department. Additionally, the Street Transportation Department provided stipulations to require detached sidewalks along 29th Avenue and that all street improvements be constructed to meet ADA accessibility standards. Stipulation No. 1 requires that the sidewalk along 29th Avenue be detached and shaded upon the redevelopment of the site or change of the footprint of 25 percent or more. Stipulation No. 6 requires that all right-of-way improvements comply with ADA standards.

15. The Water Services Department commented that the site is currently served by water and sewer services.

OTHER

16. The site has not been identified as being archaeologically sensitive. However, in the event archaeological materials are encountered during construction, all ground disturbing activities must cease within 33-feet of the discovery and the City of Phoenix Archaeology Office must be notified immediately and allowed time to properly assess the materials. This is addressed in Stipulation No. 7.
17. Staff has not received a completed form for the Waiver of Claims for Diminution in Value of Property under Proposition 207 (A.R.S. 12-1131 et seq.), as required by the rezoning application process. Therefore, a stipulation has been added to require the form be completed and submitted prior to preliminary site plan approval. This is addressed in Stipulation No. 8.
18. Development and use of the site are subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonments may be required.

Findings

1. The development is consistent with the Commercial General Plan Land Use Map designation.
2. The proposal, as stipulated, will create a strong pedestrian environment along 29th Avenue with shaded and detached sidewalks in a key corridor to convey residents safely and comfortably to the North Mountain Primary Core and the Metrocenter Light Rail Station.
3. The development, as stipulated, is appropriate at this location due to its compatibility with the surrounding land uses.

Stipulations

1. For any development that modifies the cumulative floor area of any building by more than 25 percent, including demolition, from that depicted on the site plan (Alta/ACSM Survey) date stamped February 2, 2022, the conceptual site plans, conceptual landscape plans, and elevations shall be administratively approved by the Planning Hearing Officer prior to preliminary site plan approval with specific regard to the inclusion of the below elements. This review is for conceptual purposes only. Specific development standards and

requirements will be determined by the Planning and Development Department.

- a. Pedestrian orientation to 29th Avenue including building/unit entrances accentuated by architectural treatments such as stoops and doorwells, common entries, storefronts, galleries, and/or forecourts.
 - b. All elevations of the building(s) shall contain architectural embellishments and detailing such as textural changes, pilasters, offsets, recesses, variation in window size and location, and/or other overhang canopies, as approved by the Planning and Development Department.
 - c. Uncovered surface parking lot areas shall be landscaped with shade trees to achieve a minimum of 25 percent shade at maturity.
 - d. The sidewalk along Dunlap Avenue shall be detached with a minimum five-foot-wide landscape area located between the sidewalk and back of curb and be planted with minimum 3-inch caliper shade trees to shade the sidewalk to a minimum of 75 percent, as approved or modified by the Planning and Development Department. Where utility conflicts exist, the developer shall work with the Planning and Development Department on alternative design solutions consistent with a pedestrian environment.
2. Prior to the issuance of permits for tenant improvements, the developer shall provide three Inverted-U bicycle racks near the primary entrances to each building exceeding 5,000 square feet in floor area. These bicycle racks shall be shaded to 50 percent and installed per the requirements of Section 1307(H) of the Phoenix Zoning Ordinance, as approved by the Planning and Development Department.
 3. Prior to the issuance of permits for tenant improvements, the developer shall provide clearly defined, accessible pedestrian pathways that connect all building entrances to one another and to the public sidewalks along 29th Avenue and Dunlap Avenue using the most direct route for pedestrians, as approved by the Planning and Development Department.
 4. Prior to the issuance of permits for tenant improvements, the landscape setback area along the 29th Avenue frontage shall be landscaped in accordance with the C-2 zoning district standards for planting type, size, and quantity. Shade tree species shall be provided along the street frontage and

be planted within close proximity to the sidewalk to provide shade and thermal comfort for pedestrians, as approved by the Planning and Development Department.

6. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping, and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
7. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.
8. Prior to preliminary site plan approval, the landowner shall execute a Proposition 207 waiver of claims form. The waiver shall be recorded with the Maricopa County Recorder's Office and delivered to the City to be included in the rezoning application file for record.

Writer

Nick Klimek

July 7, 2022

Team Leader

Racelle Escolar

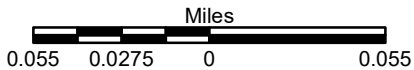
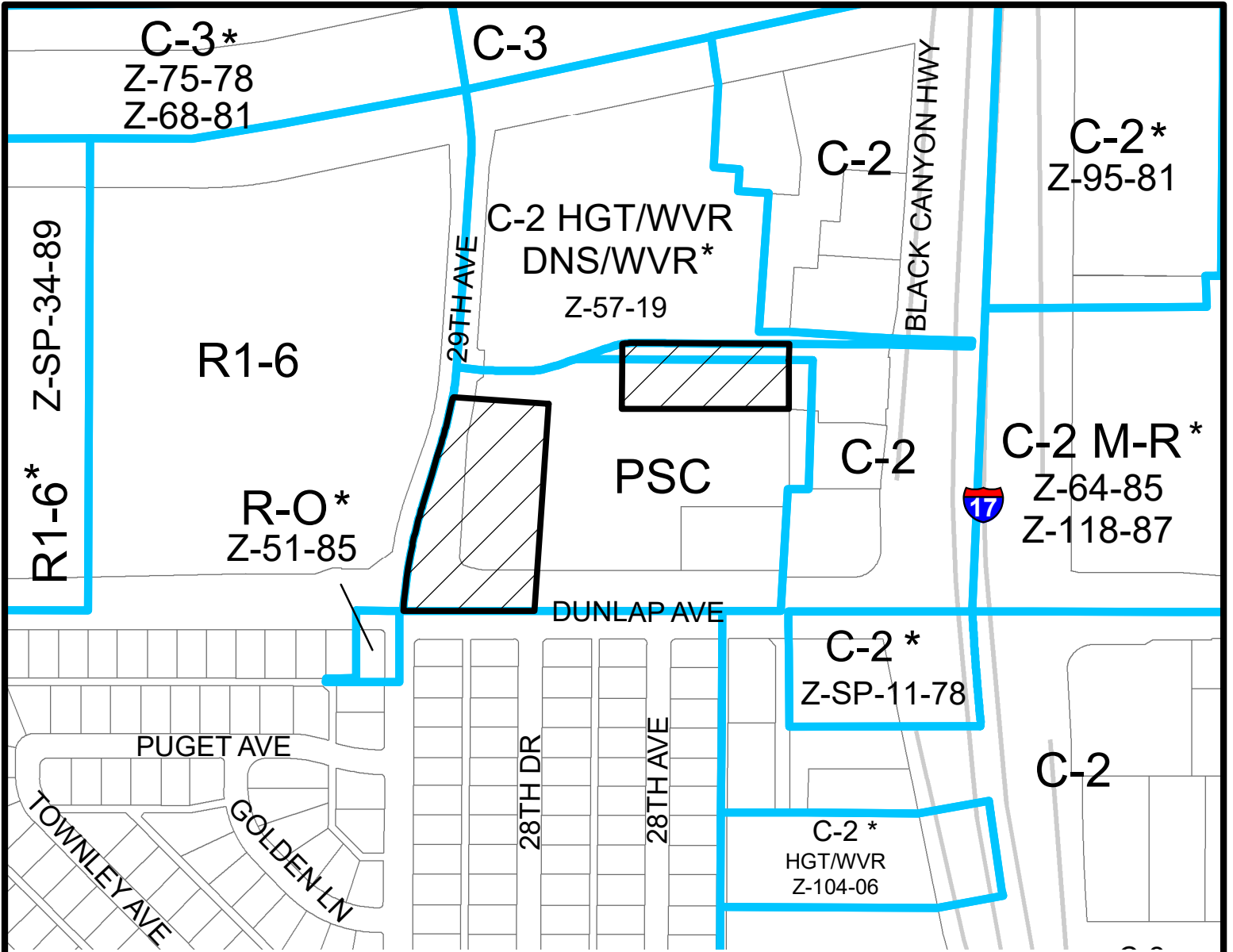
Exhibits

Zoning sketch map

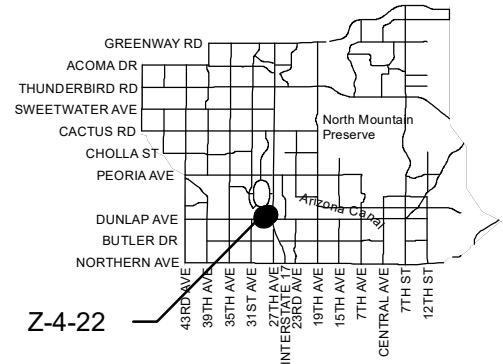
Aerial sketch map

Alta / ACSM Land Title Survey date stamped February 2, 2022

Context Plan and Photos date stamped February 2, 2022 (5 pages)

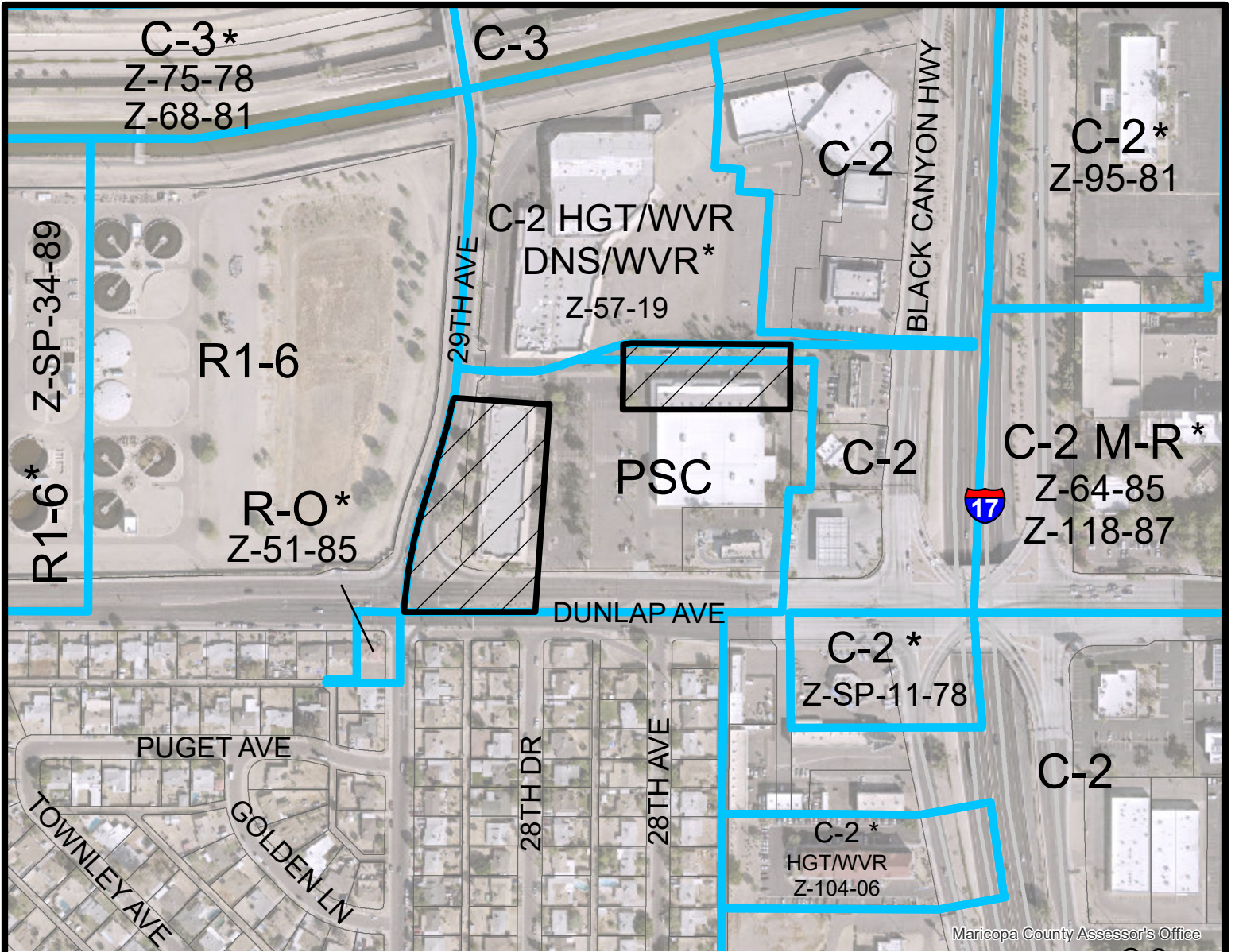


NORTH MOUNTAIN VILLAGE
CITY COUNCIL DISTRICT: 1



APPLICANT'S NAME: Withey Morris, PLC/William F. Allison		REQUESTED CHANGE:	
APPLICATION NO. Z-4-22	DATE: 2/17/2022 <small>REVISION DATES:</small>	FROM: PSC (3.27 a.c.) C-2 (0.27 a.c.)	
<small>GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.</small> 3.54 Acres	<small>AERIAL PHOTO & QUARTER SEC. NO.</small> QS 27-22	<small>ZONING MAP</small> J-7	TO: C-2 (3.54 a.c.)
MULTIPLES PERMITTED PSC, C-2 C-2	CONVENTIONAL OPTION N/A, 4 51		* UNITS P.R.D. OPTION N/A, 4 61

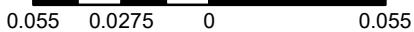
* Maximum Units Allowed with P.R.D. Bonus



Maricopa County Assessor's Office



Miles

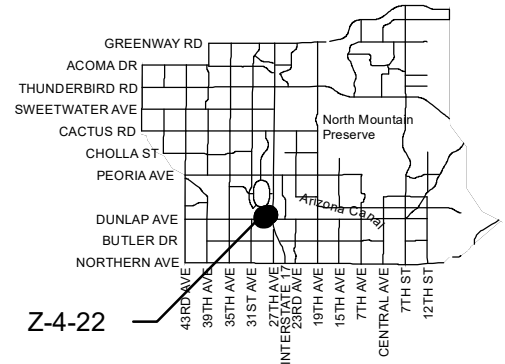


NORTH MOUNTAIN VILLAGE

CITY COUNCIL DISTRICT: 1



City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT



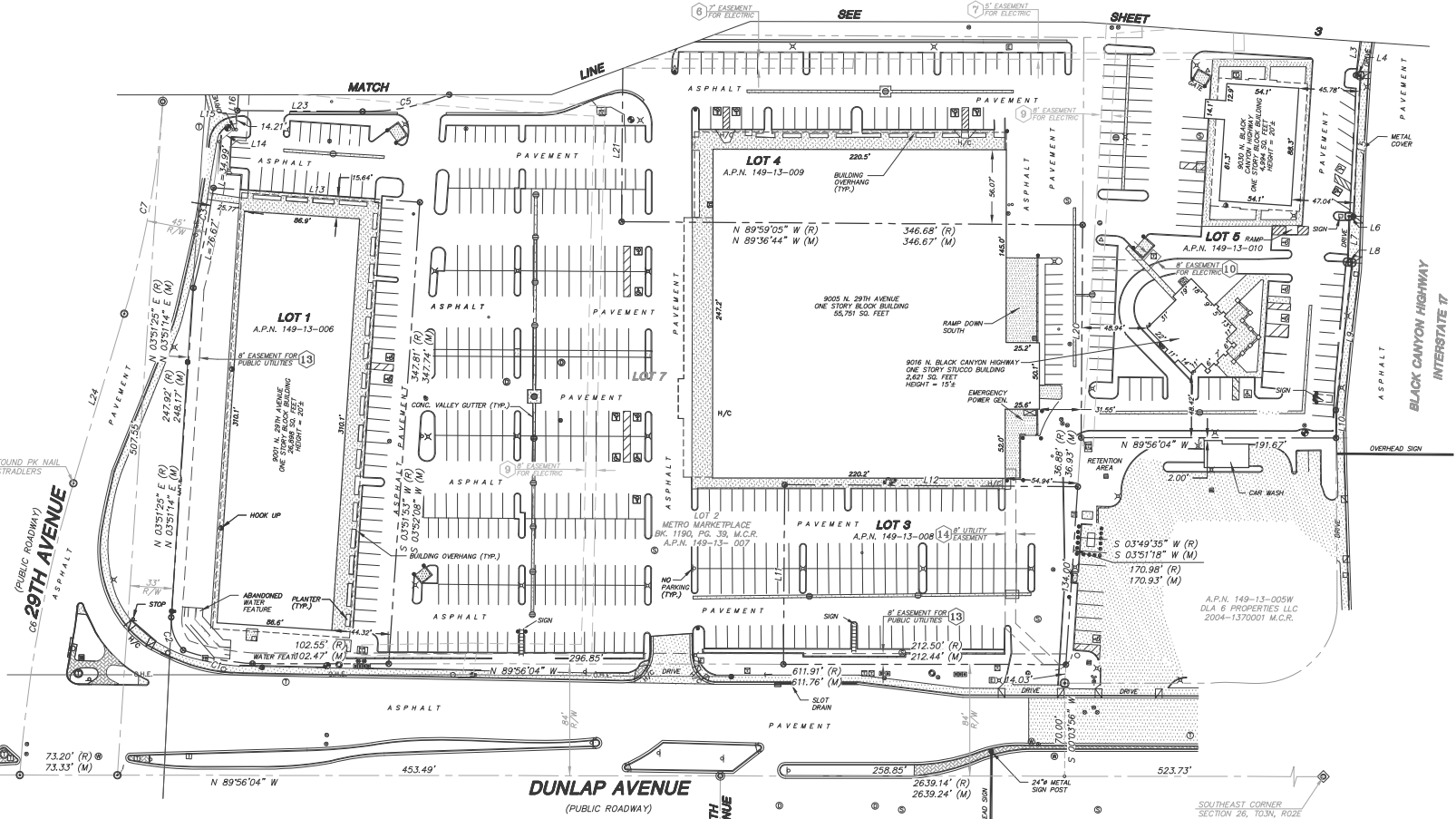
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MULTIPLES PERMITTED PSC, C-2 C-2	CONVENTIONAL OPTION N/A, 4 51		* UNITS P.R.D. OPTION N/A, 4 61

* Maximum Units Allowed with P.R.D. Bonus

LEGEND

- BOUNDARY LINE
- CENTER LINE OR MONUMENT LINE
- CONCRETE SURFACE
- 24 INCH VERTICAL CURB & GUTTER
- CATCH BASIN
- 24 INCH ROLLED CURB
- 6 INCH CONCRETE CURB
- INDICATES DRIVEWAY (MEANS OF ACCESS)
- WALL
- OVERHEAD ELECTRIC LINE
- INDICATES BOUNDARY CORNER
- NOTHING FOUND OR SET
- FOUND CITY OF PHOENIX
- BRASS GAP IN HANDHOLE
- FOUND ARIZONA DEPARTMENT OF TRANSPORTATION ALUMINUM GAP FLUSH
- FOUND CITY OF PHOENIX BRASS GAP FLUSH
- CALCULATED POSITION
- NO MONUMENT FOUND OR SET (UNLESS OTHERWISE NOTED)
- SCHEDULE # ITEM
- SPRINKLER HOOD-UP (FIRE DEPARTMENT)
- BACK FLOW PREVENTER
- CATCH BASIN
- DOWN SIFT
- DRYWELL OR CATCH BASIN
- ELECTRIC CABINET
- ELECTRIC JUNCTION BOX
- ELECTRIC TRANSFORMER
- FIRE HYDRANT
- GAS METER
- GUARD POST OR GATE POST
- GAS VALVE
- HANDICAPPED SPACE
- LIGHT POLE
- MAIL BOX
- METAL COVER (RECTANGULAR)
- METAL GRATE (RECTANGULAR)
- POWER POLE
- POWER POLE W/ UNDERGROUND ELECTRIC
- SEWER CLEAN OUT
- STORM DRAIN MANHOLE
- SEWER MANHOLE
- TELEPHONE MANHOLE
- TELEPHONE RISER
- TRAFFIC SIGNAL
- TRAFFIC SIGNAL BOX
- WATER METER
- WATER MANHOLE
- WATER RISER
- WATER VALVE
- ASSASSOR'S PARCEL NUMBER
- A.P.N.
- M.C.R.
- MARICOPA COUNTY RECORDS
- R/W
- RIGHT OF WAY
- B/C
- BOOK
- DOCKET
- P.C.
- PAGE
- (TYP.)
- RECORD BK. 1190, PG. 39, M.C.R.
- (M)
- MEASURED

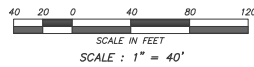


LINE	BEARINGS	LENGTH
L1	S 09°42'11" W (R)	55.11' (R)
	S 09°50'36" W (M)	55.16' (M)
L2	N 78°27'10" W (R)	3.28' (R)
	N 80°09'24" W (M)	3.28' (M)
L3	S 07°00'52" W (R)	50.54' (R)
	S 06°56'37" W (M)	50.34' (M)
L4	S 89°00'49" E (R)	3.28'
	S 87°09'33" E (M)	3.28'
L5	S 02°50'51" W (R)	106.12' (R)
	S 02°30'23" W (M)	106.11' (M)
L6	N 87°17'51" W (R)	3.21' (R)
	N 87°58'47" W (M)	3.28' (M)
L7	S 01°28'52" W (R)	34.35' (R)
	S 01°45'08" W (M)	34.27' (M)

LINE	BEARINGS	LENGTH
L8	S 82°07'52" E (R)	2.99' (R)
	S 82°04'07" E (M)	3.31' (M)
L9	S 06°07'32" W (R)	111.55' (R)
	S 06°11'42" W (M)	111.56' (M)
L10	S 00°03'51" E (R)	20.82' (R)
	S 00°23'32" E (M)	20.91' (M)
L11	N 00°23'16" E	134.95'
	S 89°36'44" E	220.54'
L13	S 86°02'11" E (R)	155.38' (R)
	S 86°01'56" E (M)	155.37' (M)
L14	N 48°51'18" E	14.12'
L15	N 86°08'42" E	2.02'
	N 03°50'32" E (R)	56.00'
	N 03°51'18" E (M)	56.00'

LINE	BEARINGS	LENGTH
L17	N 86°08'35" W (R)	12.00'
	N 86°08'42" W (M)	12.00'
L18	N 41°19'19" W (R)	6.34' (R)
	N 41°15'42" W (M)	6.40' (M)
L19	N 09°15'30" E (R)	76.59' (R)
	N 09°18'54" E (M)	76.44' (M)
L20	N 00°23'16" E	159.96'
L21	N 00°23'01" E (R)	135.28' (R)
	N 00°23'16" E (M)	138.67' (M)
L22	S 71°01'07" W (R)	127.92' (R)
	S 71°01'21" W (M)	116.20' (M)
L23	N 89°36'44" W	94.12'
L24	N 16°41'47" E	133.06'

CURVE	RADIUS	DELTA	LENGTH	CHORD BEARING	CHORD DISTANCE
C1	195.09'	15°37'10"	53.18'	S79°00'30"E	53.02'
C2	32.64'	47°32'25"	27.08'	S19°55'50"E	26.31'
C3	770.00'	8°20'40"	112.14'	N10°02'19"E	111.56'
C4	137.00'	8°57'07"	21.40'	S75°29'55"W	21.38'
C5	172.05'	22°15'26"	66.84'	N79°00'14"E	66.42'
C6	1018.59'	12°34'06"	223.44'	S10°24'44"W	222.99'
C7	725.00'	12°50'29"	162.49'	N10°16'33"E	162.15'
C8	480.00'	6°28'22"	54.23'	N00°37'07"E	54.20'



REVISION	DATE

ALTA / ACSM LAND TITLE SURVEY
METRO MARKETPLACE - 2870 W. DUNLAP AVENUE; 9201 N. 29TH AVENUE & 9020 N. BLACK CANYON HIGHWAY, PHOENIX, AZ 85051

21415 N. 25th Avenue, Phoenix, AZ 85027
602-969-0222
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SURVEYING SERVICES, L.L.C.

DRAWN: CHC/GBF
CHECKED: CHC/GBF
SHEET: 2 OF 3
DATE: 7/20/15
JOB NO.: 100002

Context Plan

CITY OF PHOENIX

FEB 02 2022

Planning & Development
Department



1



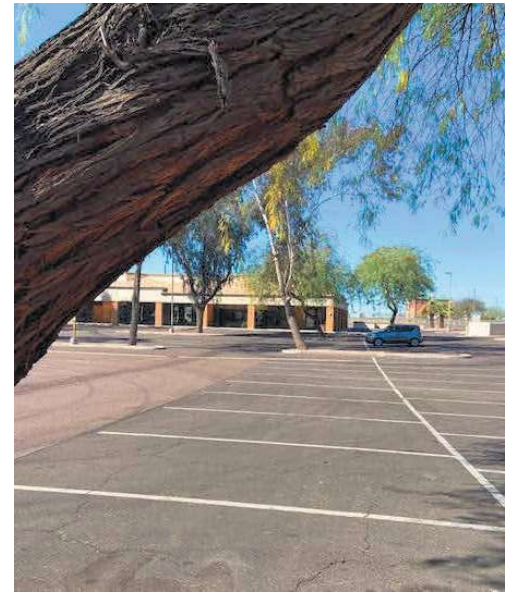
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