

3237 CAMELBACK

PLANNED UNIT DEVELOPMENT (PUD)

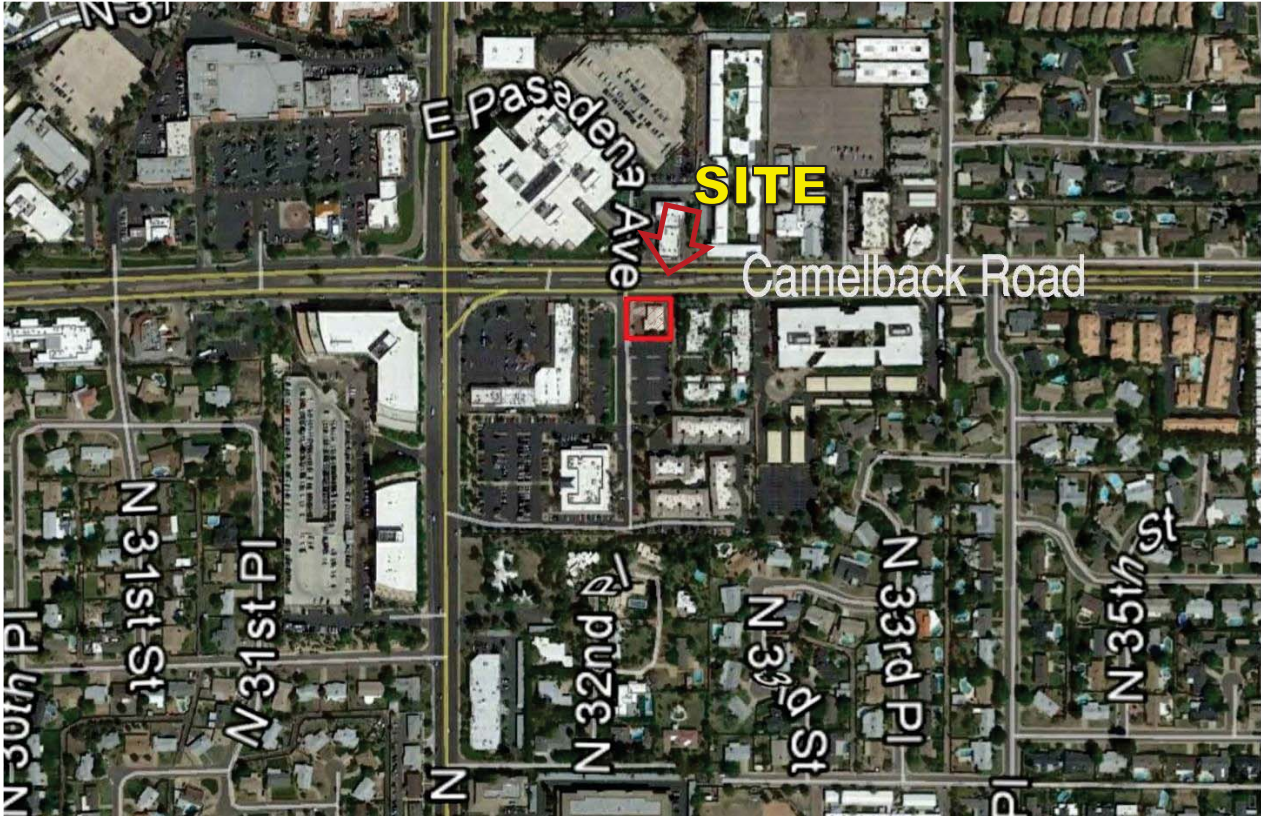
Date: September 8, 2016

Prepared by:

Empire Residential Arbitrage Fund I, LLC

6617 N. Scottsdale Road, Suite 101 | Scottsdale, AZ 85250

Case # Z-35-16-6



3237 CAMELBACK

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3237 CAMELBACK

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3237 CAMELBACK

Purpose and Intent

Empire Residential Arbitrage Fund I, LLC (ERAI) is submitting this rezoning request for approximately 0.46 acres located at 3237 East Camelback Road, Phoenix, AZ 85018. The subject property is located along Camelback Road, a regional arterial corridor that contains significant employment and commercial development. The site is a remnant single family residential property surrounded on all sides by existing higher intensity residential and commercial land uses. The PUD request will allow the site to redevelop as a viable commercial/office use that will contribute to the aesthetic and employment characteristics of this high intensity land use corridor.

The development, called 3237 Camelback, is currently zoned R-0, Residential Office District. ERAI is proposing to rezone the property to Planned Unit Development (PUD), which will closely match the Commercial Office and General Office Standards to allow for the development of a commercial office building. This PUD document will demonstrate that the proposed development is complementary to the surrounding development and to the goals and objectives outlined in the City of Phoenix General Plan. The request is supported by enhanced landscape and architectural design standards that are defined within this PUD document. The document provides for land uses that are compatible and consistent with the framework of existing established properties to the west and north and enable this property to become a compatible use within the context of the vibrant Camelback Corridor.



AERIAL MAP
(See Exhibit 1)

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Land Use Plan

3237 Camelback is located on the southeast corner of 32nd Place and Camelback Road, which is a very active employment and commercial corridor in east Phoenix. The proposed commercial project is a redevelopment opportunity that will create a viable use along an existing high intensity arterial corridor, frequently referred to as the “Camelback Corridor” and will contribute to the revitalization of the area.

TABLE OF SURROUNDING LAND USES/ZONING

LOCATION RELATIVE TO SITE	GENERAL PLAN/LAND USE	EXISTING ZONING
SITE	Commercial/vacant single family residential	R-O
NORTH	Commercial/commercial office building	C-O, C-1
SOUTH	Commercial/commercial use building	C-O / M-O SP
EAST	Traditional-3.5 to 5 du/ac/multi-family residential	R-3
WEST	Commercial/commercial use buildings	C-O / M-O SP



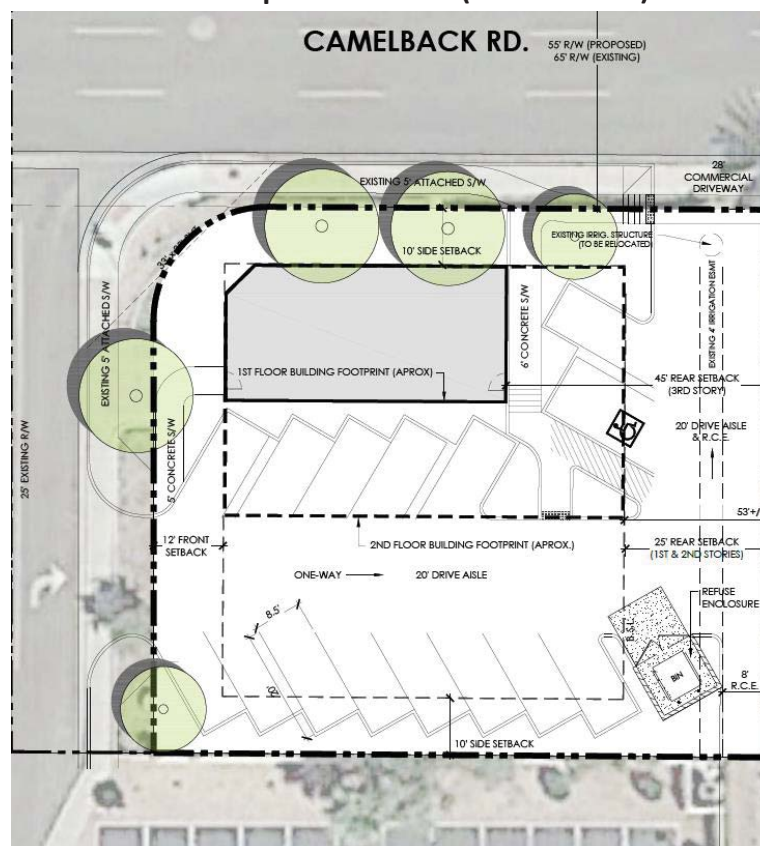
LAND USE MAP (See Exhibit 2)

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The alley that extended along the eastern perimeter of the site was abandoned by the adjacent property owner in 1988, however an 8 foot refuse collection easement (RCE) has been maintained. The applicant is proposing a refuse collection route for the site that seeks to utilize the existing collection movement (from the south) and to maintain egress of the collection vehicle onto Camelback Road at the existing driveway location.

The proposed conceptual site plan provides allowance for a three-story office building with approximately 5,000 building square feet for general office space, which will allow vehicular access from 32nd Place and Camelback Road. This design and building setbacks have been sensitive to the adjacent residential and surrounding commercial (See Building Height Setback Exhibit 6). The proposed maximum building height will be 38' – 6" to the roof and 41 feet to the parapet, which is similar to the existing building heights to the immediate north and in the surrounding areas (See exact locations and images on next page as well as the Building Height Context Exhibits 4 and 5). Therefore, this design will be fitting and not detrimental to the adjacent property or public welfare. It will renew an old under developed parcel and provide additional resources for surrounding areas.

Conceptual Site Plan (See Exhibit 3)



3237 CAMELBACK

NEARBY THREE STORY BUILDINGS



2777 E Camelback



3131 E Camelback



2850 E Camelback



3010 E Camelback



3200 E Camelback

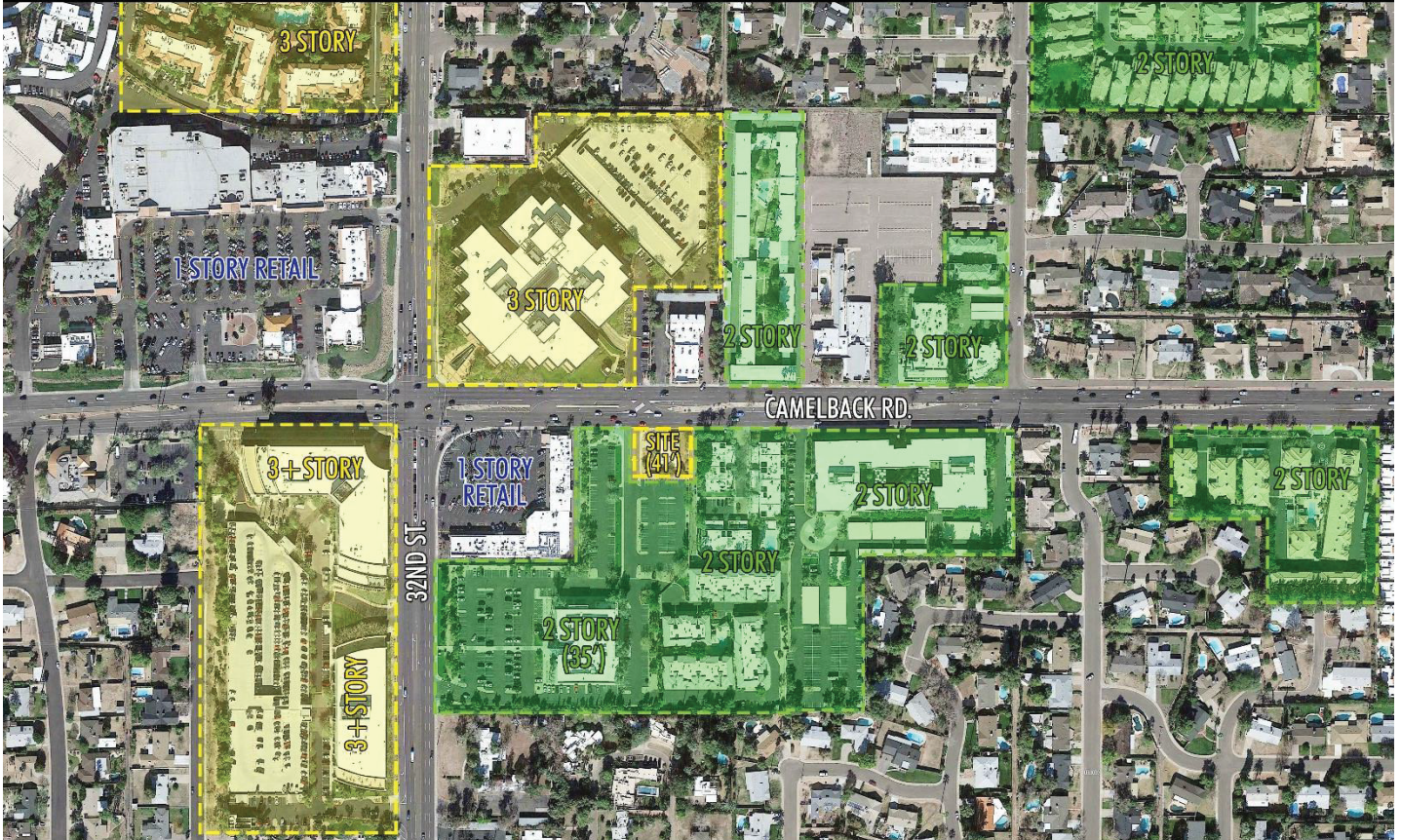


3233 E Camelback

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Building Height Context Plan (See Exhibit 4)

CONTEXT BUILDING HEIGHT EXHIBIT



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Building Height and Setback Exhibits (See Exhibits 5 & 6)

BUILDING HEIGHT EXHIBIT



CONCEPTUAL BUILDING ELEVATION (NORTH ELEVATION)

P.U.D BUILDING SETBACK STANDARDS

F	FRONT SETBACK:	12'
S	SIDE SETBACK:	10'
R1	REAR SETBACK: (1ST & 2ND STORY)	25'
R2	REAR SETBACK: (3RD STORY)	45'

LEASABLE SQUARE FOOTAGE BY FLOOR

	1ST FLOOR (1,150 SQ. FT. +/-)
	2ND FLOOR (3,000 SQ. FT. +/-)
	3RD FLOOR (850 SQ. FT. +/-)

MAX HEIGHT TO TOP OF ROOF = 41'
(INCLUDING ROOF PARAPET)

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Site Conditions and Locations

3237 Camelback is a proposed redevelopment of an existing site, which does not have any natural features. There is an existing abandoned building on the site, which once was a residence. 32nd Place to the west and Camelback Road to the north allow for full ingress and egress from the site. Both roadways are fully improved with pavement, curb, gutter and sidewalk. Camelback Road has an existing west bound turn lane onto 32nd Place, with a full median break and striping, which aligns perfectly with the driveway to the north. Along the east side of the site is an abandoned alley with an abundance of existing vegetation.

GENERAL PLAN COMFORMITY

General Plan Land Use Designation		Commercial
Street Map Classification		
Camelback Road	Arterial	55' half street ROW
32 nd Place	Local Street	25' half street ROW

Compatibility with Elements of the General Plan

ERA's rezoning request for 3237 Camelback falls within the existing General Plan Land Use designation of Commercial and is supported by the following goals and policies outlined in the City of Phoenix's General Plan.

Core Value: Connect People and Places:

GOAL OPPORTUNITY SITES: *To promote development of vacant parcels or redevelopment of underutilized parcels within the developed are of the city that consistent with the character of the area or with the area's transitional objectives.*

3237 Camelback is taking a "hold out" property that is severely constrained by size, shape and access and redeveloping into an office building. The property is vacant and run down. The redevelopment will improve the aesthetic and employment characteristics of this high intensity commercial corridor.

Core Value: Strengthen Our Local Economy:

GOAL LOCAL & SMALL BUSINESS: *Promote the growth and prosperity of Phoenix locally owned and small businesses. Encourage the growth and expansion of locally owned and small businesses as a means of creating jobs.*

3237 Camelback will provide a location for local and small business growth with the new office building.

GOAL JOB CREATION (EMPLOYERS): *To promote zoning changes that will facilitate the location of employment generating uses in the Phoenix Major Employment Center.*

3237 Camelback will generate employment opportunities with up to a 5,000 sq ft office building.

Core Value: Build the Sustainable Desert City

GOAL GREEN BUILDING: *Discourage the use of reflective glass on commercial properties whenever the structure is adjacent to a residential area.*

3237 Camelback will not use reflective glass in the final design.

GOAL TREES AND SHADE: *Create a network of trees and shade that integrate with the built environment to conserve ecosystem functions and provide associated benefits to residents.*

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***3237 Camelback** will integrate trees and shade into the design of the redevelopment. Surface parking area will be minimized and trees will provide an abundance of shade.*

GOAL WATER SUPPLY: *Manage and plan for efficient delivery of safe and reliable water supplies.*

***3237 Camelback** will maximize use of existing infrastructure and carrying capacity with this redevelopment.*

GOAL STORMWATER: *Manage our stormwater efficiently and economically, while minimizing stormwater pollution.*

***3237 Camelback** is an infill property that will manage stormwater through practices that are in compliance with standard City of Phoenix best management practices to adequately serve the property and avoid impacts to adjacent public and private property. These practices have not yet been determined may include surface or underground stormwater storage.*

GOAL WASTEWATER: *Treat, manage and use our wastewater and related infrastructure efficiently and economically.*

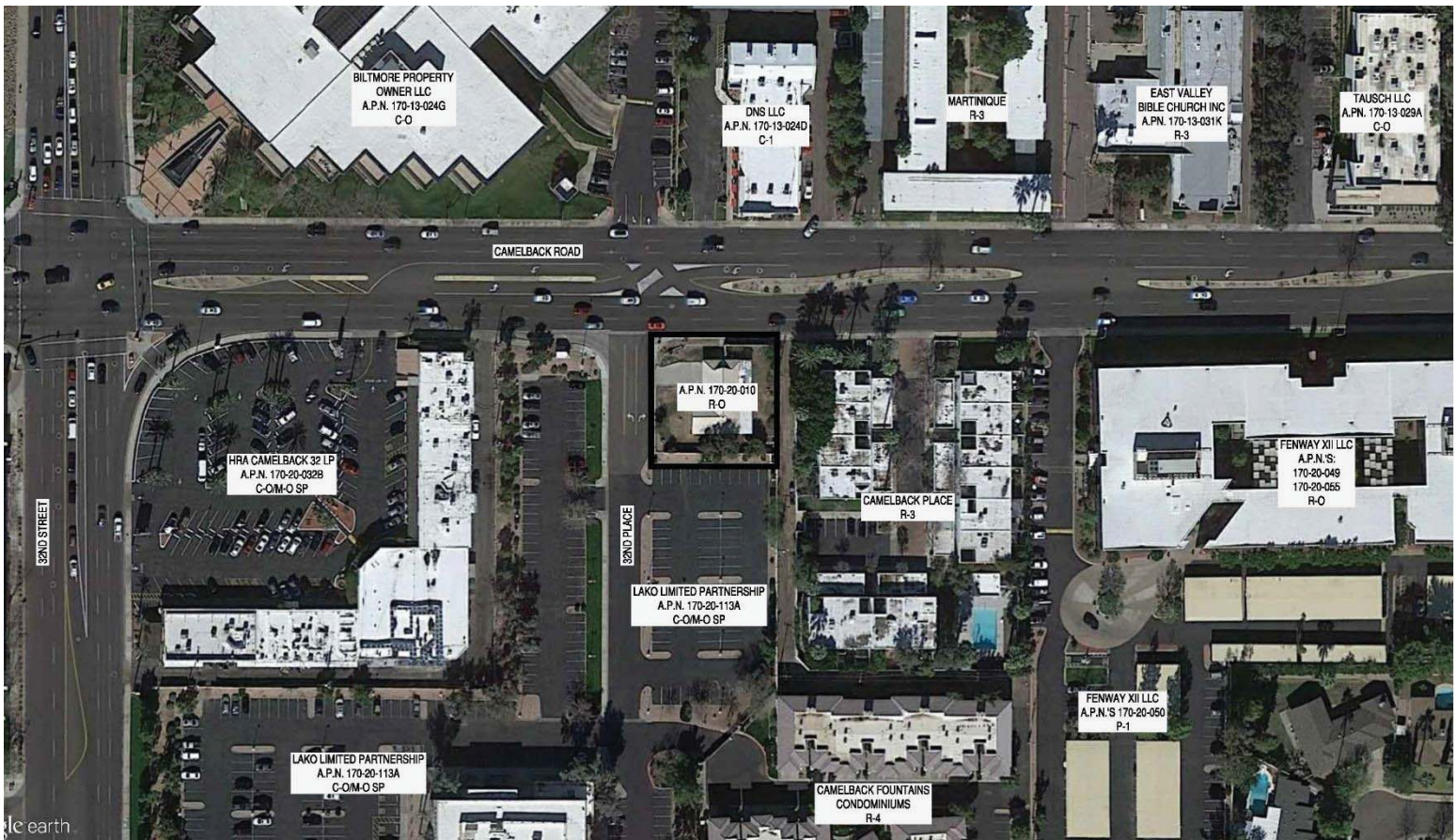
***3237 Camelback** will maximize use of existing infrastructure and carry capacity with this redevelopment.*

3237 CAMELBACK

Existing and Proposed Zoning

3237 Camelback is currently zoned R-O, Residential Office District. ERAI requests a rezoning to Planned Unit Development, which will closely match the Commercial Office and General Office Standards to allow for the development of a commercial office building. In this current application we have included the office conceptual site plan.

EXISTING ZONING (See Exhibit 7)



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PROPOSED ZONING (See Exhibit 8)



List of Uses

The P.U.D. shall allow for uses identified in the Commercial Office (C-O) District as defined by Section 621 of the City of Phoenix Zoning Ordinance with exception of the following restricted uses:

- All Uses permitted in the Major Office (M-O) except defined General Office option uses

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Development Standards

The proposed site plan will closely match the Commercial Office/General Office zoning standards as outlined in this Planned Unit Development and shown in the table below. Variations from the standards are indicated in the third column. Items in bold exceed the development standards.

Table of Development Standards and Guidelines

STANDARDS	COMMERCIAL OFFICE/GENERAL OFFICE	PLANNED UNIT DEVELOPMENT
Gross Lot Area	Not less than 1 acre	0.46 acres
Maximum G.L.A.	24,000 Square feet	5,000 Square feet
Building Setbacks:		
Front (West)	20 feet	12 feet
Side (North)	10 feet	10 feet
Side (South)	10 feet	10 feet
Rear (East)	25 feet (25 feet to 3 rd story)	25 feet (45 feet to 3rd story)
Maximum height	25 feet (Up to 3 stories/42 feet with City Council Approval)	38.5 feet to roof and 41 feet to parapet
Maximum Number of Stories	3	3
Lot coverage	40%	40%
Parking Standard	14 Spaces	14 Spaces (1:350)*
Accessible	1 Space	1 Space
Minimum Common Open Space	15% gross site area	15% of NET site area
Building and Shade – Public Sidewalk	50%	75%
Landscape Setbacks:	Front (West)	5 foot average
	Side (North)	10 foot average
	Side (South)	6 foot average
	Rear (East)	None (due to location of existing drive aisle)

*Parking provided at 1:350 for all Commercial Office & General Office uses.

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Signage: Signage will be provided in accordance with Section 705 of the Zoning Ordinance for Commercial/Industrial standards for The City of Phoenix development standards and will be determined by the end-user.

Sustainability – the site will:

- Design for the effective water usage and conservation methods in buildings by using low plumbing fixtures using minimal amounts of potable water for landscape irrigation.
- Design for the capture of nuisance water discharge from buildings for reuse as landscape irrigation.
- Incorporate “smart” irrigation control systems into the design and development of the site.
- Use roofing materials that specify a high Solar Reflectance Index for a minimum of 74% of the roof surface area.
- Design for effective use of energy efficient appliances and HVAC systems by demonstrating reductions in on-going power consumption.
- Interior and Exterior LED Lighting

Refuse Collection Standards:

- On-site refuse collection circulation shall ingress from 32nd Way and Egress onto Camelback Road
- Site shall be required to provide a minimum of one (1) refuse enclosure that meets City of Phoenix Solid Waste Access and Containment Standard Details with exception of enclosure depth, which City Staff has agreed to reduce to seven (7) feet as measured from gate enclosure to safety posts as identified on Figure C of the CoS Standard Details.

Landscape Plan

The landscape portion of the 3237 Camelback project will consist of a colorful, low water use xeriscape design incorporating a variety of trees, shrubs and groundcovers. Desert adapted plantings, similar to what is found in the surrounding community, will be used throughout the streetscapes along 32nd Place and Camelback Road.

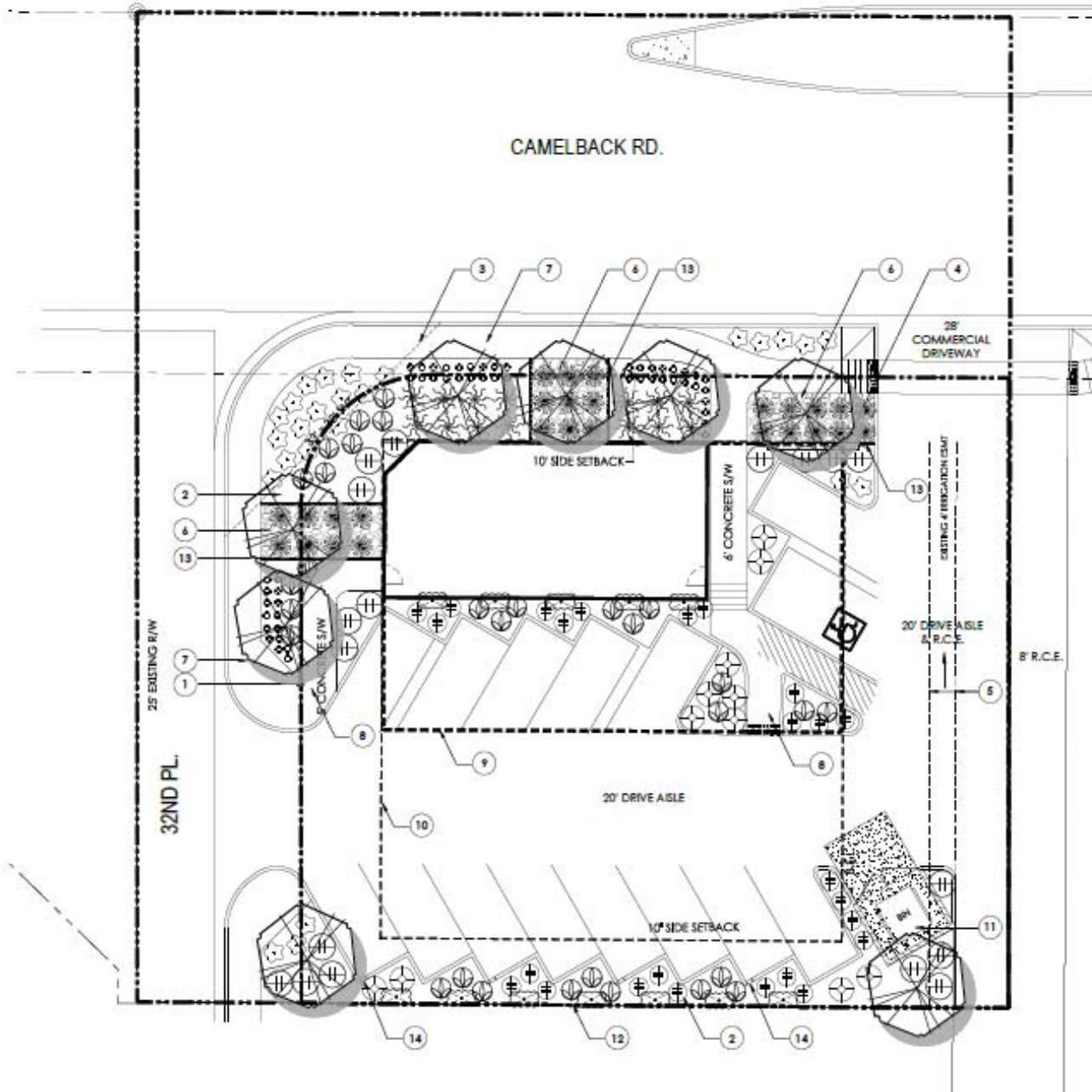
This development will have landscaped perimeters that run almost the entire edge of the community creating a visual buffer between the streets and proposed building and parking lot. The existing sidewalks along Camelback Road and 32nd Place will remain and provide continued pedestrian connectivity. Planting density in the development will exceed City of Phoenix requirements and will be watered by an automatic underground irrigation system.

Enhanced landscape standards have been designed as follows:

- Trees are required at 20' o.c. spacing with (60%) 2" caliper and (40%) 1" caliper - Proposed trees to be spaced approx. 16'-18' o.c. and planted at a min. 3" caliper size. (Tree density and size increased)
- Five (5) gallon shrubs are required per tree at the perimeter of the site - Proposed is ten (5 & 15) gallon shrubs per tree. All shrubs and accents will be a mixture of 5 and 15 gallon. Groundcovers will be planted at 5 gallon instead of the city minimum 1 gallon size. (Shrub and groundcover density and size increased)
- Fifty percent (50%) live coverage in all landscape areas is required - Proposed is (75%) planting density for a semi-mature look upon install.
- Pedestrian walkways and gathering areas to be shaded a minimum of (50%) - Proposed shading of sidewalks will be approximately (75%) due to planting extra trees and building configuration.
- Rip Rap areas will be added to the decomposed granite covering to enhance the planting look.

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LANDSCAPE PLAN (See Exhibit 9)



Design Guidelines

3237 Camelback will reflect the region's unique environmental challenges by implementing the following elements:

ARCHITECTURAL DESIGN

Objective- Visual interest with unified elements to establish sense of place.

- Manipulation of massing
- Building articulation
- Incorporating innovative textures, materials, colors
- Building offsets, reveals, recesses, building projections, columns, masonry piers, or other architectural treatment
- Varied heights
- Distinct entry features
- Wall enhancements
- Decorative signage
- Decorative site lighting
- Four-sided architecture

SITE DESIGN/DEVELOPMENT

Objective- Innovative design of access, circulation, privacy, security, shelter, and other factors to create a unique location that complements the surrounding context.

- Variation in building siting and orientation
- Varied setbacks
- Minimize visual impact of parking with landscaped medians, islands
- Grouping of structures in large projects
- Mitigation of adverse effects (screening, landscape buffers, wall heights, etc.)
- Identifiable building streetscape

LANDSCAPE ENHANCEMENTS

Objective- Provide shade and soften the look of the development to create a more natural environment.

- Themed landscape palette
- Maturity of trees
- Low water use plants
- Preservation and/or salvage plan
- Identifiable landscaped streetscape
- Clustering of trees at appropriate locations

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ERA1 will not be the end user, therefore we cannot exactly determine at this time what the building will look like. However, we anticipate an upscale building elevation similar to below and in Exhibit 13, which would complement the surrounding area.

The proposed building architecture has considered both vertical and horizontal articulation elements. Articulation has been created through variations between floors, material applications and roof/deck cantilevers.

Each elevation has incorporated voids and variances through the use of covered parking, third floor deck and abbreviated third floor enclosed area. Major stone wall elements utilize both horizontal stone patterns and sloped vertical wall. Massing above all glazing project outwards by the use of stucco, applied metals or cantilevered structures. Both the sloped walls and massing will generate interesting shadow lines and give the overall structure visual texture.

All elevations incorporate stucco, metals, stone and glazing materials. Strong horizontal lines through the use of materials and form have been incorporated to help offset the verticality of the structure.

Conceptual Building Elevation (See Exhibit 13)



Infrastructure, Utilities and Community Facilities

Roadways

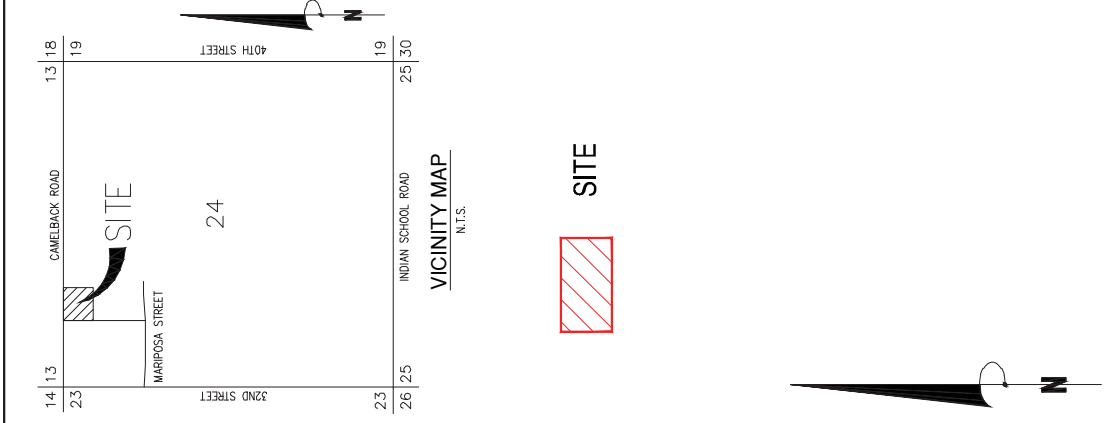
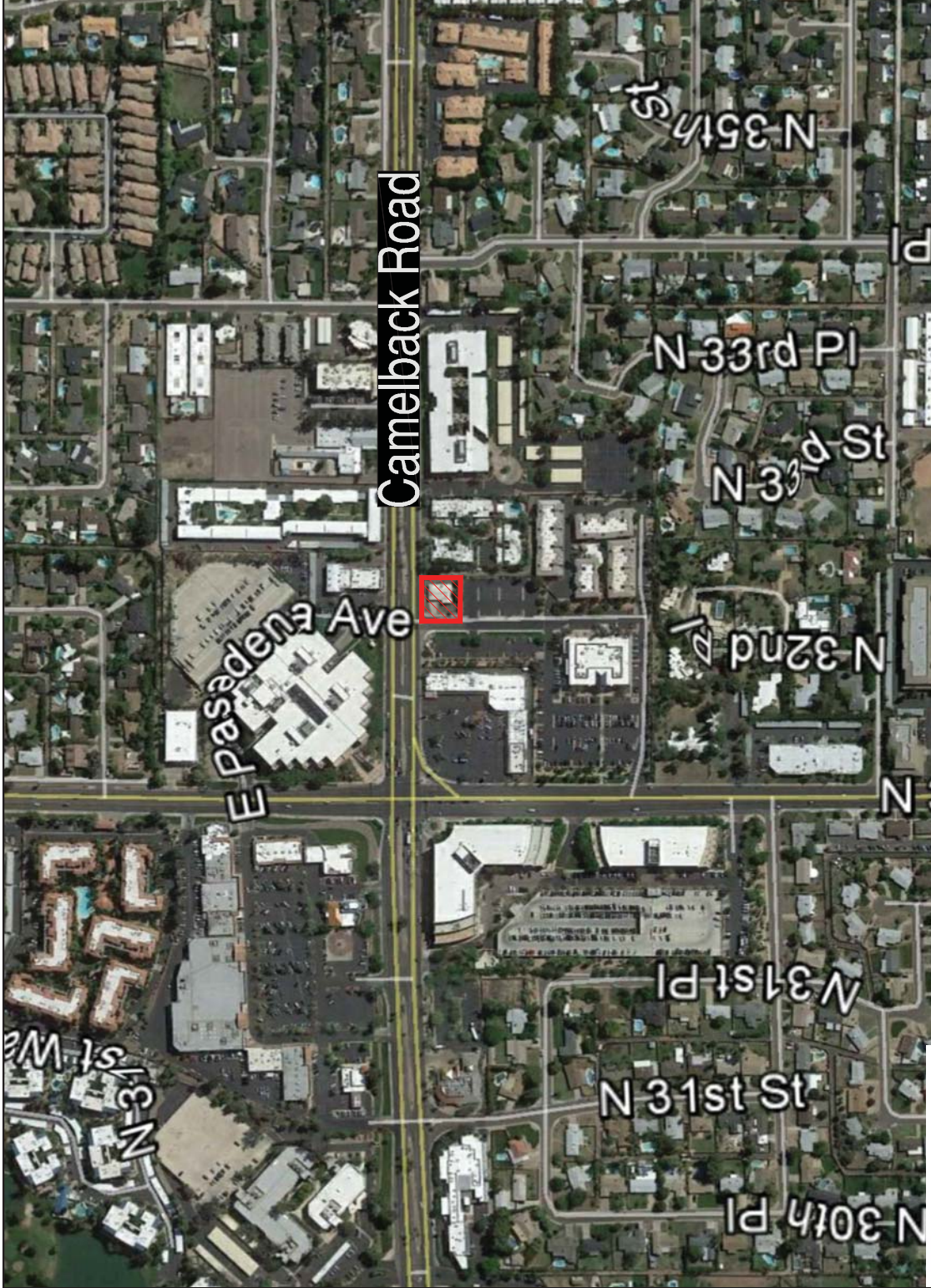
3237 Camelback is located on the south side of Camelback Road just east of 32nd Street and is ideally situated in close proximity to four major freeways. The Site is approximately 2.4 miles from State Route 51, 8.0 miles to the Loop 101 South, 3.5 miles to 202 freeway and 5.5 miles to Interstate 10.

Public Services

The proposed project is served by the following public service providers all of which have existing facilities within the adjacent streets (Camelback Road and 32nd Place):

- Water – City of Phoenix
- Wastewater – City of Phoenix
- Sanitation – Private
- Fire – City of Phoenix
- Telephone – Century Link
- Cable – Cox Cable
- Electric Power – Salt River Project
- Gas – Southwest Gas

EXHIBIT 1 – AERIAL




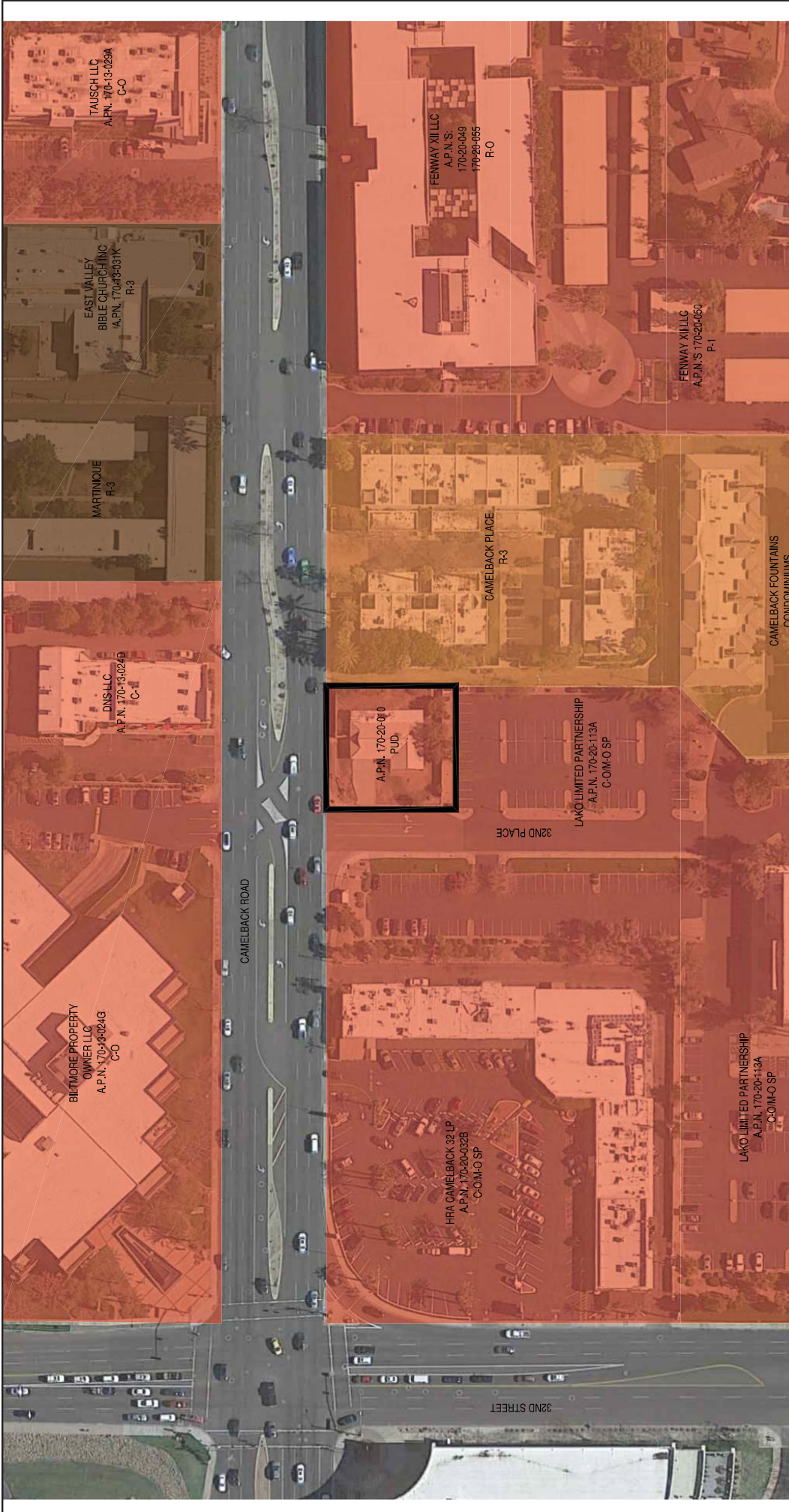
	<p>The Empire Group 6617 North Scottsdale Road, Suite 101 Scottsdale, Arizona 85258 Phone: (480) 951-5207 Fax: (480) 951-5203 www.theempiregroup.com</p>	<p>32ND STREET AND CAMELBACK ROAD AERIAL EXHIBIT</p>		<p>SCALE: N.T.S.</p>
		<p>PHOENIX, ARIZONA</p>		<p>FORM NO. 3827 DATE: NOV. 2018</p>
		<p>MARICOPA COUNTY</p>		<p>SHEET 1 of 1</p>

EXHIBIT 2 – LAND USE MAP



LEGEND

- COMMERCIAL
- 3.5 TO 5 BV/ACRE - TRADITIONAL
- 15+ BV/ACRE - MEDIUM DENSITY ATTACHED HOMESITES, OR APARTMENTS

SCALE

JOB No: 2257

DATE: 04/16

SHEET 1 OF 1

**3237 E. CAMELBACK ROAD
EXISTING AND PROPOSED LAND USE MAP**

PHOENIX, ARIZONA

MARICOPA COUNTY

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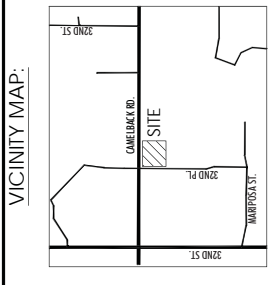


EXHIBIT 3 – CONCEPTUAL SITE PLAN

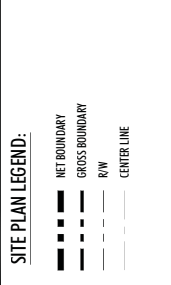


1ST FLOOR	= 1,150 SQ. FT. +/-
2ND FLOOR	= 3,000 SQ. FT. +/-
3RD FLOOR	= 850 SQ. FT. +/-
TOTAL	= 5,000 SQ. FT. +/-

BUILDING FOOTPRINTS DEPICTED ON THIS EXHIBIT ARE PRELIMINARY AND MAY BE SUBJECT TO CHANGE.



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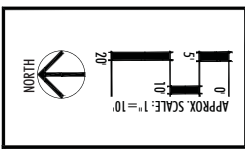


PROJECT DESCRIPTION:
 3237 E CAMELBACK IS A PROPOSED REZONING FROM R-3 TO R-3 (R-3) TO ALLOW FOR OFFICE USE WITH VERTICAL ACCESS FROM 32ND PLACE & CAMELBACK ROAD.

CONCEPTUAL SITE PLAN DATA:
 EXISTING ZONING: R-O (Z-16-07)
 PROPOSED ZONING: PID
 GROSS LAND AREA: 0.46 AC (20,079 SF)
 APPROX. BUILDING S/F: 3,000 +/- GROSS
 PERMIT LEASABLE S/F: 4,500 +/-
 REQUIRED PARKING: 15 SPACES (1 ACCESSIBLE)
 REQUIRED TRAILING: 40 SPACES
 MAX BLDG. HEIGHT: 40 STORIES
 UTILITIES: WATER - CITY OF PHOENIX
 SEWER - CITY OF PHOENIX

PROPOSED DEVELOPMENT STANDARDS
 P.U.D. (BASED ON C-O 60):

ALLOWED BY C-O (GENERAL OFFICE OPTION)	MODIFIED PER P.U.D.	PROPOSED
GROSS LOT AREA	NOT LESS THAN 1 AC	NO STANDARD
BUILDING SETBACKS		
FRONT	20'	12'
SIDE	10'	10'
REAR (1ST & 2ND STORY)	25'	25'
REAR (3RD STORY)	25'	45'
MAXIMUM LOT COVERAGE	40%	40%
MAXIMUM BUILDING HEIGHT	25'	41' (W/CITY COUNCIL APPROVAL)



3237 E CAMELBACK RD CONCEPTUAL SITE PLAN

LVA urban design studio
 land planning • development entitlements • landscape architecture
 120 south ash avenue • tempe, arizona 85281 • 480.994.0994

Date: 08/17/16
 Project No.: 1581
 Drawn By: PRAJ
 Drawing Name:

EXHIBIT 4 – BUILDING HEIGHT CONTEXT

CONTEXT BUILDING HEIGHT EXHIBIT

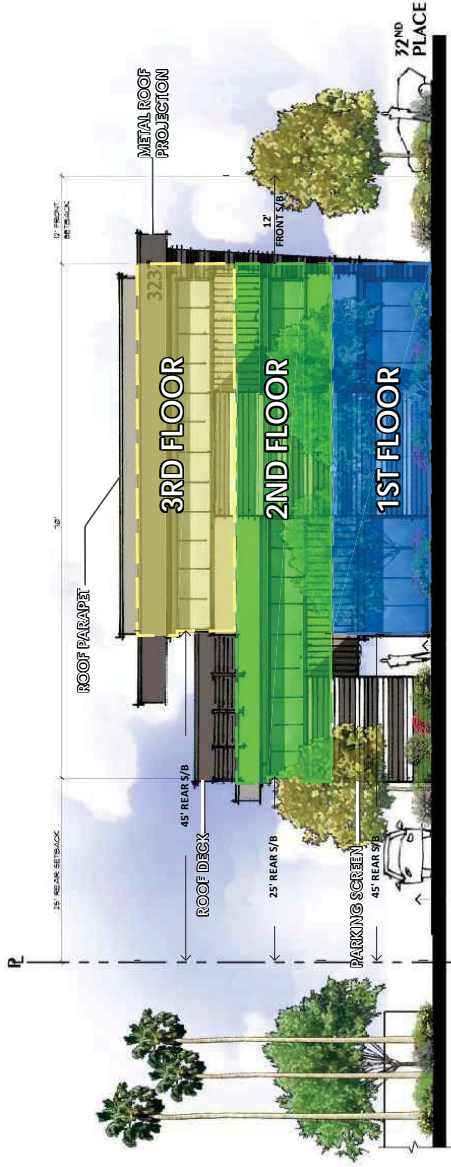


3237 CAMELBACK
 CONTEXT BUILDING HEIGHT EXHIBIT

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EXHIBIT 5 – BUILDING HEIGHT EXHIBIT

BUILDING HEIGHT EXHIBIT



LEASABLE SQUARE FOOTAGE BY FLOOR

- 1ST FLOOR (1,150 SQ. FT. +/-)
- 2ND FLOOR (3,000 SQ. FT. +/-)
- 3RD FLOOR (850 SQ. FT. +/-)

MAX HEIGHT TO TOP OF ROOF = 41'
(INCLUDING ROOF PARAPET)

CONCEPTUAL BUILDING ELEVATION (NORTH ELEVATION)



3237 CAMELBACK

BUILDING HEIGHT

NOTE: BUILDING FOOTPRINTS DEPICTED ON THIS EXHIBIT
ARE PRELIMINARY AND MAY BE SUBJECT TO CHANGE.

APPROX. SCALE: NTS
0000 DRAWN BY: JK



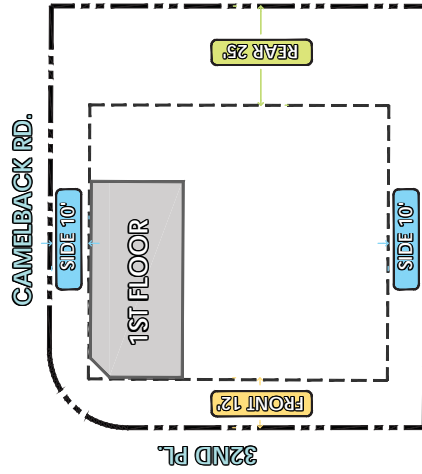
EXHIBIT 6 – BUILDING SETBACK EXHIBIT

BUILDING HEIGHT SETBACK EXHIBIT

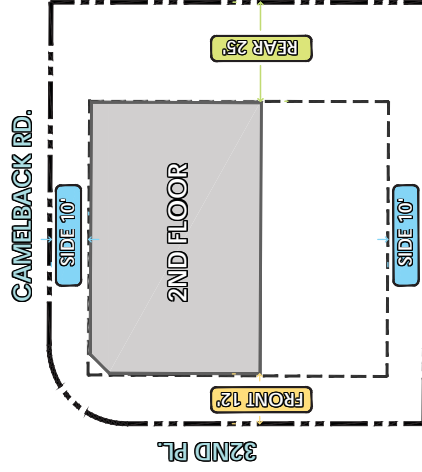


P.U.D. BUILDING SETBACK STANDARDS

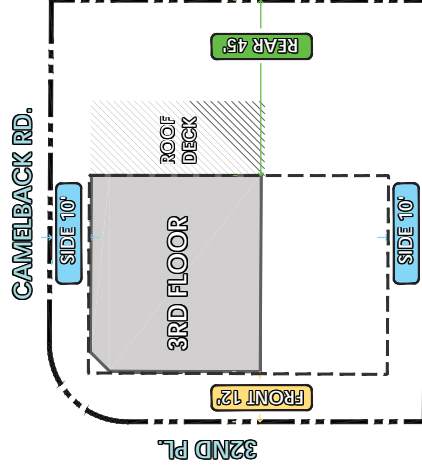
F	FRONT SETBACK:	12'
S	SIDE SETBACK:	10'
R1	REAR SETBACK: (1ST & 2ND STORY)	25'
R2	REAR SETBACK: (3RD STORY)	45'



1ST FLOOR



2ND FLOOR



3RD FLOOR

3237 CAMELBACK

BUILDING SETBACK EXHIBIT

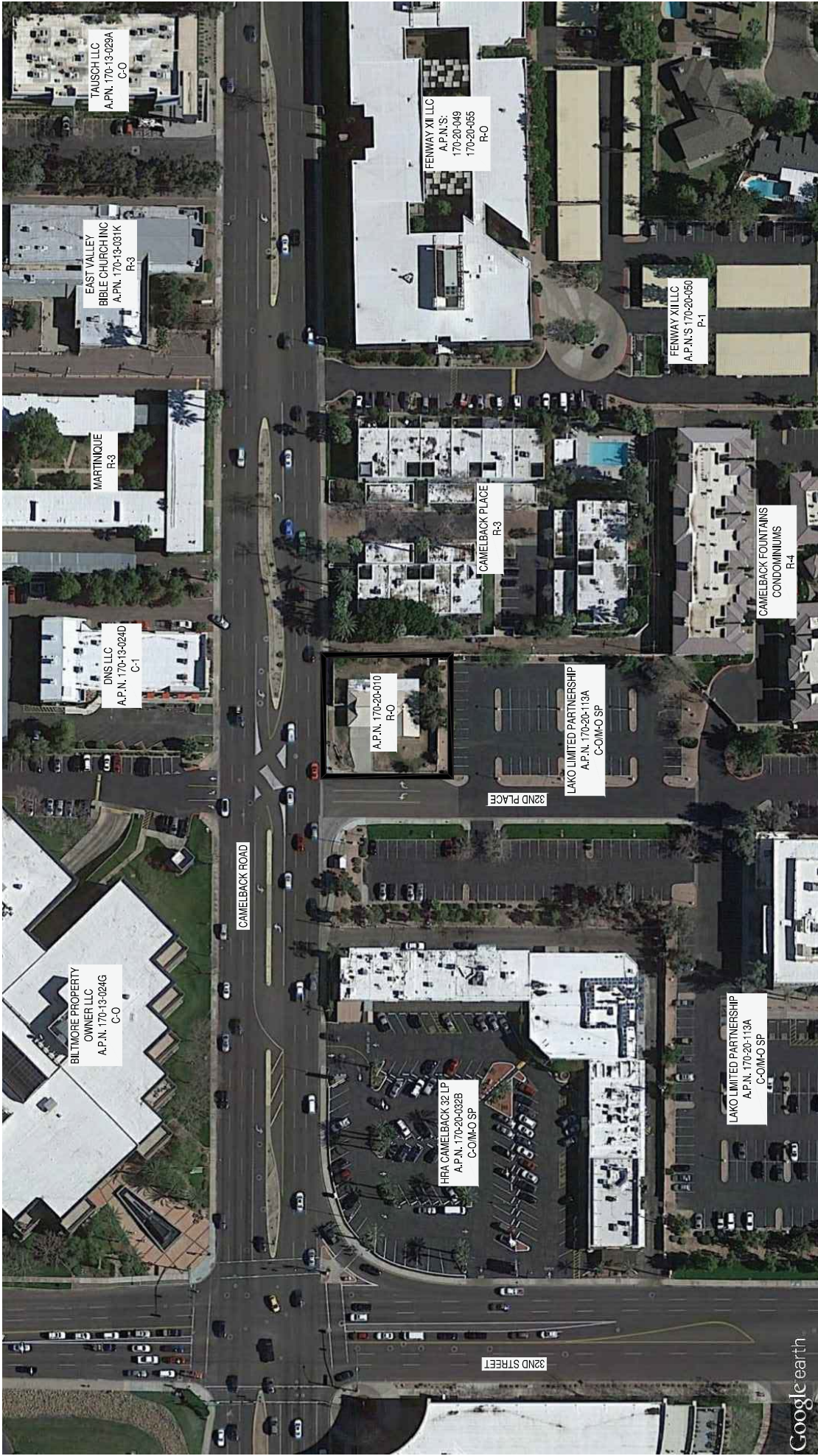
NOTE: BUILDING FOOTPRINTS DEPICTED ON THIS EXHIBIT
 ARE PRELIMINARY AND MAY BE SUBJECT TO CHANGE.

APPROX. SCALE: NTS
 1:501.1 DRAWN BY: AH



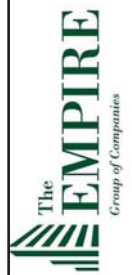
8/18/16

EXHIBIT 7 – EXISTING ZONING



3237 E. CAMELBACK ROAD
EXISTING ZONING

The Empire Group
6017 North Scottsdale Road, Suite 101
Scottsdale, Arizona 85253
Phone: (480) 951-2237
Fax: (480) 951-2823
www.theempiregroup.com



SCALE
JOB No. 2257
DATE: R4/16

PHOENIX, ARIZONA MARICOPA COUNTY

SHEET 1 OF 1

EXHIBIT 8 – PROPOSED ZONING



TAUSCH LLC
A.P.N. 170-13-029A
C-O

EAST VALLEY
BIBLE CHURCH INC
A.P.N. 170-13-031K
R-3

MARTINIQUE
R-3

DNS, LLC
A.P.N. 170-13-024D
C-1

BILTMORE PROPERTY
OWNER LLC
A.P.N. 170-13-024G
C-O

A.P.N. 170-20-010
PUD

HRA CAMELBACK 32 LP
A.P.N. 170-20-032B
C-OM-O SP

FENWAY XII LLC
A.P.N.S. 170-20-049
170-20-055
R-O

CAMELBACK PLACE
R-3

LAKO LIMITED PARTNERSHIP
A.P.N. 170-20-118A
C-OM-O SP

FENWAY XII LLC
A.P.N.S 170-20-050
P-1

LAKO LIMITED PARTNERSHIP
A.P.N. 170-20-113A
C-OM-O SP

CAMELBACK FOUNTAINS
CONDOMINIUMS



The Empire Group
6517 North Scottsdale Road, Suite 101
Scottsdale, Arizona 85253
Phone: (480) 951-2237
Fax: (480) 951-2823
www.theempiregroup.com

3237 E. CAMELBACK ROAD
PROPOSED ZONING

SCALE
JOB No. 2257
DATE: R4/1/16

PHOENIX, ARIZONA MARICOPA COUNTY

SHEET 1 OF 1

EXHIBIT 9 – LANDSCAPE PLAN



Drawn By:	DO
Job No:	16005
Date:	4.19.16
Scale:	AS SHOWN
PL-1	of 1

PLANT LEGEND

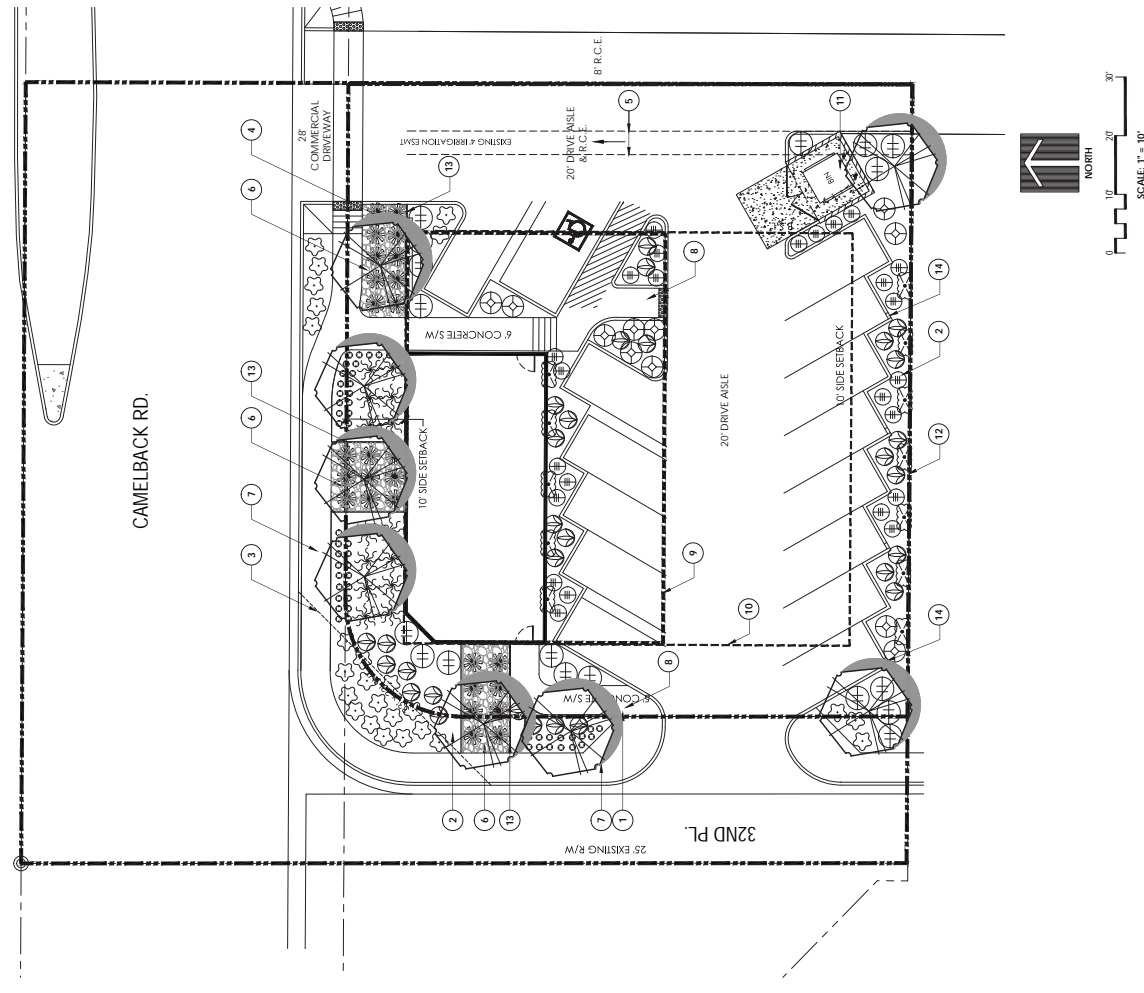
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	COMMENTS
TREES					
	ACACIA NEURA	MULGA TREE	36" BOX	8	9 H.-6 W. 20' CAL. SINK IN PLACE
SHRUBS					
	RIEHLIA BRITTONIANA	BRITISH RIVELIA	15 GAL.	18	PLANT AT 4' O.C.
	AGAVE MURPHEYI	MURPHEY'S AGAVE	15 GAL.	27	PLANT AT 3' O.C.
	ALOE VERA	ALOE VERA	5 GAL.	30	PLANT AT 3' O.C.
	DASTYURON TEXANUM	GREEN DESERT SPOON	15 GAL.	14	PLANT AT 4' O.C.
	ECHINOCACTUS GRISONII	GOLDEN BARREL	5 GAL.	53	PLANT AT 2' O.C.
VINES					
	FICUS PUMILA	CREEPING FIG	5 GAL.	12	TRAIN TO WALL
GROUND COVER					
	LANTANA NEW GOLD	NEW GOLD LANTANA	5 GAL.	25	PLANT AT 4' O.C.
	SECKERSIA PALLIDA	PURPLE HEART PLANT	5 GAL.	25	PLANT AT 3' O.C.
	SPHAGNETOCIA TRILOBATA	YELLOW DOT	5 GAL.	11	PLANT AT 5' O.C.
INERT GROUND COVER					
	DECOMPOSED GRANITE	COLOR - TBD	1 1/2" SCREENED	2,600 S.F.	7" MIN. DEPTH IN ALL PLANTERS
	4" x 6" ANGULAR RIP RAP	COLOR TO MATCH D.G.	#6 SIZE	500 S.F.	AS SHOWN

PRELIMINARY LANDSCAPE NOTES

- PLANTING**
THE SITE WILL BE LANDSCAPED IN ACCORDANCE WITH THE CITY OF PHOENIX STANDARDS. ALL TREES AND SHRUBS ARE TO BE STAKED AND PLANTED IN ACCORDANCE WITH THE ARIZONA NURSERY ASSOCIATION PUBLISHED STANDARDS. SIZES OF TREES AND SHRUBS WILL CORRESPOND AND SOMETIMES EXCEED REQUIREMENTS SET BY THE CITY OF PHOENIX. ALL PLANTING AREAS WILL RECEIVE A 2" DEPTH OF DECOMPOSED GRANITE AND SHALL BE TREATED WITH PRE-EMERGENT HERBICIDE.
- IRRIGATION**
THE LOW WATER USE IRRIGATION SYSTEM WILL CONSIST OF DRIP EMITTERS AND AN AUTOMATIC SHUT-OFF VALVE. THE IRRIGATION SYSTEM SHALL PROVIDE 100% COVERAGE.
- GRADING**
ALL EARTHWORK WILL BE DONE SO THAT ALL MOISTURE DRAINS OFF AND AWAY FROM SIDEWALKS AND STRUCTURES. THE MAJORITY OF ON-SITE DRAINAGE WILL DRAIN INTO REVISION BUSINESS SIDEWALKS LOCATED ON-SITE.

PLANTING KEY NOTES

- PROPERTY LINE / RIGHT OF WAY LINE
- DECOMPOSED GRANITE IN ALL PLANTING AREAS. PLANTING AREAS TO HAVE SLIGHT SWALE DEPRESSIONS FOR RUNOFF WATER CAPTURE
- SIGHT VISIBILITY TRIANGLE PER CITY REQUIREMENTS
- 30" HT. SCREEN WALL - STYLE TBD
- EXISTING 4" IRRIGATION EASEMENT
- 4" x 6" ANGULAR RIP RAP - COLOR TO MATCH D.G.
- EXISTING SIDEWALK TO REMAIN
- NEW CONCRETE SIDEWALK
- BUILDING FOOTPRINT FOR THE UPPER FLOOR.
- BUILDING SETBACK LINE
- TRASH ENCLOSURE
- EXISTING WALL TO REMAIN ALONG SOUTHERN PORTION OF PROPERTY LINE
- STEEL HEADER
- CURB CUTS ALONG PARKING LOT TO ENCOURAGE WATER RUNOFF TO FLOW INTO LANDSCAPE DEPRESSIONS FOR IRRIGATION
- ROOF DRAINS TO BE CHANNELLED TO PLANTING AREAS TO CAPTURE RUNOFF WATER FOR IRRIGATION



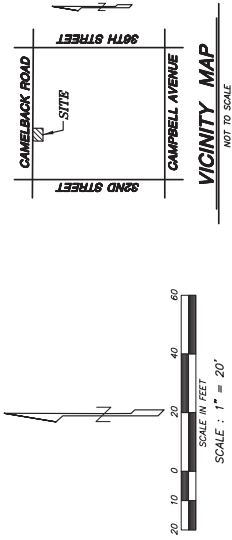
3237 E. CAMELBACK RD
PHOENIX, AZ 85018
Z-35-16-6

PRELIMINARY - NOT FOR CONSTRUCTION

EXHIBIT 10 – ALTA

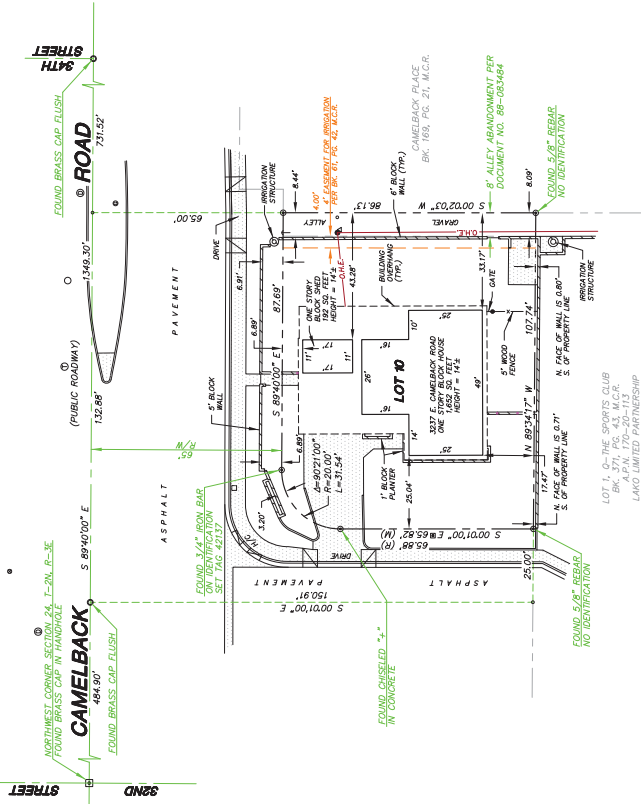
A.L.T.A. / A.C.S.M. LAND TITLE SURVEY

OF
A PORTION OF THE NORTHEAST QUARTER OF SECTION 24,
TOWNSHIP 2 NORTH, RANGE 3 EAST OF THE GILA AND SALT
RIVER BASE AND MERIDIAN, MARICOPA COUNTY,
ARIZONA.



NOTES

- The basis of location is the South line of the Northeast quarter of Section 24, using a bearing of N 89° 40' 00" E, distance of 1349.30' to the southeast corner of the subject property, as shown on the plat of the Survey of the Northeast Quarter of Section 24, Township 2 North, Range 3 East of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, Book 81 of Maps, Page 42, second of the Public Land Survey System, as recorded in the Office of the County Recorder, Maricopa County, Arizona, Document No. 88-083464.
- All title information and the description shown is based on a Third Amended Commitment for Title Insurance issued by Lawyers Title Insurance Corporation, The Number: 01568472, dated July 17, 2007.
- The building lines and dimensions shown depict the exterior building footprint of the building shown above ground level. The building footprint is intended to depict the general configuration of the building at ground level and is not intended to reflect the interior or leaseable area of the building. The building offset distances shown are to actual building corners.
- The building lines shown depict the building footprint at ground level. This information is intended to depict the general configuration of the building at ground level and is not intended to reflect the interior or leaseable area of the building. The building offset distances shown are to actual building corners.
- This survey shows visible above ground evidence of underground utilities or facilities on the subject property. No guarantee can be made as to the exact location, depth, or condition of any underground utilities or facilities. In the event this site is to be developed or improved this survey shows the location and extent of all utilities in the area prior to any design and/or construction of any improvement.
- The Surveyor has not obtained any information regarding the use of the land by any municipality, individual or governmental agency may require.
- This A.L.T.A./A.C.S.M. Land Title Survey was prepared specifically for the use of the subject property and is not intended to be used for any other purpose. The Surveyor does not warrant the accuracy of the information shown on this survey and has no liability for any unauthorized use of this information without their prior written consent.



LEGEND

- SET 1/2" REBAR CAPED 42137 (UNLESS OTHERWISE NOTED)
- PROPERTY LINE
- CONCRETE SURFACE
- 6 INCH CONCRETE CURB & GUTTER
- INDICATES DIVERSITY (MEANS OF ACCESS)
- WALL OPENING
- FENCE
- SHADOW & ITEM
- DOWN GUY
- GUARD POST OR GATE POST
- METAL COVER (RECTANGULAR)
- MANHOLE
- SEWER CLEAN OUT
- STORM DRAIN MANHOLE
- WATER METER
- TELEPHONE POLE
- WATER METER
- ASSOCIATION PARCELS NUMBER
- MARICOPA COUNTY RECORDS
- R/W
- PAGE
- RECORD REF: BK. 61, PG. 42, M.C.R.
- MEASURED

Superior Surveying Services, Inc.
21415 North 25th Avenue, Phoenix, Arizona 85027
Phone (602) 869-0223 Fax (602) 869-0726

A.L.T.A. / A.C.S.M. LAND TITLE SURVEY
3237 E. CAMELBACK ROAD, PHOENIX, AZ 85018

DATE: 8/27/07
DRAWN BY: [Signature]
CHECKED BY: [Signature]
SCALE: AS SHOWN
SHEET 1 OF 1
JOB NO.: 270881

EXHIBIT 11 – LEGAL DESCRIPTION

LEGAL DESCRIPTION

Lot 10, of Chestley Villa, according to Book 61 of Maps, Page 42, records of Maricopa County, Arizona; and also that portion of the abandoned alley lying East of and adjacent to Lot 10 as set forth in Resolution recorded in Document No. 88-083484.

A PORTION OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 2 NORTH,
RANGE 3 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA
COUNTY, ARIZONA.

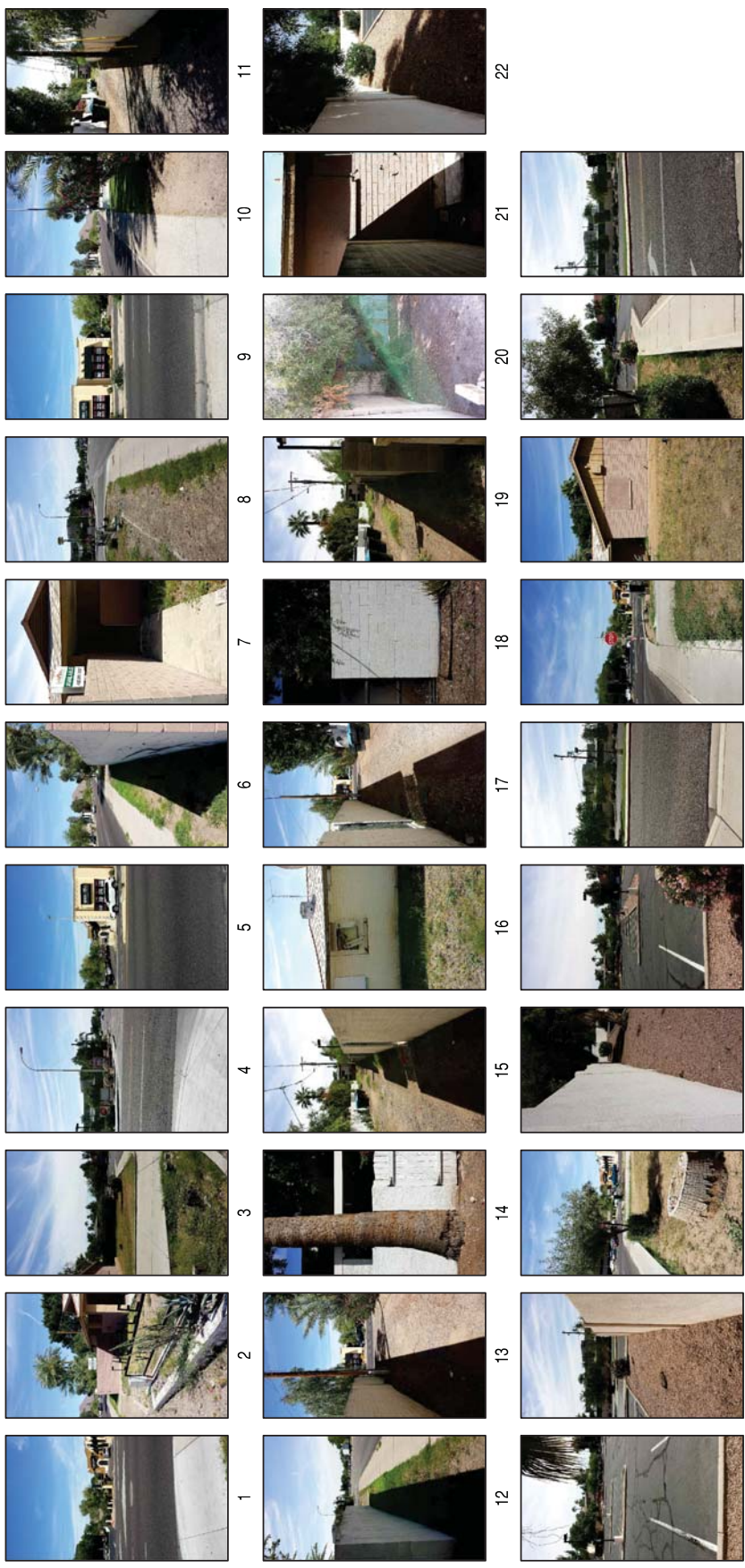
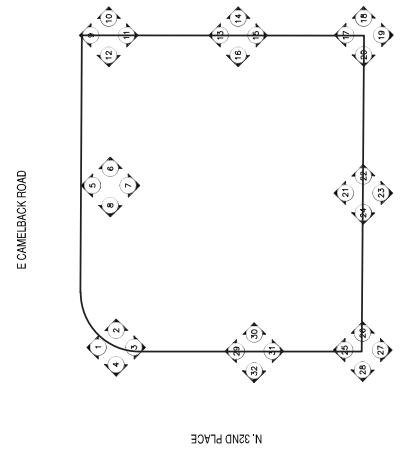
EXHIBIT 12 – CONTEXT PLAN

PROJECT NUMBER: [Blank] DATE: APRIL 2015 SHEET 1 OF 1

DATE	DESCRIPTION
11/15/14	DESIGN DEVELOPMENT
12/18/14	PRELIMINARY DESIGN
01/14/15	CONCEPT DESIGN
02/23/15	SCHEMATIC DESIGN
04/14/15	SCHEMATIC DESIGN

PHOTO NUMBER AND VIEW ORIENTATION

PLAN STATUS



3237 EAST CAMELBACK ROAD
CONTEXT PLAN AND SITE PHOTOS
MARICOPA COUNTY
PHOENIX, ARIZONA

Bowman Consulting Group, LLC
1410 North 83rd Avenue Ste 202
Phoenix, Arizona 85018
Phone: (480) 625-8030
www.bowmanconsulting.com



EXHIBIT 13 – CONCEPTUAL BUILDING ELEVATIONS



GLAZING %

NORTH	48% GLAZING
EAST	46% GLAZING
WEST	51% GLAZING
SOUTH	51% GLAZING

GLAZING CALCULATIONS ARE BASED ON THE BOUNDARIES OF THE CONDITIONED SPACES ONLY, EXCLUDING THE STAIR WELL + ELEVATOR SHAFT.

NORTH ELEVATION

CONCEPTUAL ELEVATION

SCALE 3/8" = 1'-0"



SOUTH ELEVATION

CONCEPTUAL ELEVATION

SCALE 1/8" = 1'-0"



WEST ELEVATION

CONCEPTUAL ELEVATION

SCALE 1/8" = 1'-0"



EAST ELEVATION

CONCEPTUAL ELEVATION

SCALE 1/8" = 1'-0"



09 / 24 / 2016

FDG-643

EMPIRE OFFICE BUILDING
 3237 E. CAMELBACK ROAD
 PHOENIX, AZ



A

12124 S. 48th Ave, Suite 100, Scottsdale, Arizona 85258 (480) 407-9771