

GRAND CANYON UNIVERSITY



PUD ZONING CASE NO. Z-3-B-10-5

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PLANNED UNIT DEVELOPMENT DISCLAIMER

A Planned Unit Development (PUD) is intended to be a stand-alone document of zoning regulations for a particular project. Provisions not specifically regulated by the PUD are governed by the zoning ordinance. A PUD may include substantial background information to help illustrate the intent of the development. The purpose and intent statements are not requirements that will be enforced by the City. The PUD only modifies zoning ordinance regulations and does not modify other City Codes or requirements. Additional public hearings may be necessary such as, but not limited, to right-of-way abandonments.

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A. PURPOSE AND INTENT

1. Project Overview and Goals

On behalf of Grand Canyon University (“GCU”) we are proposing to rezone approximately 211.3 gross and 199.3 net acres from PUD (Planned Unit Development), R1-6 (Single Family Residence District), PAD-12, (Planned Area Development), R-3 (Multi-family Residence District), R-3A (Multifamily Residence District) R-4 (Multifamily Residence District), R-4A (Multifamily Residence-General), R-5 (Multifamily Residence District), C-O (Commercial Office District-Restricted Commercial), CP/GCP (Commerce Park/General Commerce Park) and C-2 (General Commercial) to PUD to enlarge an existing PUD of approximately 110.882 gross and 106.731 net acres located on the north side of Camelback Road between 35th Avenue and the I-17 Freeway. The existing PUD is the campus of GCU and the purpose of this request is to include both adjacent property and detached acreage with I-17 Freeway frontage in the GCU campus. The added property would become subject to a set of PUD standards and design guidelines allowing for consistent and compatible development that accommodates the continuing growth of GCU.

An indication of the rate of growth is the student population attending classes on campus, excluding on-line students. The initial PUD, Z-3-2010, projected 1,700 students and 615 dormitory rooms. Campus enrollment is approximately 11,000 students with approximately 14,000 students expected in 2015. The additional land to be incorporated into the campus will allow for growth that accommodates the needs of both the new students and the surrounding community.

The goals of the PUD are as follows:

- To create a campus that contains the facilities needed by a university of regional and national recognition.
- To provide for the continuing rapid growth of GCU while maintaining a desirable university campus atmosphere.
- To define a set of development standards that will help guide future build-out of the GCU campus.
- To promote quality development sensitive to the existing neighborhood and the City of Phoenix General Plan through a comprehensive land use plan. The comprehensive site plan has provided sizeable setbacks, a building stepback regime, extensive landscaping, and perimeter treatment. These enhancements will prevent any real or perceived adverse impacts on the surrounding residential properties.
- To promote an architecturally innovative and aesthetically pleasing campus with appropriate consideration given to building materials, design and site layout.
- To promote a beautifully designed, landscaped and maintained development that complements and enhances the environment.

2. Site Planning Concepts

As stated above, GCU has experienced significant growth over the past few years, and several site planning strategies have been developed in order to accommodate this growth in a coordinated fashion. These strategies aim to:

- Strengthen the public image of GCU along Camelback Road while retaining iconic elements such as the rows of palm trees.
- Increase height and density around courtyards, malls and quads to create identifiable outdoor spaces that enhance the quality of life for those who use the campus and contribute to the university's identity.
- Maintain a variety of outdoor sports facilities in order to support the university's traditional emphasis on athletics.
- Employ landscape strategies that both establish unique zones across the campus, as well as knit these disparate zones together.
- Provide a significant spatial and landscape buffer between the campus and adjacent residential districts to reduce any perceived negative impacts between dissimilar land uses.
- Maintain a vehicle-free campus core that encourages walking and cycling within the core. The core is the main north-south spine of pedestrian circulation, extending from the security station that stops traffic at the main 33rd Avenue entrance to the Student Union building, and adjacent buildings.
- Incorporate additional land that will allow for the expansion of the facilities needed by a University, including student amenities, sports facilities, and other facilities needed to encompass the multiple facets of community life.
- Provide for the addition of research and business development facilities.
- Continue and expand, where possible, GCU's traditional practice of involving the surrounding neighborhoods.

These strategies will help the university increase its stature and accommodate growth on an infill location in a way that is responsive to both the neighborhood and climate.

Main Entrance and Gateway to Campus

The 33rd Avenue entry from Camelback Road has been the traditional main entrance to the campus for decades. Flanked by formal rows of Mexican fan palms leading to a manned security station, this alignment continues into the heart of the campus as a pedestrian mall terminating at the Student Union. The ceremonial aspect of this entrance is further reinforced by recently installed monument signs along Camelback Road, which are enhanced by masonry perimeter walls. Future improvements will celebrate this entrance as the main public gateway to the university.

The 33rd Avenue alignment transitions from automobile- to pedestrian-oriented circulation at the guard station, and becomes the primary north/south corridor on campus. The pedestrian nature of this mall has been strengthened over time through building placement that reinforced the spatial perception of this linear outdoor corridor. Landscape treatment will further enhance the pedestrian experience along this alignment. The tall, narrow palms along the vehicular path adjacent to Camelback Road are the most prominent landscape feature establishing this gateway, and will be maintained into the future. Additional tree cover will be added over time to extend this formal, linear planting pattern into the heart of campus. Conceptually, this is intended to enhance the collegiate mall experience of this axis, as well as to provide shade to encourage pedestrian and leisure use.

The community's perception of the campus is informed primarily by the frontage along Camelback Road, and to a lesser degree the 35th Avenue frontage. The 33rd Avenue entrance from Camelback Road is key to establishing the presence of the campus. The monument signage, double rows of palm trees, and the proposed perimeter fencing are the three major landscape design elements that will be most visible to passersby. However, as the campus grows north along 35th Avenue and east along Camelback Road the traditional landscaping will change to reflect the increasing distance from the main entrance and symbolic center of the university. However, the use of consistent visual cues, such as the standard perimeter fencing, unique signage, and consistent development standards will continue to tie the campus together.

Campus Malls, Courtyards and Quads

A university's identity is, in large part, reflected by the built environment of its campus. From a site planning standpoint, several traditional elements have been employed at our nation's oldest universities in order to establish their campuses as academic retreats from everyday life. Some of these elements – pedestrian mall circulation, internal courtyards, and outdoor quadrangles (“quads”) framed by buildings – are common to universities ranging from Harvard to Arizona State University, and are a key component in communicating the atmosphere and daily rhythms of academic life.

This PUD is unique in that it is not tied to a specific building or single use. Rather, it is intended to guide future development and redevelopment within a 63-year old urban campus as it grows and matures. The site is effectively an infill location that will be slowly transformed over time. The recent additions of classroom buildings, dormitories, parking structures, an event center, and a recreation center do not represent the completion of the campus. As GCU's campus continues to grow, it will be important to reinforce, articulate, and more clearly define the physical relationships that help to form great collegiate environments.

GCU has now developed or redeveloped the land between 35th Avenue and Little Canyon Trail, and from Camelback Road to Missouri Avenue, with some projections beyond those general boundaries. With this proposed PUD expansion the campus will extend north along 35th Avenue to Missouri west of Little Canyon Park, on designated sites on Camelback Road north to Missouri, and east of Little Canyon Trail to the I-17 freeway. The only new building being planned at this time, however, is a new dormitory west of Little Canyon Park. In the short term the other land added to the campus with this PUD will be used for secure surface parking. The land uses and development standards previously approved will be extended to additional property so buildings may be added in the future as the student population grows. However,

there will be some modifications of standards in portions of the added land where warranted by different circumstances, such as freeway frontage, more intense adjacent uses, or the presence of existing buildings that do not meet the standards GCU previously set. These standards will be discussed on an individual basis where they differ from the standards set in an earlier PUD.

Landscape Design Concepts

As the GCU campus has been developed intermittently over the past 63 years, a variety of landscape conditions have been introduced ranging from lush Mediterranean landscapes to drought tolerant xeriscapes to irrigated lawns framed by tall, slender palms. As a university campus with a strong history of athletic achievement, there are expansive areas of turf sports fields, as well. This PUD embraces the concept of designing unique landscape zones across the campus; landscape materials should help define these smaller spaces and give them a sense of identity. In this way, the large campus can be broken down into discreet zones that are more readily embraced by the student population. This goes hand in hand with the massing strategy of arranging buildings to reinforce mall, courtyard and quad relationships.

Recognizing the eclectic context, and the fact that future development will happen via discrete projects over time, the landscape design concept envisioned in this PUD involves several distinct strategies:

- Weaving together disparate existing environments when new construction occurs
- Establishing identifiable public spaces within the campus core and reinforcing the mall and quad site planning relationships
- Using common landscape and site wall elements to help establish a more unified public interface on Camelback Road
- Provide a landscape buffer, distance, and/or screening to adjacent residential districts

It is not envisioned that the campus will be treated as a ‘blank slate,’ rather; future landscape design will work to integrate the existing contextual relationships.

Concurrently, landscape design will need to complement building placement in order to more clearly define pedestrian spaces in the form of malls and quads. From a landscape perspective, this will entail establishing distinctive plant palettes for each corridor or outdoor gathering space. Palettes may be chosen to express variety, seasonal change, spatial enhancement, shade, water efficiency, color, and smell among other attributes. The goal is to establish identifiable public spaces with unique identities that pedestrians will want to use on a daily basis.

Along Camelback Road, in the proximity of the main entrance, the existing canopy of tall Mexican fan palms will be maintained, and complemented with understory flowering trees, groundcover, shrubbery and a new perimeter site wall. The existing palms, which are evenly spaced at approximately 24 feet on center, are a recognizable feature of the neighborhood and will provide continuity between the historical context and future construction.

Little Canyon Trail (“LCT”) has landscaping maintained by GCU. Although LCT was originally the easterly boundary of the campus, the campus will now have significant frontage on both sides of the Trail.

B. LAND USE PLAN

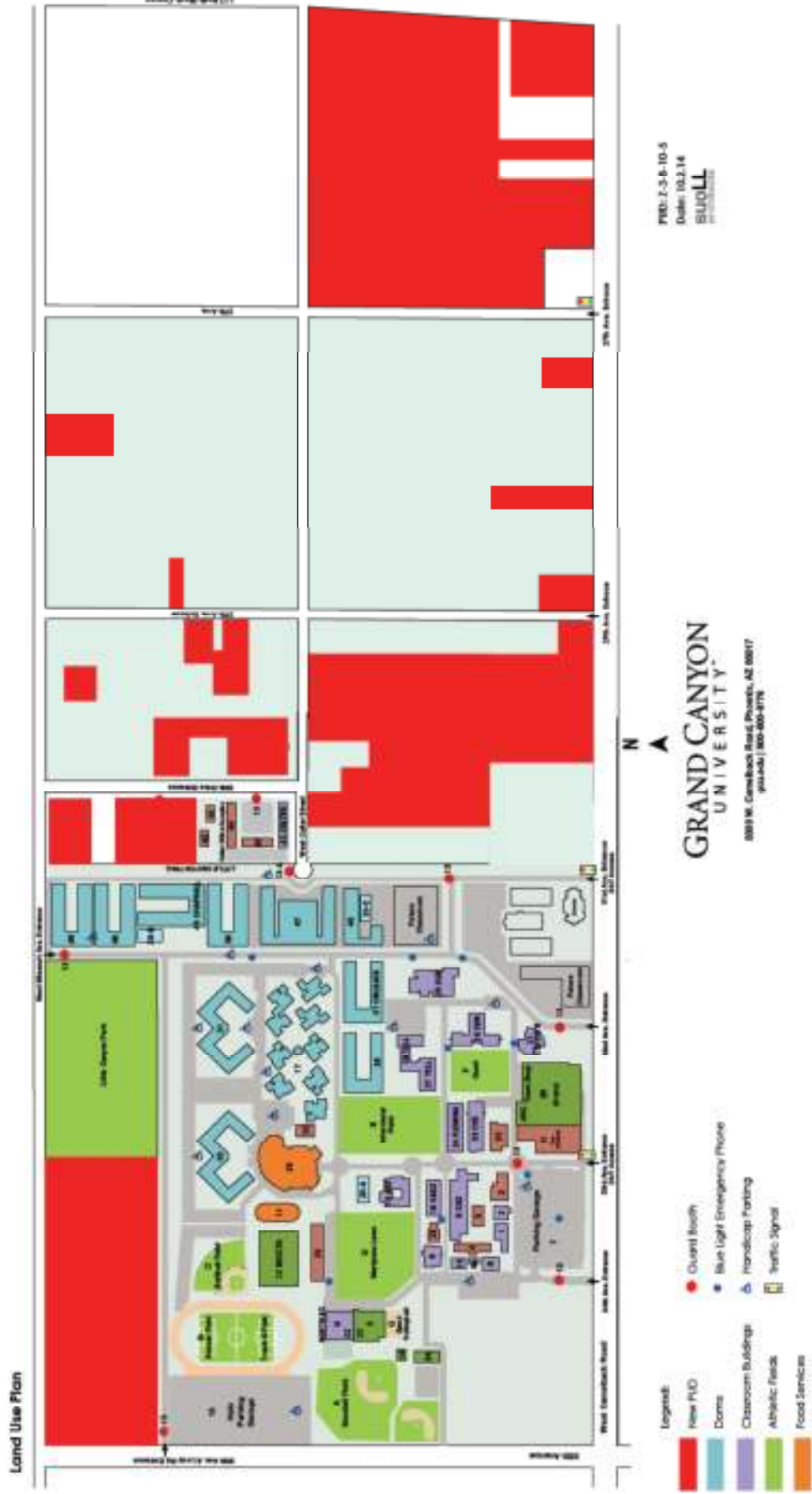
Generally speaking, outdoor athletic fields are located towards 35th Avenue and the west side of campus, student housing exists along the northern perimeter, and academic facilities and administration are concentrated in the center and southern parts of campus. Automobile circulation and parking are confined to the perimeter of the campus, allowing an internal core for pedestrian and cycling. The land added to the campus with this PUD will be initially used for a new dormitory and surface parking for students and employees. Over time additional structured parking may be provided to accommodate need created by additional classrooms, dormitories, food services, retail outlets, recreation and entertainment, and other ancillary needs of university students and faculty. Additional uses may include faculty housing and research facilities.

1. Proposed Use Categories

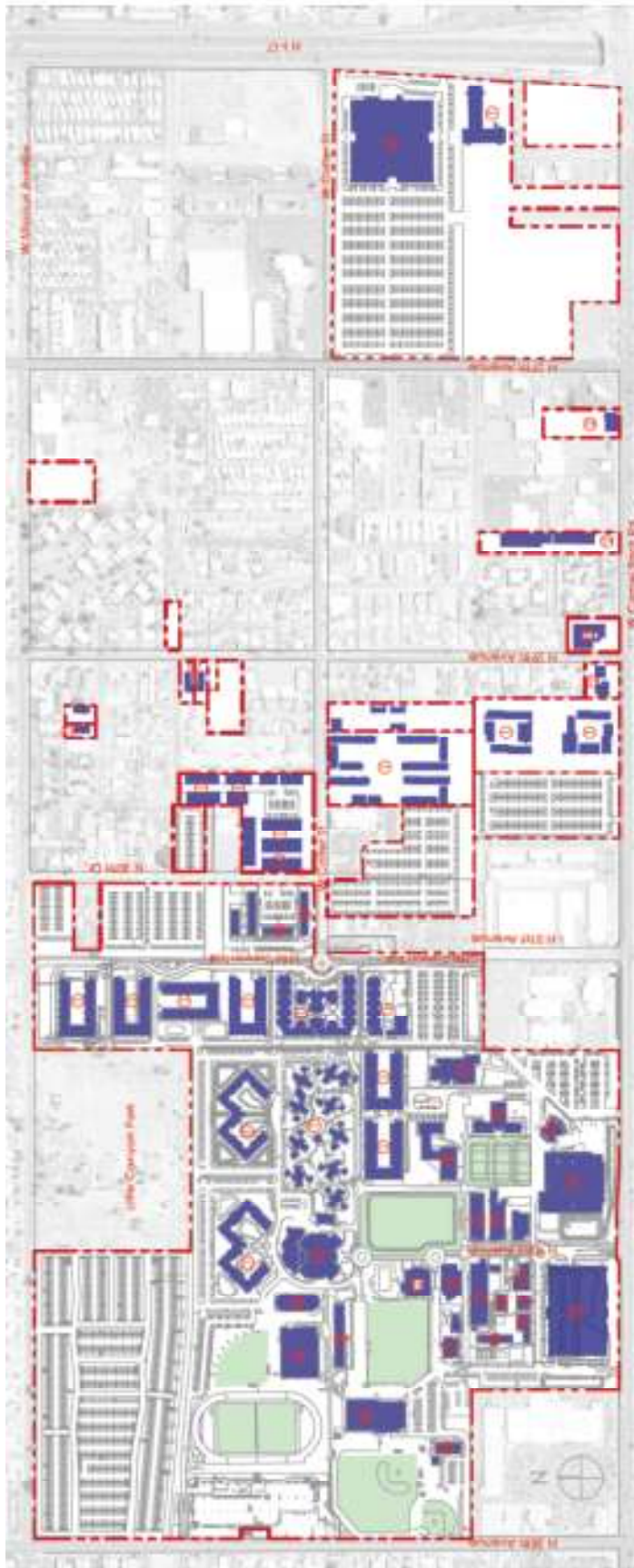
The entire site will continue to be occupied by GCU and related facilities deemed appropriate to the vision and growth of the university, including but not limited to classrooms, dormitories, research facilities, sports fields, public assembly venues, residences, offices, cafeterias and other food services, retail and wholesale sales, business development, communications center, job training facilities, surface parking, parking structures, and accessory uses. Entertainment uses will also be permitted to strengthen the campus as a place where all the needs of the students can be met without driving. A detailed list of uses is further referenced in Section F. (*See*, Land Use Plan and Conceptual Site Plan)

While not yet planned, the detached portion of the site situated along the I-17 freeway could contain athletic facilities or retail uses, or both, and could include uses not requiring immediate proximity to the core of the campus, such as facilities for training, business development, research, and communications. Currently there are administrative offices located on the site located at the southeast corner of 27th Avenue and Colter Street.

2. Land Use Plan



3. Conceptual Site Plan



C. SITE CONDITIONS AND LOCATION

1. Site Acreage, Location & Topography

GCU traces its origins to 1949 when the Grand Canyon College was founded by the Arizona Southern Baptist Convention. After two years in Prescott, Arizona, the college was moved to its current location on the northeast corner of 35th Avenue and Camelback Road. The site has been in continuous operation as post-secondary educational facility since that time, making the campus an integral part of the neighborhood. The school became a university in 1989, and has been under its current ownership since 2004.

The site is essentially all developed with buildings, hardscape, and landscape improvements. The land is virtually flat, with no significant topographic features or watercourses. GCU is located in the Alhambra Village, and is surrounded by a variety of uses including single-family homes, a church, multi-family homes, commercial, freeway, and a City of Phoenix Park.

The campus originally grew in a suburban style of low density one- and two-story buildings clustered in the center of the campus surrounded by sports fields along 35th Avenue and a grass lawn on the Camelback Road frontage. Over time, GCU acquired additional land including a non-contiguous parcel on the southeast corner of 31st Avenue and Missouri, and the parcel directly to the north of the First Southern Baptist Church. Later, an animal shelter fronting on 35th Avenue, a portion of Little Canyon Park, an apartment building, and two residential lots were acquired. The current additions include sites which contain a condominium development, residential lots, vacant land, and a small apartment complex, and an existing office building.

The office building with surplus parking located between 27th Avenue and the I-17 Freeway will continue to function as an office and parking but will now come under the restrictions of the PUD requirements.

The introduction of PUD zoning in 2010 allowed the campus to grow vertically and newer buildings are taller, allowing for the more compact form required of walkable environments. The goal of restricting automobile parking to the perimeter of the campus continues to be a primary consideration in the evolution of the campus.

Parking is currently dispersed in the perimeter portions of the campus, in proximity to Camelback Road, 35th Avenue, Missouri Avenue, and Little Canyon Trail, consistent with the design objective of keeping the interior of the campus for pedestrian and bicycle travel.

The site plan illustrates the distribution of campus facilities. The properties added with this expansion will initially be used for surface parking. Over time, buildings will be built on some or all of the parking lots depicted on the site plan, and the parking shown should not be considered to be the permanent use at these locations. Rather, other allowed uses will be introduced as needed by GCU.

2. Vicinity Map



D. GENERAL PLAN CONFORMANCE

1. Compatibility with General Plan

The City of Phoenix General Plan Land Use Designations for the added land include residential at low, medium, and high density, and commercial. A minor General Plan Amendment will need to accompany this rezone request, so the land use designation for the entire PUD will be Public/QuasiPublic. As set forth in the following subsections, the proposed Planned Unit Development rezone request is consistent and compatible with many of the goals and objectives outlined in the General and Land Use Plans.

The General Plan recognizes the need to promote strong, healthy neighborhoods and to preserve their unique character, while encouraging development that is sensitive to the scale and character of the surrounding neighborhoods. Typically, this is accomplished by incorporating proper development standards, such as additional landscaping, screening and setbacks, to mitigate any negative impacts where disparate land uses are adjoining. The following outlines the relationship between the requested rezone change and the City of Phoenix General Plan. The General Plan Elements seek to promote comprehensive direction for the growth, conservation and development of all physical aspects of the City. The proposed rezone meets or exceeds the following goals outlined in the General Plan:

Surrounding General Plan Land Uses*General Plan Land Use (as of May 2014)*

North (Missouri Avenue)	Parks/Open Space – Publicly Owned Residential 3.5 to 5 du/acre
East (of Little Canyon Trail to 27 th Avenue) East (27 th Avenue to I-17 Freeway)	Residential 10 to 15 du/acre Residential 15 + du/acre Commercial and Industrial
South (Camelback Road frontage west) South (Camelback frontage east)	Residential 3.5 to du/ac; 15+du/ac Commercial
West (across 35 th Avenue)	Residential 3.5 to 5 du/acre

Growth Area Element

Goal 1 – Growth: Maintain a **high quality of life** and economically healthy community.

The rezoning request supports a high quality of life by supporting a stronger linkage between academic opportunity, the community and the home. Further, the proposed rezoning request recognizes the desired scale and land use classification of the adjacent residential properties by utilizing intense buffering techniques, which include sizeable setbacks, extensive landscaping and perimeter treatment, and stepback requirements.

Land Use Element

The following outlines the relationship between the requested rezoning, the surrounding land uses and the City of Phoenix General Land Use Plan Element. “The Land Use Element” recommends how “Phoenix should grow within its boundaries to have a rational urban form (the urban village model), promote infill and **be compatible with its neighbors.**” In addition, urban form and the Village Model are integral to the General Plan and zoning relationship:

Goal 1 – Urban Form: Growth should be structured into a series of urban villages characterized by the five components of the urban village model: core, neighborhoods, community service areas, regional service areas and open space.

The Principles:

- **Promoting the uniqueness of each village:** celebrating the lifestyle and character, the unique identity of each village with its history, patterns of development, types of open space, public facilities, and types of development from large lot and rural to mixed-use and urban.

- **Preserving and enhancing the quality of life in each village:** protecting the historic character, unique amenities, open spaces, public facilities, and neighborhoods, and ensuring compatible new development.
- **Providing for a majority of resident needs within the village:** allowing residents the opportunity to live, work, play, shop, to receive health care and social services within their villages conveniently, and to access these activities by a multi-modal transportation system.

Urban Village Model: Neighborhoods

Neighborhoods: “The neighborhood component of the urban village model recognizes the importance of residential as the major land use in each village. Its goal is to preserve and enhance existing neighborhoods and create strong and viable new neighborhoods. The component includes all types of housing and low intensity nonresidential uses that serve the recreational, educational, and retail needs of the neighborhoods as well as neighborhood open space.”

Policy No. 2: Protect and enhance the character of each neighborhood and its various housing lifestyles through new development that is compatible in scale, design and appearance.

- **Policy No. 6:** Ensure that neighborhoods have reasonable access to basic neighborhood support services.

E. ZONING AND LAND USE COMPATIBILITY

1. On-Site & Surrounding Zoning & Land Use Character

The added Property is currently zoned R1-6, PAD-12, R-3, R-3A, R4, R-4A, R-5, C-O, CP/GCP, and C-2. Surrounding zoning is mixed, with R1-6, R-3A, R-4, R-4A, R-5, C-3, and C-2SP on adjacent property (*See*, Existing Zoning Map). This variety is reflected in the adjacent uses, which include single-family homes, multi-family homes, churches, apartments, retail uses, and a city park. The subject property is located in Alhambra Village, and is not within the Village Core or an overlay zoning district. As previously mentioned, the university has been in this location for decades, and is part of the fabric of the neighborhood. Increased building heights will be needed to provide more classrooms and dormitories, along with the other functions of the university, and in so doing care must be exercised to avoid negative impacts on surrounding land uses. It should be noted that the existing zoning applicable to the property being added to this PUD includes relatively dense multi-family and commercial. The existing zoning thus already allows for a much greater intensity than is found in the surrounding single family neighborhoods. This PUD is not replacing low density neighborhoods or zoning, but rather land previously approved for more intense development.

The PUD employs a variety of perimeter landscape treatments, setbacks, and stepbacks to ensure compatibility with adjacent properties. In effect, GCU has customized the relationships between its perimeter and the surrounding uses. Where the adjacent land uses will be more sensitive to activities on campus, GCU will respond with greater buffers. These are more completely described in Section G of this Narrative.

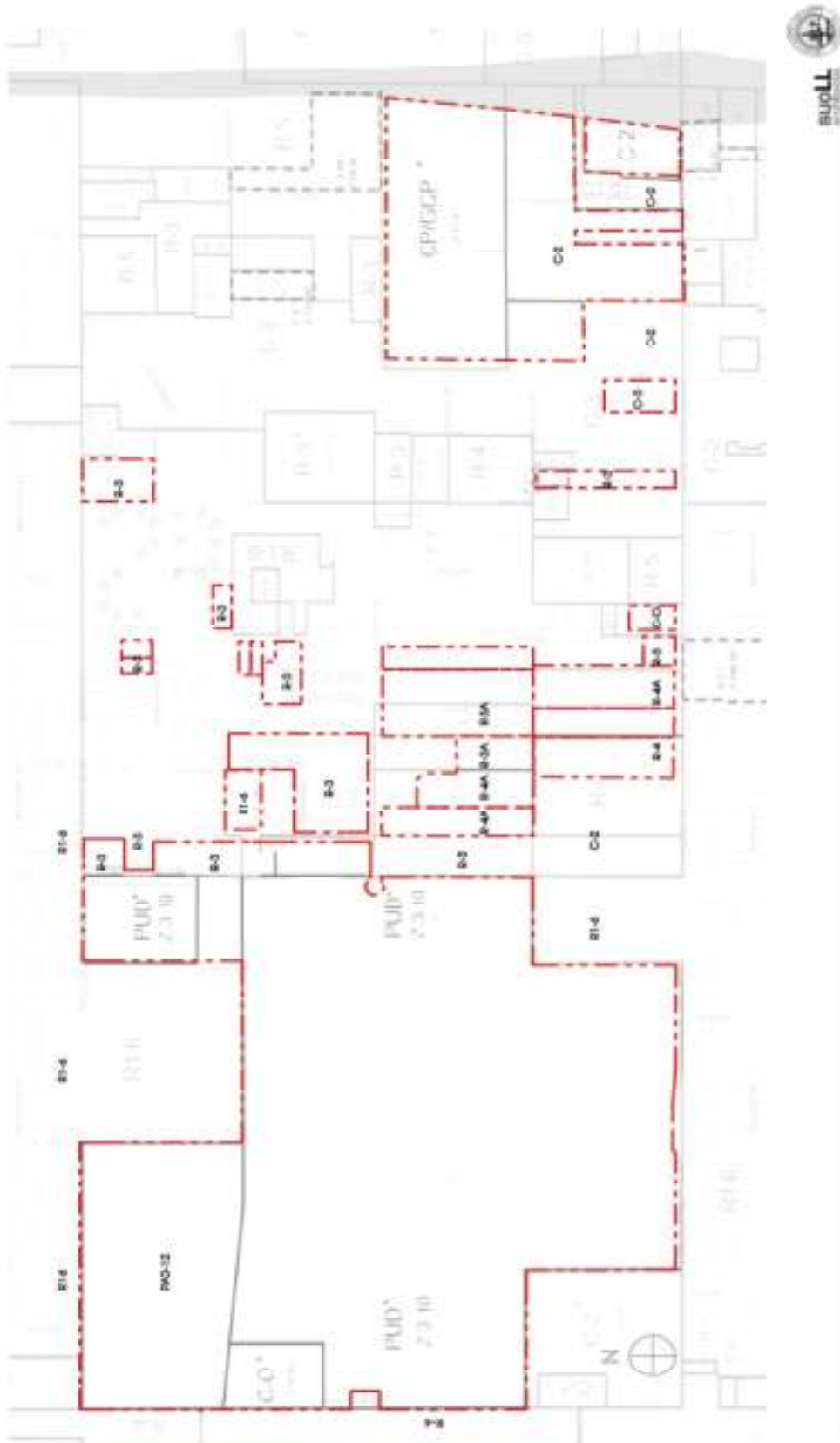
Surrounding Land Uses	
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North (Missouri Avenue)	<i>Multi-family residential, single-family residential, park</i>
East (of Little Canyon Trail)	<i>Multi-family residential, multiuse trail, church, self-storage facility, commercial</i>
South (Camelback Road)	<i>Church, Single-family residential, commercial retail center</i>
West (35 th Avenue)	<i>Commercial retail center, single-family residential</i>

Surrounding Zoning Districts	
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North (toward Missouri Avenue)	<i>R1-6</i>
East (of Little Canyon Trail)	<i>R-3,R-4,C-2 SP</i>
East (27 th Avenue to I-17)	<i>R-5, C-2</i>
South (Camelback Road)	<i>R1-6, C-2, C-3</i>
West (35 th Avenue)	<i>C-1,C-2, R1-6</i>

2. Existing Zoning Map



3. Proposed Zoning Map



F. LIST OF USES

A university is dynamic, complex and multi-faceted. To list all appropriate activities that may reasonably be expected to occur on a campus is not possible. The list below is intended to illustrate the known primary uses that are occurring or will occur in the near future.

1. ACCESSORY USES SUCH AS:
 - PRINTING/GRAPHICS OPERATIONS
 - BINDERY SERVICE
 - CONFERENCE ROOM FACILITIES
 - MAIL SERVICE
2. ASSEMBLY HALL & AUDITORIUM/ARENA
3. BOOKSTORE, INCLUDING NEW & USED DRAWING AND ART SUPPLIES, COMPUTERS, PRINTERS, PRECISION INSTRUMENTS, MUSICAL INSTRUMENTS, RECORDED MUSIC, COPY SERVICES, COMPUTER COMMONS
CAFETERIA, INCLUDING FULL SERVICE & FAST FOOD RESTAURANTS, CATERING, COOKING SCHOOL
4. CALL/COMMUNICATIONS CENTER, INCLUDING DATA CENTER
5. CHURCH AND CHAPEL
6. CLASSROOM
7. CONVENIENCE STORE
8. DAYCARE & NURSERY
9. DORMITORY
10. FINANCIAL SERVICES
11. FIELDHOUSE
12. FOOD & BEVERAGE STORE
13. GYMNASIUM
14. HOSPITAL OR CLINIC
15. JOB TRAINING FACILITY
16. LABORATORY & SUPPLIES (INCLUDING BUT NOT LIMITED TO MEDICAL/DENTAL)
17. LIBRARY
18. LAUNDRY & LINEN SUPPLY
19. MAINTENANCE & RECEIVING, VEHICULAR REPAIR & FUELING, STORAGE
20. MOVIE THEATER
21. OFFICE PARKING STRUCTURE
22. PERSONAL SERVICES INCLUDING BARBER/BEAUTY SALON, SHOE REPAIR, TAILOR
23. PHOTOGRAPHY, LITHOGRAPHY, ART, & SCULPTURE STUDIO
24. PUBLIC ASSEMBLY
25. RADIO & TELEVISION BROADCAST STUDIO
26. RETAIL AND WHOLESALE SALES
27. RESEARCH FACILITIES
28. RESIDENCE
29. RECREATION CENTER, INCLUDING BOWLING ALLEY, CLIMBING WALL/INDOOR & OUTDOOR THEATER, POOL HALL, VIDEO GAME CENTER, SPORTS FIELDS/SWIMMING POOL FACILITIES
30. SCHOOL
31. SURFACE PARKING
32. TEMPORARY LODGING

G. DEVELOPMENT STANDARDS

The development standards contained within this PUD are intended to provide a consistent and predictable framework for future development within the GCU campus. These standards are intended to address the various influences on the site in relation to its use, impact on surrounding neighborhoods, relationship to major and minor streets, and infrastructure. Several development standards exist in the varied existing zoning districts that are not relevant to the site’s future use as a university. This PUD eliminates any required minimum interior building setback requirement, as well as the minimum lot width and minimum lot depth requirement (both of which are directed towards the subdivision of single family home lots). PUD standards also eliminate conflicts that may exist when a single use has multiple zoning standards. No new roads are anticipated to be dedicated to the city as a result of this PUD, and no common areas (such as might be found in a master-planned community) are proposed at this time.

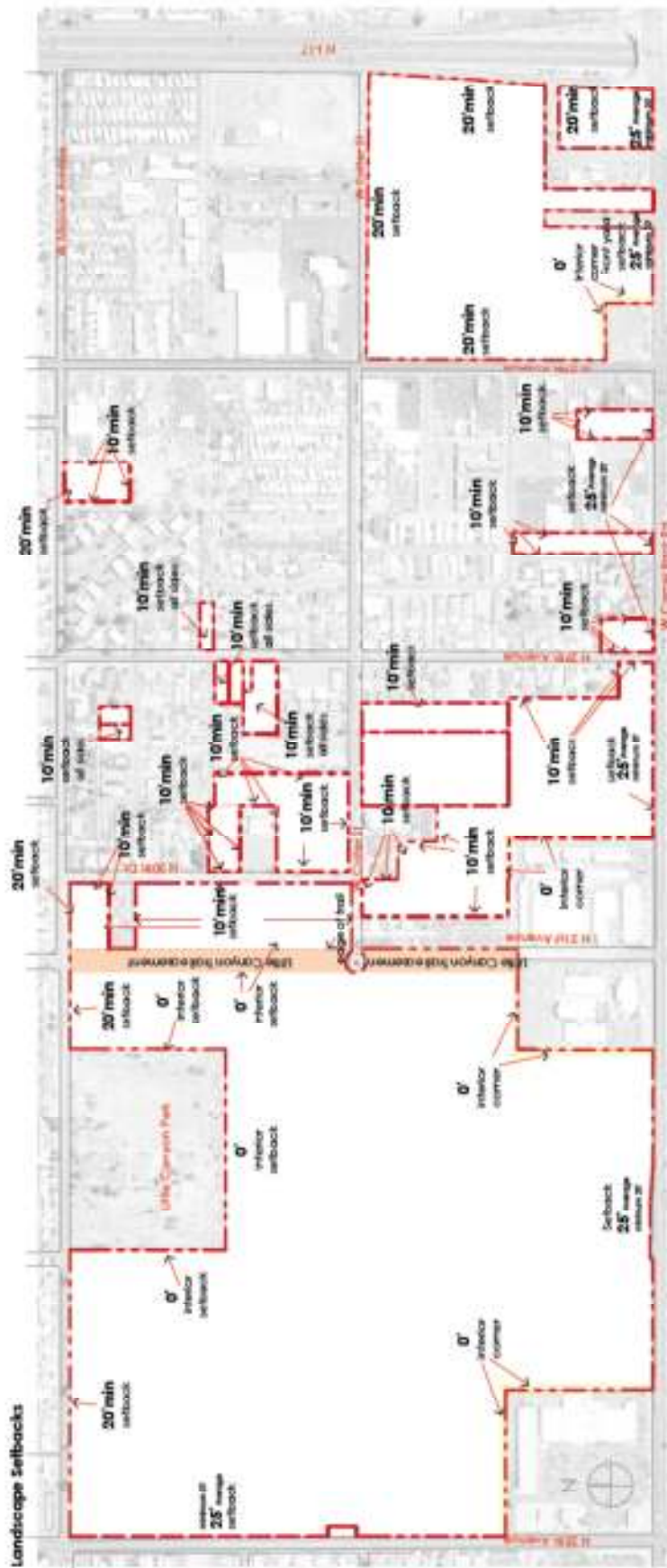
1. Development Standards and Guidelines

Development Standards and Guidelines	
Maximum density	2 du/ac (Residential Use) 50 du/ac (Dormitories)
Minimum Building Setbacks	<p>Camelback Rd.: 50 feet 35th Avenue: 50 feet I-17 Fwy./Missouri/27th Ave.: 20 feet Interior Corner*: 0 feet Interior to Campus: 0 feet Adjacent to Residential Zoning Districts: 10 feet Adjacent to Non-Residential Zoning Districts: 0 feet Adjacent to Little Canyon Trail: 34 feet (measured west from the easterly line of the trail, trail is approximately 10 feet wide, canal is approximately 14 feet wide)</p> <p><i>Interior Corner*: Location as Depicted by Building Setback Exhibit</i></p>
Maximum Building Height	<p>95 feet (subject to following setback provision which allows for a):</p> <p>(a) There shall be a 20 foot maximum building height at the 20 foot setback line along Missouri Avenue. The building height may be increased 2 feet for each additional 1 foot of building setback to the maximum permitted height.</p> <p>(b) There shall be a 20 foot maximum building height at the 10 foot setback line adjacent to a residential zoning district. The building height may be increased 1 foot for each additional 1 foot of building setback to the maximum permitted height.</p>

Maximum Lot Coverage	60%
Required Parking:	
<p style="text-align: right;">1 space: 5 students</p> <p style="text-align: right;">1.5 spaces: 1BR unit/1.5 spaces: 2BR unit</p> <p style="text-align: right;">1 space: 3 staff/faculty</p> <p style="text-align: right;">1 space: 4 arena seats</p>	<p>Commuter Students (4,550 students) = 910 spaces</p> <p>Resident Students (1,613 students) = 2,420 spaces</p> <p>Staff & Faculty (719 persons) = 240 spaces</p> <p>Arena (7,000 seats) = 1,750 spaces</p>
TOTAL ORDINANCE REQUIREMENT	= 5,319 spaces
<u>TOTAL SHARED PARKING MODEL REQUIREMENT:</u>	<u>= 4,681 (12% reduction of Ordinance Requirement)</u>
Provided Parking:	
Paved surface	1,308 spaces
Parking Garage – 33 rd Avenue	1,629 spaces
Parking Garage – 35 th Avenue	1,350 spaces
PUD Lots:	
Colter South	520 spaces
Fountains/Synod	550 spaces
Mesquite Apartments	170 spaces
N. 30 th Drive	450 spaces
Quatros (SEC 35 th Ave. & Missouri)	500 spaces
<u>TOTAL PROVIDED:</u>	<u>6,477 spaces</u>
Minimum Landscape Setback/Standards	<p>Adjacent to Public Street: 20 feet</p> <p>Adjacent to Residential Zoning Districts: 10 feet</p> <p>Adjacent to Non-residential Zoning Districts: 0 feet</p> <p>Interior Corner*: 0 feet</p> <p><i>Interior Corner*: Location as Depicted by Building Setback Exhibit</i></p>
Minimum Building Separation	Per City of Phoenix Building Code
Required Review	Per Section 507 of Zoning Ordinance
Street Standards	Private streets built to City standards and maintained by property owner

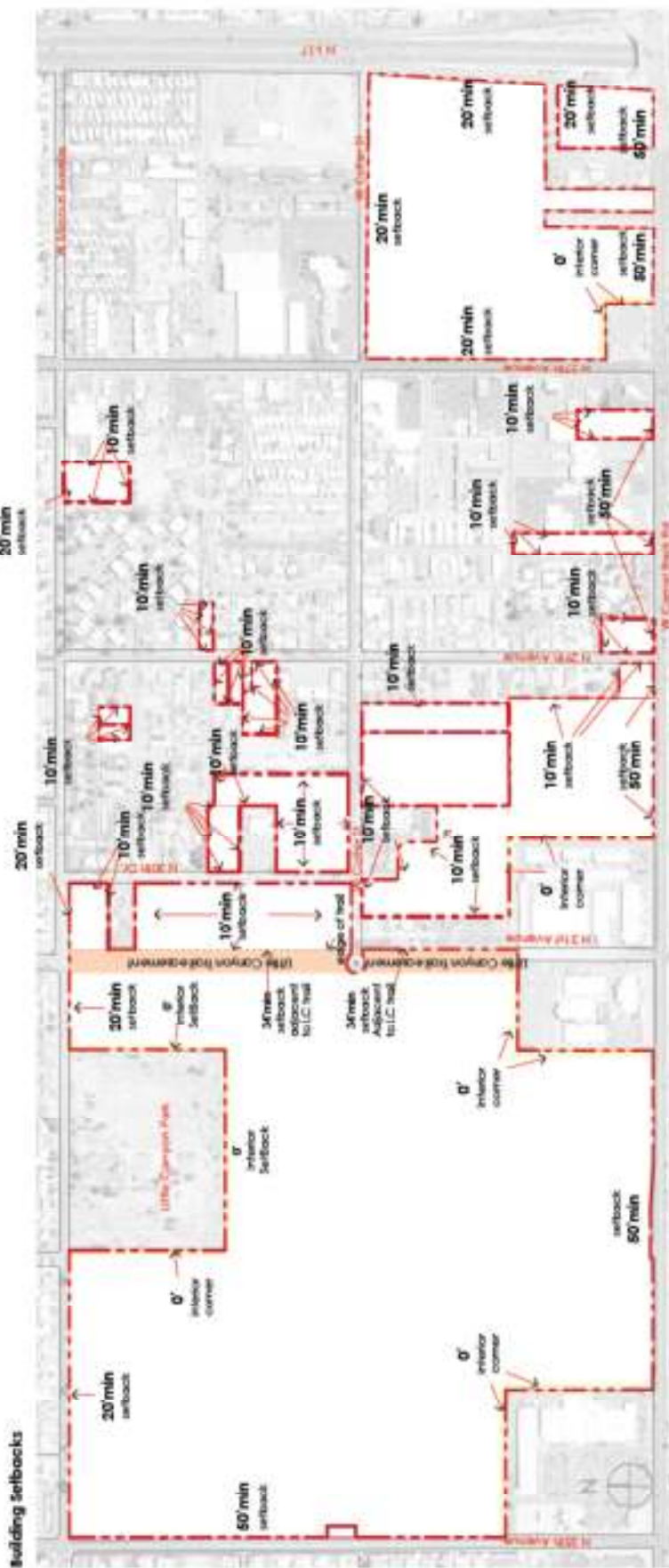
2. Building & Landscape Setbacks

For the purposes of this PUD, the building and landscape setbacks are described in relation to the project’s proximity to the following areas: 1.) Camelback Road - southern perimeter, 2.) Missouri Avenue – northern perimeter, 3.) the “interior corner” setbacks within the existing university campus located just north of Camelback Road, and 4.) the “interior” setbacks which are adjacent to the existing residential homes primarily between Little Canyon Trail and 27th Avenue. Illustrations of these landscape and building setbacks for are detailed in the below in Building Setbacks and Landscape Setbacks exhibits.



Note: Open wrought iron fences up to 8' in height are permitted on property lines and subject to setback requirements where not prohibited by Section 31-13 of the City Code.





Note: Open wrought iron fences up to 8' in height are permitted on property lines and subject to setback requirements where not prohibited by Section 31-13 of the City Code.



3. Public Street & Perimeter Conditions

Camelback Road

Camelback Road is the more prominent ‘public face’ of the university, with its iconic row of towering palms and the formal main entrance to the campus. Directly to the east is the First Baptist Church of Phoenix, and to the west -- on the corner of Camelback Road and 35th Avenue - is a well-established neighborhood retail center in the C-2 zoning district. The campus’ ceremonial main entrance is along the 33rd Avenue alignment, with secondary campus entrances along the 32nd and 34th Avenue alignments.

35th Avenue

35th Avenue is comparable to that of the condition on Camelback Road in that both frontages address heavily travelled arterial streets. Given this shared urban condition, setback standards along 35th Avenue mirror those on Camelback Road. Building setbacks along this perimeter shall be not less than 50 feet. Existing baseball netting may remain in its current location. However, any new netting shall be set back a minimum of 20 feet and adhere to the landscape setback requirements. Common landscape setbacks adjacent to 35th Avenue shall be a minimum of 20 feet and average 25 feet, except where the property line is adjacent to GCU sports fields. The turf sports fields themselves form significant landscape buffers several hundred feet in depth which do not need to be otherwise screened. If the perimeter sports fields are redeveloped into building sites, the landscape setback of 20 feet would apply.

Missouri Avenue

The northern perimeter of the GCU main campus along Missouri Avenue is shared with Little Canyon Park and single family homes located on the north side of Missouri Avenue. Additionally, a building stepback regime shall apply where the PUD project boundary adjoins existing residential homes in order to further mitigate any adverse impacts to the surrounding residential neighborhood. This “stepback regime” shall consist of a two foot building height increase for every one foot of increased setback starting at the 20-foot building setback line. This stepback ratio shall continue to the maximum allowed height, and no buildings will be allowed to protrude beyond the stepback envelope.

The minimum perimeter landscape setback along Missouri Avenue shall be 20 feet, except where the property line is adjacent to either the Little Canyon Park or GCU sports fields. The park and turf sports fields themselves form significant landscape buffers several hundred feet in depth which do not need to be otherwise screened. However, a minimum landscape setback of 20 feet shall be provided between any building and the property line. The remaining area that does not adjoin the park or sports fields, perimeter screening trees shall be non-deciduous screening trees. Further, where the property line abuts Little Canyon Park no setback will be required. (*See*, Building & Landscape Setback and Stepback Exhibit along Missouri Avenue)

30th Drive

The northern half of the subject property is bifurcated by the 30th Drive alignment. The site is also in proximity to R1-6, R-3, and other residential properties where existing buildings are setback approximately 10 feet from their respective property lines. This PUD continues the established setback, as depicted in the following building setback and landscape setback exhibits. Within this general area there are different conditions: the GCU campus may be on both sides of the Little Canyon Trail, or may be on the west side with a residential neighbor on the east. For this reason a variety of setback and stepback standards are proposed to ensure appropriate buffers on the campus perimeter.

“Interior Corner” Perimeter

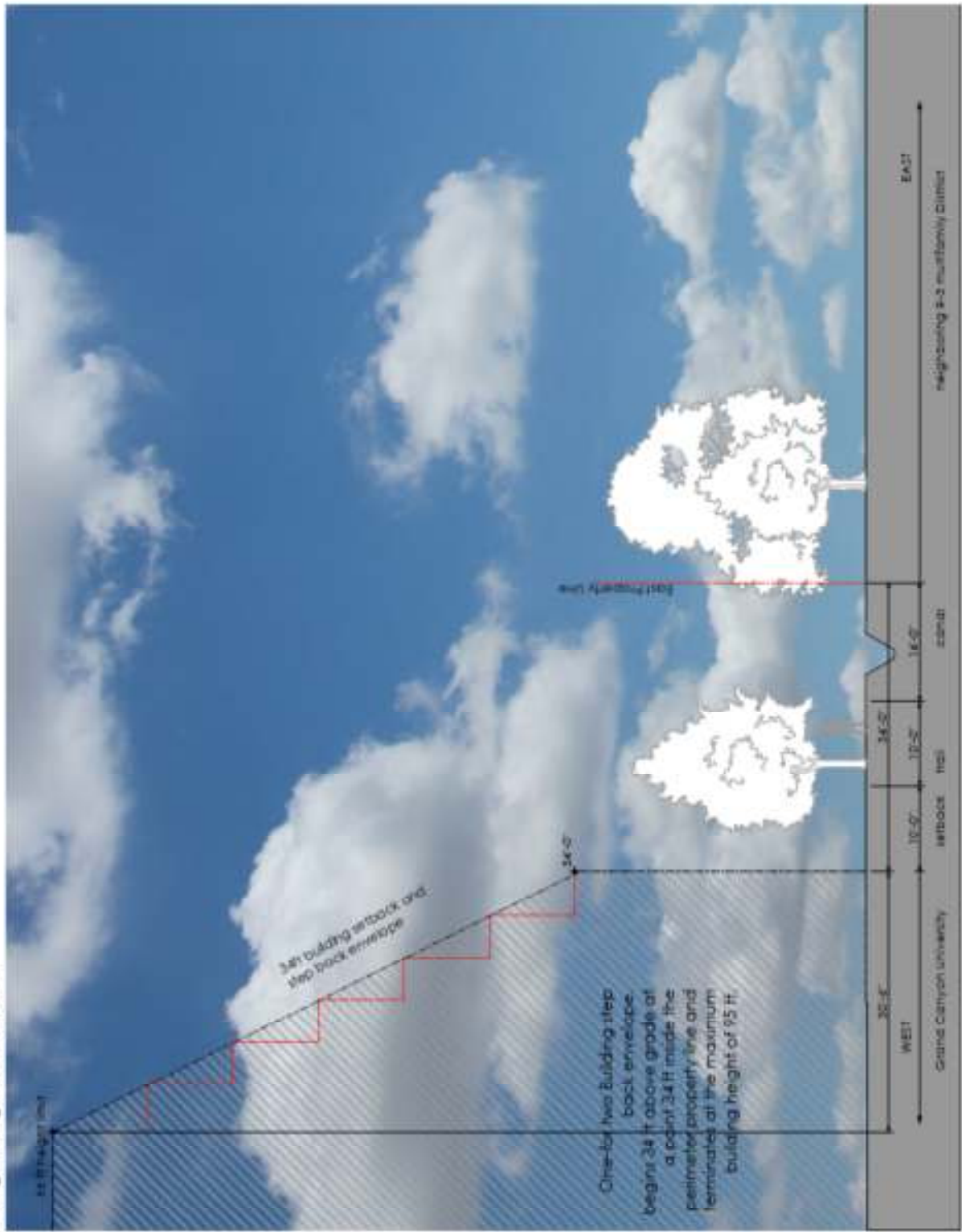
There are several notched, interior perimeter conditions on the GCU campus where the property line is adjacent to neither a public right-of-way nor a residence. On the southeast, the campus abuts the First Southern Baptist Church property, and on the southwest the campus abuts the rear of a commercial strip corner. In the northwest GCU abuts Little Canyon Park. Farther east there is a commercial building at the southeast corner of 27th Avenue and Camelback Road. These perimeters of the site are similar to the boundaries between a retail pad and its surrounding retail center development, or adjacent commercial centers. This PUD envisions a 0-foot building and landscape setback for these portions of the property line not adjacent to either residence or a public right of way.

Little Canyon Trail

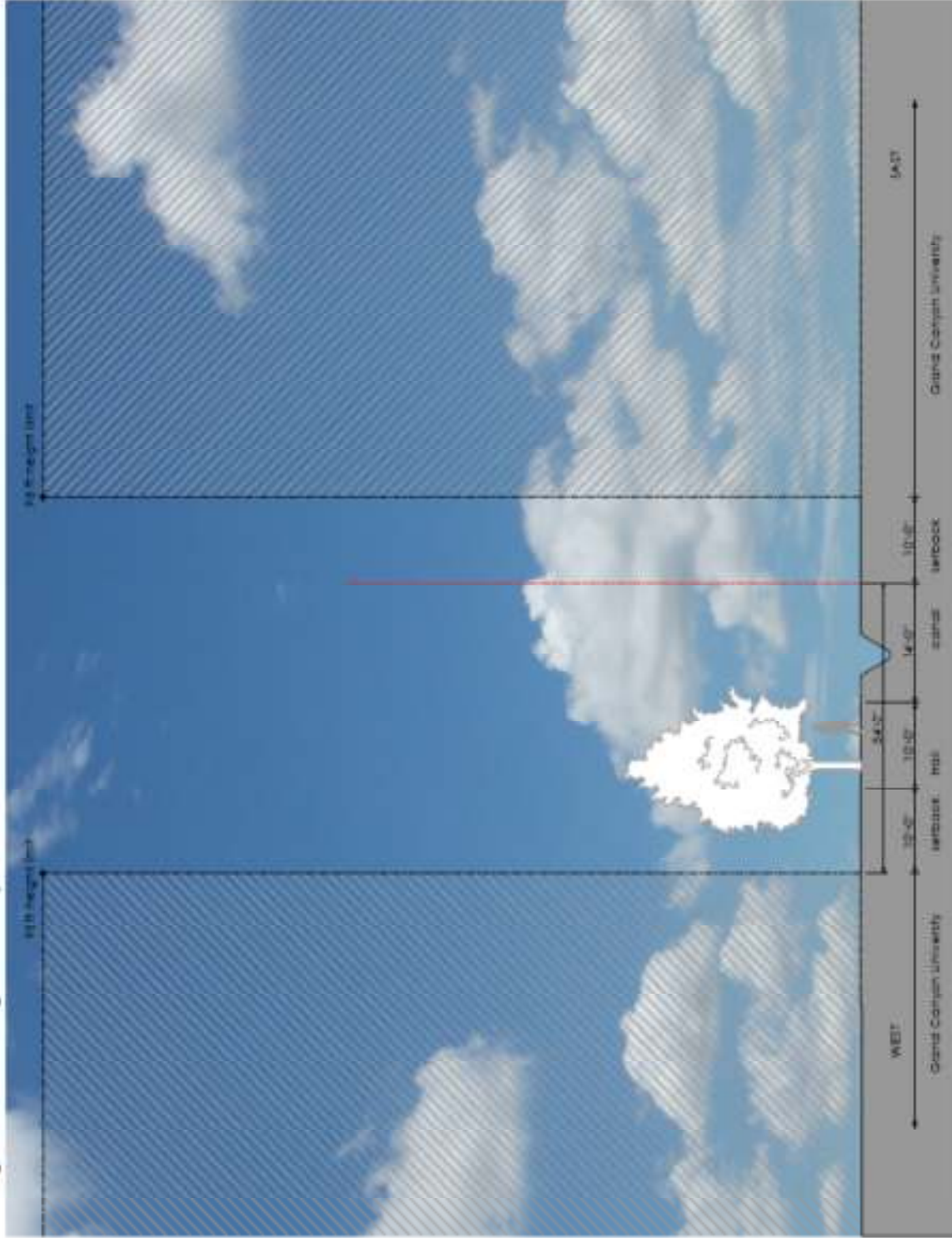
The Little Canyon Canal runs along the alignment of 31st Avenue between Camelback Road to Missouri Avenue. The trail improvements vary in depth, but generally extend from 30 to 40 feet west of the easterly line of the Trail and are well in excess of a 20 foot landscape setback. The trail improvements incorporate screening trees (i.e. Chinese pistache, as well as Arizona ash and dalbergia sissoo), as well as a variety of shrubs and ground cover in a dense pattern. Where these improvements occur inside the GCU property, they shall serve as the required landscape setback improvements. Otherwise, perimeter screening trees shall be non-deciduous screening trees.

The required building setback west of the Little Canyon Trail shall not be less than 34 feet as measured from the east property line of the Trail easement. Additionally, buildings east of the trail shall maintain a 10 foot setback from the east property line of the trail easement. For buildings west of the trail, there shall be a 34 foot maximum building height at the 34 foot setback line adjacent to a residential zoning district. The building height may be increased 2 feet for each additional 1 foot of building setback to the maximum permitted height. However, the stepback shall not apply where the existing campus is adjacent to a designated “interior corner” as shown by the setback exhibits.

Building setbacks along Little Canyon Trail
at neighboring residential area



Building setbacks along Little Canyon Trail



overall width of canal, multiple tree, and landscape improvements along from approximately 30 ft to 38 ft

Note: no step-back envelope along areas where Grand Canyon University owns property on either side of the trail easement.

4. Lot Coverage

Continued development of the GCU campus will increase density significantly, with more multistory buildings spaced closer together. However, the significant building setbacks, many outdoor malls and courtyards, and the high concentration of large outdoor sports fields will limit overall lot coverage to less than might otherwise be expected.

5. Density

The GCU campus houses residential complexes consisting of both apartment-style buildings and dormitories. Demand for on-campus student housing continues to grow, and more dormitory-style residence halls are needed. This PUD shall limit residential density to not more than 2 dwelling units per acre. Dormitories are not dwelling units and are limited to a density of fifty (50) units per gross acre of the PUD project area.

6. Landscape Standards

Streetscape

Streetscape landscape standards shall apply to the landscape setbacks adjacent to public right-of-ways, such as Camelback Road.

Streetscape Landscape Standards	
<i>Plant Type</i>	<i>Minimum Planting Size</i>
Trees	Min. 3” caliper or multi-trunk tree (50% of required trees) Min. 2” caliper or multi-trunk tree (50% of required trees) Planted 30’ on center, or equivalent groupings, or centered between existing Mexican fan palms
Shrubs	Min. (5) 5-gallon shrubs per tree
Streetscape Landscape Setback	20 feet (adjacent to public right of way) 0 feet (where perimeter is adjacent to GCU sports field)

Perimeter Property Lines

Perimeter property line landscape standards shall apply to the landscape setbacks adjacent to residential districts and not adjacent to public right-of-way. These areas shall have an average of one tree for every 30 feet of perimeter (spaced on center or equivalent groupings).

Perimeter Property Lines	
<i>Plant type</i>	<i>Minimum Planting Size</i>
Trees	Min. 3” caliper or multi-trunk tree (60% of required trees) Min. 2” caliper or multi-trunk tree (30% of required trees) Perimeter trees to be non-deciduous screening trees
Shrubs	Min. (5) 5-gallon shrubs per tree
Perimeter Landscape Setback	20 feet (where not adjacent to public right-of-way) 0 feet (where adjacent to city park, GCU sports fields, or interior perimeter conditions)

Adjacent to Buildings

Landscape requirements adjacent to buildings shall refer to the open areas within 20 feet of buildings. These areas shall have an average of one tree for every 30 feet of building perimeter (spaced on center or equivalent groupings). Trees shall not be planted closer than 10 feet from buildings.

Adjacent to Building	
<i>Plant type</i>	<i>Minimum Planting Size</i>
Trees	Min. 2" caliper or multi-trunk tree (60% of required trees) Min. 1" caliper or multi-trunk tree (30% of required trees) Spaced 30' on center, or equivalent, around perimeter
Shrubs	Min. five (5) 5-gallon shrubs per tree

Parking Landscape Areas

Landscape planters shall be located either at the ends of each row of parking and at least one planter per 10 parking spaces, or in a continuous planter between rows of parking.

Parking Lot Area	
Interior Surface Area	8% (exclusive of perimeter landscaping and required setbacks)
Landscape Planters	At the ends of each row and not less than 1 planter per 10 spaces, or in a continuous planter between rows of parking
Planter Area	Minimum 120 SF per 10 parking spaces
Trees	Minimum 1 tree per 10 parking spaces Min. 3" caliper or multi-trunk tree (50% of required trees) Min. 2" caliper or multi-trunk tree (50% of required trees)
Shrubs	Min. two (2) 5-gallon shrubs per tree

Retention Areas

Retention Areas are to be landscaped along their perimeter with trees planted an average of one tree for every 30 feet of retention area perimeter.

Retention Areas	
Trees	Min. 2" caliper or multi-trunk tree (60% of required trees) Min. 1" caliper or multi-trunk tree (30% of required trees)
Shrubs	Min. two (2) 5-gallon shrubs per tree
Retention Areas are limited to a maximum slope of 4:1 and landscaped along perimeter with trees placed a minimum of every 30 feet on center (or equivalent groupings)	

Landscape Materials

Landscape materials shall not be selected from a list but will be chosen by GCU based on harmony with existing materials and support of the functions at a university, including the use of turf on sports fields and the variety of plant material needed for a university curriculum. The plant materials used for the landscape environment will emphasize native and other drought tolerant species according to the Low Water Using Plant List Phoenix AMA, State of Arizona Department of Water Resources.

7. Parking

GCU is currently undergoing a period of growth in enrollment, as well as a building campaign that includes new student housing, recreation facilities, classrooms and office space for faculty and staff. The City of Phoenix shared use parking model was approved in case Z-3-10, the case that established PUD zoning for GCU. The shared parking model as approved provides for a reduction of 14% in weekday daytime parking and a total reduction of 12%. This standard has proven to be effective, and as GCU has grown the addition of parking based on this formula has met the needs of the university students, faculty, staff and visitors. This proposal is simply to extend the same shared parking model to the property being added to the PUD.

8. Amenities

GCU provides a number of amenities in order to compete on a national level for the best and brightest applicants. These amenities are above and beyond those typically required for commercial or multifamily projects. The university's traditional focus on sports is expressed through baseball, softball, and lacrosse fields, as well as indoor sports courts. The recently-completed Recreation Center has added state of the art fitness and aerobics rooms as well as additional indoor basketball and volleyball courts. The new Event Center is an amenity for the student body and the neighborhood at large, and is capable of hosting intercollegiate sporting activities, faith-based events, musical and dramatic performances, educational seminars and annual school ceremonies. The improvements to the Little Canyon Trail, which the university is helping to maintain, provide a critical connection in the city's bicycle trail system and serves as an amenity to the city at large.

9. Shade

Given our desert environment, special consideration must be given to shade in order to create pleasant outdoor experiences that will encourage pedestrian activity. Landscape architecture, building design, and building placement are the three key factors that impact the quality of shade on campus.

Well established specimens exist on campus currently, and during redevelopment, every effort should be made to either maintain existing trees, or relocate them if possible. In new projects, site design should ensure that pedestrian circulation paths are afforded shade protection, either through landscape elements, or building features. Trellises, overhangs, awnings, and building cantilevers are all appropriate measures that should be considered in addition to tree selection and placement.

New construction on the GCU campus shall comply with the shade standards set forth in Section 507 Tab A of the Phoenix Zoning Ordinance.

10. Lighting

As structures are added to the campus, photometric plans for impacted areas shall be submitted to the Planning and Development Department concurrent with building plans. Lighting plans shall conform to the Phoenix Zoning Ordinance and City Code, specifically section 23-100 of the City Code (also known as the "Dark Sky Ordinance"), and will incorporate systems designed to reduce lighting during low-usage periods wherever possible without negatively impacting public safety. Lighting plans will be designed in accordance with generally accepted

industry practices according to the most recent publications of the Illuminating Engineering Society of North America (IESNA). Illumination from freestanding lighting shall not exceed 1 foot candle at all property lines abutting residential uses.

Height standards for exterior freestanding light poles are as follows.

Lighting Standards	
<i>Lighting type</i>	<i>Height limit</i>
Parking area lighting	25 feet to bottom of fixture
Vehicular and pedestrian circulation lighting	25 feet to bottom of fixture
Sports field lighting	75 feet to bottom of fixture

H. DESIGN GUIDELINES

This PUD is unique in that it focuses on a university campus, and not a discrete set of buildings that will be constructed in a defined period of time. Also, as a wide and deep 100+ acre campus, individual buildings that may eventually be constructed in the center of campus are likely of less interest to the surrounding community than projects that are visible from adjacent properties and public roads. Therefore, the design guidelines found in this section focus instead on future perimeter site wall design, which is of interest to the neighboring community due to its visible nature.

GCU has established a “signature” wrought iron fence now generally used to demark the perimeter. This will continue to be the primary perimeter fence material and design. In addition:

- Mesh screens, ornamental metalwork, and arches may be employed at key locations to provide visual cues to circulation paths and entrances
- Lighting will be coordinated with wall design to further differentiate key locations and provide variation
- Future site walls on Camelback Road will address existing conditions, such as the monument signs at the 33rd Avenue entrance, in a way that responds to the context of the site

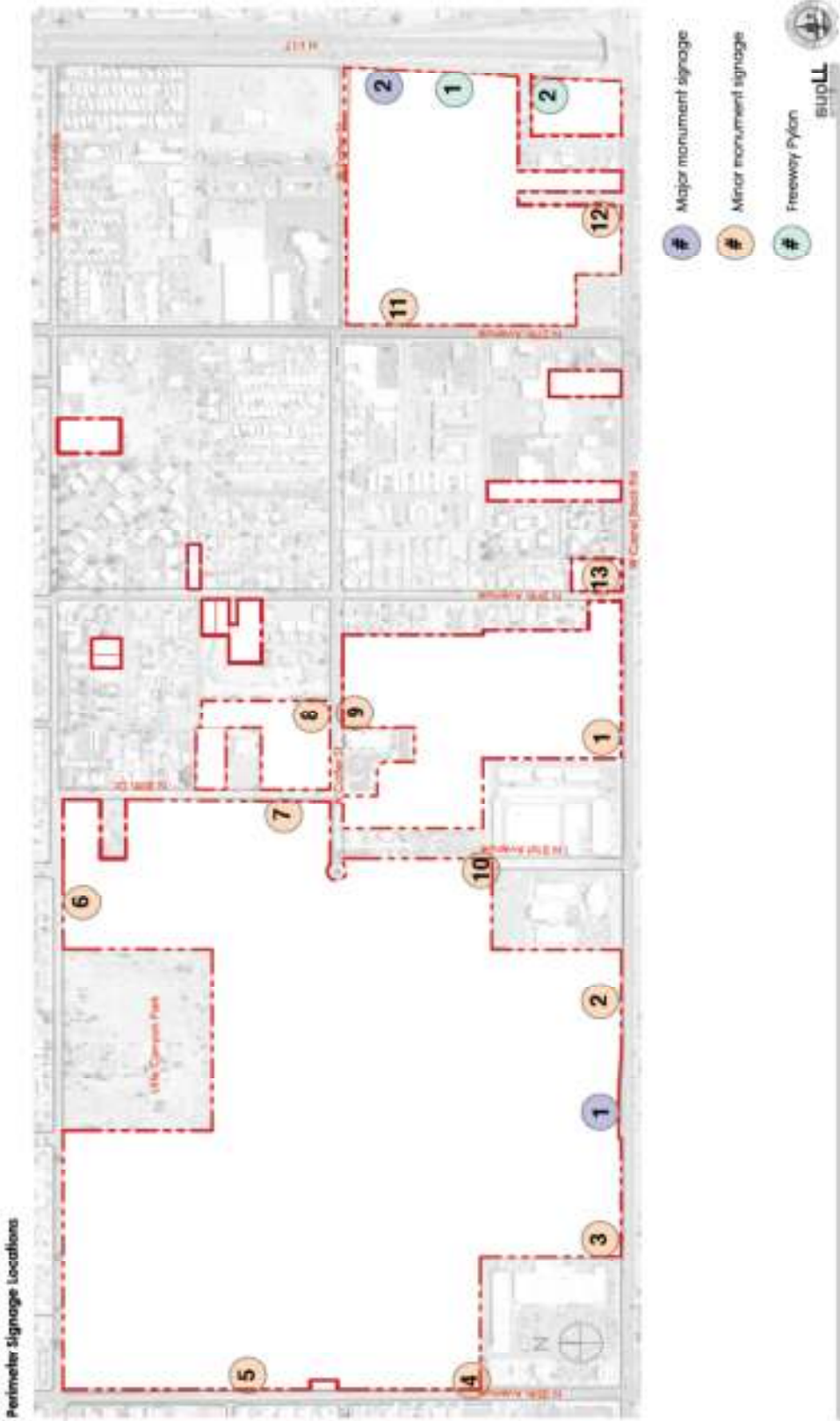
I. SIGNAGE

Signage on the GCU campus consists of three classes of signs: major monument signs, minor monument signs, and other sign types. Major and minor monument signs shall be provided along the perimeter of the campus, and are primarily intended to identify and advertise the campus. Information panels, university insignia and/or wayfinding elements may be incorporated into wall design.

Other sign types may be visible from locations outside the campus, but are primarily intended to identify buildings, programs, or significant locations within the campus (an exception would be aerial view signs which are visible from above). Other sign types range from building signs to information kiosks directing new students to classes. With the inclusion of freeway frontage a freeway pylon sign or signs will be added, and an entry monument will be added at Colter and the I-17 frontage road entrance to the campus.

A Major Monument Sign currently exists on Camelback Road at the 33rd Avenue entrance (location 1 on the Perimeter Signage Locations plan). This sign at location “1” has recently been upgraded to consist of opposing monuments on either side of the entrance that incorporate the GCU word mark, seal, and a digital display board. Variation in massing is achieved through the use of distinct planar elements that join to form the sign, and by varying the treatment of each sign in color and material (stucco and stone). A second Major Monument Sign will be located near the I-17 freeway and Colter Street intersection. Minor monument signage is or will be located as depicted on the Perimeter Signage Locations plan, and includes signs on Camelback, Road, 35th Avenue, 27th Avenue, and other locations.

1. Perimeter Signage Locations



Minor monument signs at the remaining locations are expected to be added or upgraded over time to include the GCU word mark, seal, location identification (i.e., “34th Avenue at Grand Canyon University”), or other way-finding elements.

The following standards shall apply to signage on the GCU campus. These standards are divided into three sections, major monument signage, minor monument signage, and other permitted sign types which may be found elsewhere on campus (i.e., on buildings, pedestrian malls, parking lots, or roofs). Major and minor monument signage is specific to perimeter locations identified in diagram I.1, while other permitted sign types are found throughout the campus interior, and may or may not be visible from adjacent parcels or public right of way. Minor signs will be designed to complement major signs, providing an image readily identifiable by the community.

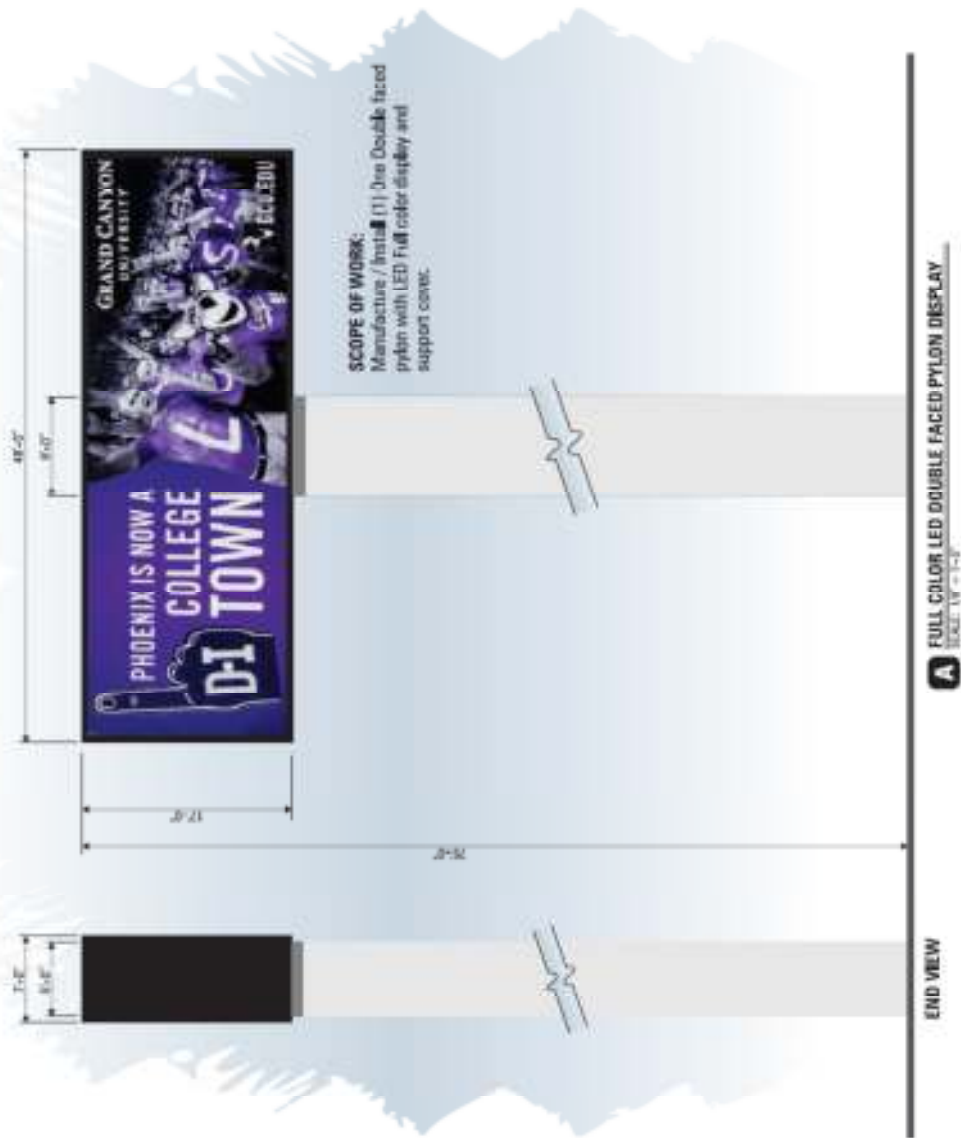
The proposed standards reflect the signs currently approved for GCU.

Signage Standards	
<i>Major Monument Signage</i>	
Height	<i>30 feet maximum</i>
Sign area (base or structure excluded)	<i>maximum 350 SF each, 2 per location</i>
Digital display area	<i>maximum 225 SF each, 2 per location</i>
Materials	<i>CMU, cementitious fiberboard, stucco or metal</i>
<i>Minor Monument Signage</i>	
Height	<i>18 feet maximum</i>
Sign area (base or structure excluded)	<i>Maximum 200 SF each, 2 per location</i>
Materials	<i>CMU, cementitious fiberboard, stucco or metal</i>
<i>Other permitted sign types</i>	
Facia-mounted Signs	
Freeway Pylon Sign	
Painted wall or 3D wall relief signs	
Pan channel lettering	
Electronic message center	
Sculptural Signs	
Translucent/mesh signs	
Projected light signs	
Architectural ledge or roof signs	
Aerial view signs	<i>*limited to 2,000 SF in area on the roof of the Event Center</i>

Arched entry signs up to a maximum of 18 feet in height may be allowed over major and minor entrances so long as they are attached and integrated into the perimeter site wall design and not freestanding or monolithic in nature. Arched entry signs shall be predominately open above a height of 14 feet. The Minimum vertical clearance for vehicular traffic shall be 14 feet.

Freeway pylon signs advertising GCU are permitted to a maximum height of 75 feet and an area of 17' x 48' and are subject to the spacing and location requirements of Section 705 of the Zoning Ordinance. Electronic displays are permitted.

YESCO YESCO LLC PHOENIX DIVISION 1500 W. CHANDLER BL. SUITE 100 PHOENIX, AZ 85027 PHONE: 602.955.1111 FAX: 602.955.1111		GRAND CANYON UNIVERSITY 5500 W. CAMPUS BLVD PHOENIX, AZ 85021 PHONE: 602.997.1111 FAX: 602.997.1111		PROJECT NO. DATE DRAWN BY CHECKED BY APPROVED BY DATE	SHEET NO. TOTAL SHEETS	PROJECT NO. 888901-04 SCALE 1/8" = 1'-0"
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Major monument signs shall be limited to two signs of 30 feet or less in height, with a maximum digital display area of 225 square feet per sign. Letters shall be 12 inches in height or less, and one university seal or crest of five feet in diameter shall be allowed per sign.

Perimeter ground signs. These include major monument signs, arched entry signs, and signs mounted to perimeter site walls or gates.

Signage mounted to perimeter walls or gates may consist of logos, crests, or university seals not more than five feet diameter, letters of not more than 36 inches in height, and shall be limited to 18 feet in height.

Shade Device/Apparent Bas-Relief Signs. Signs formed through the manipulation of shading devices so that the silhouette of letters or graphic images are read in apparent bas-relief from oblique angles shall be allowed. To be considered a shade device/apparent bas-relief sign, the apparent image must be visible only at oblique angles to the wall or façade (i.e. must not be identifiable when the viewer is facing the wall or façade directly or at a right angle), and the complete assembly must serve as a shading device that mitigates solar heat transfer to a building or pedestrian path. Such signs shall be limited to four square feet per linear foot of the building elevation to which they are attached. Area shall be computed as fifty percent (50%) of the sum of the surface area of all faces required to form the apparent letters or graphic images.

Aerial Signs. There shall be no more than one (1) unlit aerial sign on the roof of the event center and it shall not exceed 2,000 square feet. Such aerial sign shall not be visible from the perimeter of the development.

Fixed Pole Mounted Signs. These shall include permanent pole mounted way-finding signs in parking lots. The structures on which the signs are placed shall be limited to 27 feet in height. The signs themselves should be four feet with a maximum of 16 square feet.

Temporary Banner Signs. These shall include temporary or rotating banners affixed to poles. Pole mounted banners shall be allowed provided they are securely fastened, vented, and have a minimum clearance of eight feet above grade. The light standards shall be engineered to support any banner larger than four feet.

Freeway Pylon Signs. These signs shall be located adjacent to the freeway and advertise Grand Canyon University, its events, facilities, services, and activities. Such signs shall be as depicted below in area and height and include electronic display. No full motion video shall be permitted. However, copy change every 10 seconds with no hourly restriction shall be permitted.

J. SUSTAINABILITY

The redevelopment of urban infill locations offers a number of benefits from a sustainability perspective. Since 1951, the GCU campus has developed in a typical suburban pattern of widely spaced one- and two-story buildings. By choosing to accommodate student growth within its current campus, GCU is moving toward a more sustainable model of increased density. Constructing new buildings on previously developed land helps to preserve irreplaceable agricultural resources by protecting prime farmland and unspoiled desert habitat from sprawl. The efficiency of transportation and utility infrastructure is increased by reducing total system distances and using existing services. Infill locations provide excellent proximity to a variety of existing uses, which help to promote community connectivity and vibrant neighborhoods.

This PUD proposes that each new building 10,000 square feet or larger on the GCU campus meet five of the following seven standards in order to further address sustainability.

Sustainability Standards and Practices	
<i>Each project shall meet at least 5 of the following requirements</i>	
1	Ensure proper building orientation with 60% or more of an individual building’s unshaded façade area facing within 15 degrees of north/south
2	No more than 15% of unshaded glazing facing within 15 degrees of west
3	Provide bicycle stalls or lockers for at least 10% of residents and 2% of faculty/staff
4	Ensure that at least 20% of building materials (by weight) be manufactured within a 500 mile radius of the site
5	Ensure that at least 90% of low slope, unventilated roof area is covered with light colored or high-albedo materials with a Solar Reflectance Index (SRI) of at least 30
6	Ensure that a LEED-Accredited Professional is on the landscape architecture project team
7	Ensure that a LEED-Accredited Professional is on the mechanical engineering project team

K. INFRASTRUCTURE

1. Circulation Systems

Ingress and egress to the Campus will be provided via 4 major and 14 minor drives, as depicted on the Vehicular Circulation Plan. No improvements are proposed to the existing symbolic main entrance drive on 33rd Avenue.

The Street Classification Map designates Camelback Road from 27th Avenue to 35th Avenue as a class “D” arterial, with a 50-foot half street right-of-way. A traffic study is being prepared by completed by Strand Associates, Inc. and will be submitted under separate cover.

2. Vehicular Circulation Plan



Pedestrian Circulation

Currently, pedestrian circulation on campus is handled via a network of sidewalks, paths, and pedestrian malls. Small and intermediate sized parking lots are spread throughout campus, and students, faculty and staff who commute via automobile disperse from these lots to various buildings on campus. Those who commute via mass transit or alternative modes of transportation are able to enter the campus at 4 points along Camelback Road and the access road on 35th Avenue, and then traverse the campus via the same internal system. As redevelopment occurs, parking will be moved to the perimeter of campus and automobile commuters will exit their cars along the periphery of campus and walk to their internal destinations.

Little Canyon Trail

The Little Canyon Canal is an historic channel that predates the Salt River Project canal system seen elsewhere in the valley. The canal is a relatively narrow channel that transitions to an underground vault on either side of the university campus.

Several easements are currently in place along this perimeter, including utility easements and a multiuse trail easement. The alignment of the canal represents a segment in the Metropolitan Bike Path system (see the Maricopa Association of Governments “Bikeways” map), and a community amenity. The City of Phoenix recently approved a Public Art Project that aims to improve the canal between Missouri Avenue and Camelback Road, and capitalize on its capacity to serve as a walking and bike path for area neighbors.

Improvements created a heavily landscaped multiuse path on the western bank of the canal on university property. As such, the university has agreed to provide annual funds to maintain these improvements that include a meandering path of concrete and decorate concrete, groundcover and shrubs including white lantana, desmettiana and blue grama grasses, along with a tree canopy of pistache, palo verde and sissoo trees placed 30 feet on center to provide shade and screening. A landscaped terminus is provided at the Colter Street cul-de-sac as an amenity to the adjacent neighborhood.

These improvements provide a welcome amenity to the neighborhood, and also provide a superior screening element between the campus and multifamily properties to the east. The extent of these improvements varies along the canal alignment, but is generally between 30 and 40 feet deep. The practical effect on the immediately surrounding neighbors will be to provide a superior buffer between educational and residential uses that will help mitigate any possible negative effects on adjacent property owners.

As redevelopment occurs, parking will be moved to the perimeter of campus and automobile commuters will exit their cars along the periphery of campus and walk to their internal destinations.

Metropolitan Bike Map

Source:

Maricopa Association of Governments
“Bike Ways”



3. Grading and Drainage

The project is being designed for new construction to accommodate on-site storage for runoff from a 100-year, 2-hour storm event. The common retention areas will be limited to a maximum of three feet of water depth and graded with maximum side slopes of 4:1. Retention areas provided on individual parcels may be either by retention basins or underground storage. All retention facilities will be drained within 36-hours of a major storm event as required by the City of Phoenix Drainage Design Manual.

4. Water & Wastewater Services

Water Design

The site is currently served by a 12” waterline within Camelback Road and an 8” waterline within 35th Avenue. There is an internal network of public 8” and 6” lines to distribute water throughout the campus. Proposed buildings will be serviced from the internal distribution system, and be subject to the Phoenix Plumbing code. The water distribution system within this project, including fire protection, will be a private system, owned and maintained by the property owner. Improvements to the system will be reviewed and inspected by the Building Safety Section of the Development Services Department.

Wastewater Design

Wastewater services for this project will be provided by an existing 15” sewer line in the 35th Avenue right of way. Within the site, the campus is served by an internal network of 8” sewer lines. New buildings will connect to this internal network. All new sanitary sewer lines within the site shall be private plumbing lines subject to the Phoenix Plumbing Code or the Arizona Department of Environmental Quality (ADEQ) Aquifer Protection Program General Permit 4.01 in accordance with Arizona Administrative Code Title 18, Chapter 9, Section E301, whichever is applicable. Internal sewer main sizes and manhole spacing will be as required by the City of Phoenix Water Services Design Manual. The sanitary sewer collection system within this project will be a private system, owned and maintained by the property owner. The system will be reviewed and inspected by the Building Safety Section of the Development Services Department.

EXHIBITS

1. Legal Description
2. Context Aerial
3. Context Plan & Photos
4. General Plan Land Use Maps
5. Traffic Study Statement

**PUD LEGAL DESCRIPTION
PUD UPDATE**

PARCEL NO. 1 (35TH & CAMELBACK CAMPUS):

THAT PORTION OF THE SOUTHWEST QUARTER AND THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 2 NORTH, RANGE 2 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A CITY OF PHOENIX BRASS CAP IN HAND HOLE MARKING THE SOUTH QUARTER CORNER OF SAID SECTION 14, FROM WHICH A CITY OF PHOENIX BRASS CAP IN HAND HOLE MARKING THE SOUTHWEST CORNER OF SAID SECTION 14 BEARS NORTH 89°55'51" WEST, 2621.08 FEET; THENCE ALONG THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 14 NORTH 00°06'04" EAST, 638.66 FEET TO A ½" REBAR WITH CAP STAMPED "LS 48510" MARKING THE SOUTHEAST CORNER OF THAT PARCEL AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2010-0043322, RECORDS OF MARICOPA COUNTY, ARIZONA, AND **THE POINT OF BEGINNING**;

THENCE CONTINUING ALONG SAID EAST LINE NORTH 00°06'04" EAST, 688.55 FEET TO THE NORTHWEST CORNER OF LOT 1, BLOCK 3, PLAT OF "HOMELAND" AS RECORDED IN BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA, AND THE SOUTHEAST CORNER OF A PARCEL AS DESCRIBED IN DOCKET 8422, PAGE 181, RECORDS OF MARICOPA COUNTY, ARIZONA, SAID CORNER BEING MARKED BY A ½" REBAR WITH CAP STAMPED "LS 48510", AND ALSO BEING THE BEGINNING OF A NON-TANGENT 25.00 FOOT RADIUS CURVE CONCAVE TO THE SOUTH, SAID CURVE BEING TANGENT TO THE NORTH LINE OF SAID LOT 1, OF WHICH THE RADIUS POINT OF SAID CURVE BEARS SOUTH 00°01'44" WEST, 25.00 FEET;

THENCE ALONG SAID CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 38°12'17", AN ARC LENGTH OF 16.67 FEET TO A ½" REBAR WITH CAP STAMPED "LS 48510" AND THE POINT OF REVERSE CURVATURE OF A 45.00 FOOT RADIUS CURVE CONCAVE TO THE EAST;

THENCE ALONG SAID CURVE TO THE RIGHT, THROUGH A CENTRAL ANGLE OF 256°25'35", AN ARC LENGTH OF 201.40 FEET TO A ½" REBAR WITH CAP STAMPED "LS 48510" AND THE POINT OF REVERSE CURVATURE OF A 25.00 FOOT RADIUS CURVE CONCAVE TO THE NORTH;

THENCE ALONG SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 38°21'29", AN ARC LENGTH OF 16.74 FEET TO THE NORTHEAST CORNER OF SAID PARCEL AND THE SOUTHWEST CORNER OF LOT 1, PLAT OF "COLTER OFFICE COMPLEX" AS FILED IN BOOK 1117, PAGE 3, RECORDS OF MARICOPA COUNTY, ARIZONA, SAID CORNER BEING MARKED BY A ½" REBAR WITH CAP STAMPED "LS 48510";

THENCE SOUTH 89°59'35" EAST, 297.51 FEET ALONG THE SOUTH LINE OF SAID LOT 1 TO THE SOUTHEAST CORNER OF SAID LOT 1, SAID CORNER BEING MARKED BY A ½" REBAR WITH CAP STAMPED "LS 48510";

THENCE NORTH 00°10'43" EAST, 942.00 FEET ALONG THE EAST LINE OF SAID LOT 1 AND THE EAST LINES OF LOTS 4 AND 6, PLAT OF "HOMESITE TRACTS" AS FILED IN BOOK 18 OF MAPS, PAGE 48, RECORDS OF MARICOPA COUNTY, ARIZONA, TO THE NORTH LINE OF SAID LOT 6;

THENCE SOUTH 89°58'57" WEST, 298.79 FEET ALONG THE NORTH LINE OF SAID LOT 6 TO THE NORTHWEST CORNER OF SAID LOT 6, SAID CORNER LYING ON SAID EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 14;

THENCE NORTH 00°06'04" EAST, 133.95 FEET ALONG SAID EAST LINE TO THE SOUTH LINE OF THE NORTH 180 FEET OF LOT 8, SAID PLAT OF "HOMESITE TRACTS";

THENCE NORTH 89°58'09" EAST, 298.97 FEET ALONG SAID SOUTH LINE TO THE EAST LINE OF SAID LOT 8;

THENCE NORTH 00°10'43" EAST, 150.00 FEET ALONG SAID EAST LINE TO THE SOUTH LINE OF THE NORTH 30.00 FEET OF SAID LOT 8;

THENCE SOUTH 89°58'09" WEST, 259.17 FEET ALONG SAID SOUTH LINE TO THE EAST LINE OF THE WEST 40.00 FEET OF SAID LOT 8;

THENCE SOUTH 00°06'04" WEST, 10.00 FEET ALONG SAID EAST LINE TO THE SOUTH LINE OF THE NORTH 40.00 FEET OF THE SOUTHEAST QUARTER OF SAID SECTION 14;

THENCE SOUTH 89°58'09" WEST, 40.00 FEET ALONG SAID SOUTH LINE TO SAID EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 14;

THENCE SOUTH 89°58'09" WEST, 430.00 FEET ALONG THE SOUTH LINE OF THE NORTH 40.00 FEET OF SAID SOUTHWEST QUARTER OF SECTION 14 TO A POINT IN THE WEST LINE OF THE EAST 430.00 FEET OF SAID SOUTHWEST QUARTER OF SECTION 14, SAID POINT BEING MARKED BY A CHISELED 'X' IN CONCRETE;

THENCE SOUTH 00°06'04" WEST, 670.21 FEET ALONG SAID WEST LINE TO A POINT IN THE SOUTH LINE OF THAT PARCEL AS DESCRIBED IN THAT CERTAIN WARRANTY DEED FILED IN DOCKET 9110, PAGE 55, RECORDS OF MARICOPA COUNTY, ARIZONA, AND BEING MARKED WITH A 1/2" REBAR WITH CAP STAMPED "LS 48510";

THENCE NORTH 89°58'50" WEST, 886.23 FEET ALONG THE SOUTHERLY LINE OF SAID PARCEL TO THE SOUTHEAST CORNER OF THE PLAT OF "QUATROS (AMENDED)" AS FILED IN BOOK 148, PAGE 14, RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE NORTH 00°02'13" EAST, 679.43 FEET ALONG THE EAST LINE OF SAID PLAT TO THE SOUTH RIGHT OF WAY LINE OF MISSOURI AVENUE, BEING MARKED BY A 1/2" REBAR WITH CAP STAMPED "LS 12213";

THENCE SOUTH 89°58'09" WEST, 1263.06 FEET ALONG SAID RIGHT OF WAY LINE TO AN ANGLE POINT, BEING MARKED BY A 1/2" REBAR WITH CAP STAMPED "RLS 48510";

THENCE SOUTH 44°53'24" WEST, 19.77 FEET TO AN ANGLE POINT, BEING MARKED BY A 1/2" REBAR WITH CAP STAMPED "RLS 48510";

THENCE SOUTH 00°11'02" EAST, 1084.75 FEET ALONG THE EAST LINE OF THE WEST 40.00 FEET OF SAID SOUTHWEST QUARTER AND THE EASTERLY RIGHT OF WAY LINE OF 35TH AVENUE TO THE NORTHWEST CORNER OF THAT PARCEL AS DESCRIBED IN DOCUMENT NUMBER 2012-0023184, RECORDS OF MARICOPA COUNTY, ARIZONA, SAID CORNER BEING MARKED WITH A 1/2" REBAR WITH CAP STAMPED "RLS 48510";

THENCE NORTH 89°48'58" EAST, 80.00 FEET ALONG THE NORTH LINE OF SAID PARCEL TO THE NORTHEAST CORNER OF SAID PARCEL, SAID CORNER BEING MARKED WITH A 1/2" REBAR WITH CAP STAMPED "RLS 48510";

THENCE SOUTH 00°11'02" EAST, 170.00 FEET ALONG THE EAST LINE OF SAID PARCEL TO THE SOUTHEAST CORNER OF SAID PARCEL, SAID CORNER BEING MARKED WITH A 1/2" REBAR WITH CAP STAMPED "RLS 48510";

THENCE SOUTH 89°48'58" WEST, 80.00 FEET ALONG THE SOUTH LINE OF SAID PARCEL AND THE SOUTH LINES OF THOSE PARCELS AS DESCRIBED IN DOCKET 11058, PAGE 1231, RECORDS OF MARICOPA COUNTY, ARIZONA, AND BOOK 235, PAGE 383, RECORDS OF MARICOPA COUNTY, ARIZONA, TO A POINT IN SAID EASTERLY RIGHT OF WAY LINE OF 35TH AVENUE AND THE EASTERLY LINE OF SAID PARCEL NUMBER ONE DESCRIBED IN THAT CERTAIN QUIT CLAIM DEED FILED IN DOCKET 10860, PAGE 502, SAID POINT BEING MARKED BY A 1/2" REBAR WITH CAP STAMPED "RLS 48510";

THENCE SOUTH 00°11'02" EAST, 20.51 FEET ALONG SAID RIGHT OF WAY LINE AND THE EAST LINE OF SAID PARCEL NUMBER ONE TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 14 AND THE NORTHEAST CORNER OF THAT PARCEL DESCRIBED IN THAT CERTAIN QUIT CLAIM DEED FILED IN DOCKET 2865, PAGE 98, RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE CONTINUING SOUTH 00°11'02" EAST, 629.26 FEET ALONG THE EAST LINE OF SAID PARCEL AND ALONG SAID RIGHT OF WAY LINE TO A POINT ON THE NORTH LINE OF THE SOUTH 690 FEET OF THE SOUTHWEST QUARTER OF SAID SECTION 14, FROM WHICH SAID POINT A 1/2 INCH REBAR WITNESS CORNER WITH CAP STAMPED "LS 48510 W.C." BEARS SOUTH 89°55'51" EAST, 2.00 FEET;

THENCE SOUTH 89°55'51" EAST, 650.01 FEET ALONG SAID NORTH LINE AND THE NORTHERLY LINE OF THAT PARCEL DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2006-1202438, RECORDS OF MARICOPA COUNTY, ARIZONA, TO THE NORTHEAST CORNER OF SAID PARCEL AND THE NORTHEAST CORNER OF THE SOUTH 690 FEET OF THE WEST 690 FEET OF SAID SOUTHWEST QUARTER, SAID CORNER BEING MARKED BY A 1/2" REBAR;

THENCE SOUTH 00°11'02" EAST, 650.01 FEET ALONG THE EAST LINE OF THE WEST 690 FEET OF SAID SOUTHWEST QUARTER TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF CAMELBACK ROAD AND THE NORTHERLY LINE OF THAT PARCEL AS DESCRIBED IN SAID QUIT CLAIM DEED FILED IN DOCKET 2865, PAGE 98, SAID POINT BEING MARKED BY A 1/2" IRON PIPE;

THENCE SOUTH 89°55'51" EAST, 568.63 FEET ALONG SAID NORTHERLY LINE OF SAID PARCEL AND ALONG SAID NORTHERLY RIGHT OF WAY LINE TO THE SOUTHWEST CORNER OF PARCEL NUMBER TWO DESCRIBED IN SAID QUIT CLAIM DEED FILED IN DOCKET 10860, PAGE 502, SAID CORNER BEING MARKED BY A 1/2" REBAR WITH CAP STAMPED "RLS 48510";

THENCE NORTH 45°00'49" EAST, 16.95 FEET ALONG THE NORTH LINE OF SAID PARCEL NUMBER TWO AND SAID NORTHERLY RIGHT OF WAY LINE TO AN ANGLE POINT, SAID ANGLE POINT BEING MARKED BY A 1/2" REBAR WITH CAP STAMPED "RLS 48510";

THENCE SOUTH 89°55'51" EAST, 229.00 FEET ALONG SAID NORTH LINE OF SAID PARCEL NUMBER TWO AND SAID NORTHERLY RIGHT OF WAY LINE TO AN ANGLE POINT, BEING MARKED BY A 1/2" REBAR WITH CAP STAMPED "LS 35832";

THENCE SOUTH 86°07'03" EAST, 180.42 FEET ALONG SAID NORTH LINE OF SAID PARCEL NUMBER TWO AND SAID NORTHERLY RIGHT OF WAY LINE TO AN ANGLE POINT, BEING MARKED BY A 1/2" REBAR WITH CAP STAMPED "LS 35832";

THENCE SOUTH 89°55'51" EAST, 511.64 FEET ALONG SAID NORTH LINE OF SAID PARCEL NUMBER TWO AND SAID NORTHERLY RIGHT OF WAY LINE TO A POINT IN THE WEST LINE OF THE EAST 430.00 FEET OF THE SOUTHWEST QUARTER OF SAID SECTION 14, SAID POINT BEING MARKED BY A PK NAIL WITH TAG STAMPED "LS 48510";

THENCE NORTH 00°06'04" EAST, 598.80 FEET ALONG SAID WEST LINE AND ALONG THE WESTERLY LINE OF THAT PARCEL DESCRIBED IN THAT CERTAIN WARRANTY DEED FILED IN DOCKET 7870, PAGE 557, RECORDS OF MARICOPA COUNTY, ARIZONA, TO THE SOUTHWEST CORNER OF SAID PARCEL DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2010-0043322, SAID CORNER BEING MARKED BY A 1/2" REBAR WITH CAP STAMPED "RLS 48510";

THENCE ALONG THE SOUTH LINE OF SAID PARCEL SOUTH 89°54'46" EAST, 430.00 FEET TO THE **POINT OF BEGINNING**.

CONTAINS 5,666,480 SQUARE FEET OR 130.084 ACRES, MORE OR LESS.

PARCEL NO. 2 (COLTER STREET PROPERTY):

THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 2 NORTH, RANGE 2 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A CITY OF PHOENIX BRASS CAP IN HAND HOLE MARKING THE SOUTH QUARTER CORNER OF SAID SECTION 14, FROM WHICH A CITY OF PHOENIX BRASS CAP IN HAND HOLE MARKING THE SOUTHEAST CORNER OF SAID SECTION 14 BEARS SOUTH 89°56'34" EAST, 2621.76 FEET; THENCE ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER SOUTH 89°56'34" EAST, 491.59 FEET; THENCE NORTH 00°03'26" EAST, 40.00 FEET TO THE INTERSECTION OF THE NORTH LINE OF THE SOUTH 40.00 FEET OF SAID SOUTHEAST QUARTER, SAID NORTH LINE ALSO BEING THE NORTHERLY RIGHT OF WAY LINE OF CAMELBACK ROAD, AND THE WEST LINE OF LOT 12, BLOCK 3, PLAT OF "HOMELAND", AS FILED IN BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA, SAID INTERSECTION BEING MARKED BY A 1/2" REBAR WITH CAP STAMPED "RLS 48510" AND BEING **THE POINT OF BEGINNING**;

THENCE NORTH 00°08'54" EAST, 621.32 FEET ALONG THE WEST LINE OF SAID LOT 12 TO THE NORTHWEST CORNER OF SAID LOT 12, SAID CORNER BEING MARKED BY A 1/2" REBAR WITH CAP STAMPED "RLS 48510";

THENCE NORTH 89°58'04" WEST, 328.06 FEET ALONG THE SOUTH LINE OF LOTS 3 AND 2, BLOCK 3, SAID PLAT OF "HOMELAND" TO THE SOUTHWEST CORNER OF SAID LOT 2, SAID CORNER BEING MARKED BY MAG NAIL WITH WASHER STAMPED "LS 48510";

THENCE NORTH 00°06'59" EAST, 666.17 FEET ALONG THE WEST LINE OF SAID LOT 2 TO THE NORTHWEST CORNER OF SAID LOT 2, FROM WHICH SAID CORNER A MAG NAIL WITNESS CORNER WITH WASHER STAMPED "LS 48510 WC 11FT" BEARS NORTH 00°06'59" EAST, 11.00 FEET;

THENCE SOUTH 89°59'35" EAST, 189.21 FEET ALONG THE NORTH LINE OF SAID LOT 2 AND THE NORTH LINE OF LOT 2, PLAT OF "COLTER COMMONS", AS FILED IN BOOK 1089, PAGE 30, RECORDS OF MARICOPA COUNTY, ARIZONA, TO THE NORTHEAST CORNER OF SAID LOT 2 OF "COLTER COMMONS", SAID CORNER BEING MARKED BY A 1/2" REBAR WITH RED CAP STAMPED "RLS 31020 GOETZ";

THENCE SOUTH 00°07'56" WEST, 157.57 FEET ALONG THE PROPERTY LINE COMMON TO SAID LOT 2 AND LOT 1, SAID PLAT OF "COLTER COMMONS", TO AN ANGLE POINT, SAID ANGLE POINT BEING MARKED BY A PK NAIL WITH WASHER STAMPED "RLS 31020 GOETZ";

THENCE NORTH 89°57'53" EAST, 111.47 FEET ALONG SAID PROPERTY LINE TO AN ANGLE POINT, SAID ANGLE POINT BEING MARKED BY A 1/2" REBAR WITH RED CAP STAMPED "RLS 31020 GOETZ";

THENCE SOUTH 40°41'03" EAST, 40.71 FEET ALONG SAID PROPERTY LINE TO AN ANGLE POINT, SAID ANGLE POINT BEING MARKED BY A PK NAIL WITH WASHER STAMPED "RLS 31020 GOETZ";

THENCE SOUTH 00°01'08" EAST, 142.12 FEET ALONG SAID PROPERTY LINE TO AN ANGLE POINT, SAID ANGLE POINT BEING MARKED BY A PK NAIL WITH WASHER STAMPED "RLS 31020 GOETZ";

THENCE NORTH 89°58'06" EAST, 164.78 FEET ALONG SAID PROPERTY LINE TO THE SOUTHEAST CORNER OF SAID LOT 1, SAID CORNER BEING MARKED BY A 1/2" REBAR WITH RED CAP STAMPED "RLS 31020 GOETZ";

THENCE NORTH 00°09'50" EAST, 330.37 FEET ALONG THE EAST LINE OF SAID LOT 1 TO THE NORTHEAST CORNER OF SAID LOT 1, SAID CORNER BEING MARKED BY A 1/2" REBAR WITH RED CAP STAMPED "RLS 31020 GOETZ";

THENCE SOUTH 89°59'35" EAST, 458.42 FEET ALONG THE NORTH LINE OF LOT 5, 6, AND 7, BLOCK 3, SAID PLAT OF "HOMELAND" TO THE EAST LINE OF THE WEST 130 FEET OF SAID LOT 7;

THENCE SOUTH 00°11'43" WEST, 666.59 FEET ALONG THE EAST LINE OF THE WEST 130 FEET OF SAID LOT 7 AND LOT 8, BLOCK 3, SAID PLAT OF "HOMELAND" TO THE NORTH LINE OF LOT 15, BLOCK 3, SAID PLAT OF "HOMELAND";

THENCE SOUTH 89°58'04" EAST, 34.03 FEET ALONG SAID NORTH LINE TO THE NORTHEAST CORNER OF SAID LOT 15;

THENCE SOUTH 00°12'44" WEST, 488.00 FEET ALONG THE EAST LINE OF SAID LOT 15 TO A POINT ON THE SOUTH LINE OF THE NORTH 488 FEET OF LOT 16 OF SAID PLAT OF "HOMELAND";

THENCE SOUTH 89°58'04" EAST, 133.91 FEET TO THE EAST LINE OF SAID LOT 16 AND THE WEST RIGHT OF WAY LINE OF 29TH AVENUE;

THENCE SOUTH 00°13'37" WEST, 123.67 FEET TO THE NORTH LINE OF THAT PARCEL AS DESCRIBED IN DOCKET 9174, PAGE 788, RECORDS OF MARICOPA COUNTY, ARIZONA, SAID NORTH LINE ALSO BEING THE NORTH RIGHT OF WAY LINE OF CAMELBACK ROAD;

THENCE NORTH 89°56'34" WEST, 60.00 FEET ALONG SAID NORTH LINE AND SAID RIGHT OF WAY LINE TO A POINT ON THE WEST LINE OF THE EAST 60.00 FEET OF SAID LOT 16;

THENCE SOUTH 00°13'37" WEST, 10.00 FEET ALONG SAID WEST LINE TO THE NORTH LINE OF THE SOUTH 40.00 FEET OF SAID SOUTHEAST QUARTER, SAID NORTH LINE ALSO BEING THE NORTHERLY RIGHT OF WAY LINE OF CAMELBACK ROAD;

THENCE NORTH 89°56'34" WEST, 729.29 FEET ALONG SAID RIGHT OF WAY LINE TO THE POINT OF BEGINNING.

CONTAINS 981,545 SQUARE FEET OR 22.533 ACRES, MORE OR LESS.

PARCEL NO. 3 (27TH AVENUE PROPERTY):

THAT PORTION OF THE SOUTHWEST QUARTER OF SECTION 13, TOWNSHIP 2 NORTH, RANGE 2 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A CITY OF PHOENIX BRASS CAP IN HAND HOLE MARKING THE SOUTHWEST CORNER OF SAID SECTION 13, FROM WHICH A BRASS CAP IN HAND HOLE MARKING THE SOUTH QUARTER CORNER OF SAID SECTION 13 BEARS NORTH 89°28'56" EAST, 2604.62 FEET; THENCE NORTH 89°28'56" EAST, 325.01 FEET TO THE EAST LINE OF THE WEST 324.97 FEET OF SAID SOUTHWEST QUARTER; THENCE NORTH 00°20'47" EAST, 42.00 FEET ALONG SAID EAST LINE TO THE INTERSECTION WITH THE NORTH LINE OF THE SOUTH 42 FEET OF SAID SOUTHWEST QUARTER, SAID NORTH LINE BEING THE NORTH RIGHT OF WAY LINE OF CAMELBACK ROAD AND THE **POINT OF BEGINNING**;

THENCE CONTINUING NORTH 00°20'47" EAST, 224.66 FEET TO THE NORTH LINE OF THE SOUTH 266.64 FEET OF SAID SOUTHWEST QUARTER;

THENCE SOUTH 89°28'56" WEST, 285.00 FEET ALONG SAID NORTH LINE TO THE EAST LINE OF THE WEST 40 FEET OF SAID SOUTHWEST QUARTER, SAID EAST LINE BEING THE EAST RIGHT OF WAY LINE OF 27TH AVENUE;

THENCE NORTH 00°20'47" EAST, 507.48 FEET ALONG SAID EAST RIGHT OF WAY LINE TO THE NORTHWEST CORNER OF PARCEL NO. 4, AS DESCRIBED IN THAT CERTAIN DEED RECORDED UNDER DOCUMENT NUMBER 1997-0068316, RECORDS OF MARICOPA COUNTY, ARIZONA, SAID CORNER ALSO BEING COINCIDENT WITH THE SOUTH LINE OF PARCEL 'A' AS DESCRIBED IN THAT CERTAIN QUIT CLAIM DEED RECORDED UNDER DOCUMENT NUMBER 2013-0272283, RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE SOUTH 89°31'06" WEST, 40.00 FEET ALONG THE SOUTH LINE OF SAID PARCEL 'A' TO THE SOUTHWEST CORNER OF SAID PARCEL 'A', SAID CORNER BEING COINCIDENT WITH THE WEST LINE OF SAID SECTION 13;

THENCE NORTH 00°20'47" EAST, 520.05 FEET ALONG SAID WEST LINE TO THE NORTHWEST CORNER OF SAID PARCEL 'A';

THENCE NORTH 89°31'06" EAST, 40.00 FEET ALONG THE NORTH LINE OF SAID PARCEL 'A' TO AN ANGLE POINT IN THE NORTH LINE OF SAID PARCEL 'A', ALSO BEING THE NORTHWEST CORNER OF A TRIANGLE PARCEL AS DESCRIBED IN THAT CERTAIN WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 1987-510237, RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE SOUTH 00°20'47" WEST, 5.00 FEET ALONG THE PROPERTY LINE OF SAID PARCEL 'A' TO THE SOUTHWEST CORNER OF SAID TRIANGLE PARCEL, SAID CORNER BEING MARKED BY A 1/2" REBAR WITH CAP STAMPED "SPRINGER LS 34399";

THENCE NORTH 44°55'57" EAST, 7.12 FEET ALONG SAID PROPERTY LINE AND THE SOUTHEASTERLY LINE OF SAID TRIANGLE PARCEL TO THE NORTHEAST CORNER OF SAID TRIANGLE PARCEL, SAID CORNER BEING MARKED BY A 1/2" REBAR WITH CAP STAMPED "STUSSY RLS 37259";

THENCE NORTH 89°31'06" EAST, 1259.63 FEET ALONG THE NORTH LINES OF SAID PARCEL 'A' AND PARCEL 'B' AS DESCRIBED IN THAT CERTAIN QUIT CLAIM DEED RECORDED UNDER DOCUMENT NUMBER 2013-0272284, RECORDS OF MARICOPA COUNTY, ARIZONA, SAID NORTH LINES ALSO BEING THE SOUTH RIGHT OF WAY LINE OF COLTER STREET, TO THE NORTHEAST CORNER OF SAID PARCEL 'B', SAID CORNER BEING MARKED BY A 1/2" REBAR WITH YELLOW PLASTIC CAP STAMPED "RLS 48510", AND SAID CORNER BEING COINCIDENT

WITH THE WEST RIGHT OF WAY LINE OF BLACK CANYON HIGHWAY (I-17) AND THE WESTERLY LINE OF A PARCEL AS DESCRIBED IN THAT CERTAIN WARRANTY DEED RECORDED UNDER DOCKET 273, PAGE 112, RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE SOUTH 00°26'59" WEST, 292.07 FEET ALONG SAID WESTERLY RIGHT OF WAY LINE TO AN ANGLE POINT IN SAID RIGHT OF WAY LINE, SAID ANGLE POINT BEING MARKED BY A MAG NAIL WITH BRASS WASHER STAMPED "LS 48510";

THENCE SOUTH 06°08'29" WEST, 933.80 FEET ALONG SAID RIGHT OF WAY LINE TO THE NORTHERLY CORNER OF THAT CERTAIN PARCEL AS DESCRIBED IN DOCUMENT NUMBER 1999-0161426, RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE SOUTH 34°40'18" WEST, 21.51 FEET ALONG THE NORTHWESTERLY LINE OF SAID PARCEL TO THE BEGINNING OF A NON-TANGENT CURVE, CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 40.31 FEET, FROM WHICH BEGINNING THE RADIUS POINT BEARS NORTH 39°35'21" WEST;

THENCE WESTERLY 26.46 FEET ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 37°36'35" TO THE WEST CORNER OF SAID PARCEL AND THE NORTH LINE OF THAT PARCEL AS DESCRIBED IN DOCKET 14630, PAGE 58, RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE SOUTH 88°01'14" WEST, 122.75 FEET ALONG THE NORTH LINE OF SAID PARCEL TO THE WEST LINE OF THAT PARCEL AS DESCRIBED IN DOCKET 4834, PAGE 206, RECORDS OF MARICOPA COUNTY, ARIZONA;

THENCE SOUTH 06°08'29" WEST, 2.02 FEET ALONG SAID LINE TO THE SOUTHWEST CORNER OF SAID PARCEL;

THENCE SOUTH 89°28'56" WEST, 725.57 FEET ALONG THE NORTH LINE OF THE SOUTH 42.00 FEET OF SAID SOUTHWEST QUARTER AND THE NORTH RIGHT OF WAY LINE OF CAMELBACK ROAD TO THE **POINT OF BEGINNING**.

CONTAINS 1,491,433 SQUARE FEET OR 34.239 ACRES, MORE OR LESS.

PARCEL NO. 4 (EAST OF 30TH DRIVE):

UNITS 1 THROUGH 71, INCLUSIVE, COLTER MEADOWS CONDOMINIUMS, ACCORDING TO DECLARATION OF HORIZONTAL PROPERTY REGIME RECORDED MARCH 26, 1985 IN DOCUMENT NO. 85-130175, AND RERECORDED APRIL 29, 1985 IN DOCUMENT NO. 85-190910, AND PLAT RECORDED IN BOOK 280 OF MAPS, PAGE 38, RECORDS OF MARICOPA COUNTY, ARIZONA;

TOGETHER WITH EACH UNITS UNDIVIDED INTEREST IN AND TO THE COMMON AREAS, AS SET FORTH IN SAID DECLARATION AND DESIGNATED ON SAID PLAT; AND

TOGETHER WITH THAT PORTION OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 2 NORTH, RANGE 2 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A CITY OF PHOENIX BRASS CAP IN HAND HOLE MARKING THE SOUTH QUARTER CORNER OF SAID SECTION 14, FROM WHICH A CITY OF PHOENIX BRASS CAP FLUSH MARKING THE CENTER SECTION CORNER OF SAID SECTION 14 BEARS NORTH 00°06'04" EAST, 2643.03 FEET;

THENCE NORTH 00°06'04" EAST, 1357.21 FEET ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION TO THE ROADWAY CENTERLINE OF COLTER STREET;

THENCE SOUTH 89°59'35" EAST, 327.47 FEET ALONG SAID CENTERLINE TO A CITY OF PHOENIX BRASS CAP FLUSH MARKING THE ROADWAY CENTERLINE INTERSECTION OF SAID COLTER STREET AND NORTH 30TH DRIVE;

THENCE NORTH 00°10'43" EAST, 658.10 FEET ALONG THE ROADWAY CENTERLINE OF SAID NORTH 30TH DRIVE;

THENCE LEAVING SAID ROADWAY CENTERLINE SOUTH 89°49'17" EAST, 30.00 FEET TO THE NORTHWEST CORNER OF LOT 3, PLAT OF "HOMESITE TRACTS", AS FILED IN BOOK 18 OF MAPS, PAGE 48, RECORDS OF MARICOPA COUNTY, ARIZONA, AND THE **POINT OF BEGINNING**;

THENCE NORTH 89°59'01" EAST, 298.97 FEET ALONG THE NORTH LINE OF SAID LOT 3 TO THE NORTHEAST CORNER OF SAID LOT 3;

THENCE SOUTH 00°08'02" WEST, 186.09 FEET ALONG THE EAST LINE OF SAID LOT 3 TO A 1/2" REBAR WITH CAP STAMPED "RLS 48510";

THENCE NORTH 89°36'42" WEST, 299.12 FEET TO A 1/2" REBAR WITH CAP STAMPED "RLS 48510" MARKING A POINT ON THE WEST LINE OF SAID LOT 3;

THENCE NORTH 00°10'43" EAST, 183.98 FEET TO THE **POINT OF BEGINNING**.

CONTAINING 243,245 SQUARE FEET, OR 5.584 ACRES, MORE OR LESS.

PARCEL NO. 5 (EAST OF 29TH AVENUE):

THE SOUTH 260 FEET OF LOT 9, BLOCK 4, HOMELAND, ACCORDING TO BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA;

EXCEPT THE FOLLOWING DESCRIBED PROPERTY:

THE SOUTH 7 FEET OF LOT 9, BLOCK 4, HOMELAND, ACCORDING TO BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA, TOGETHER WITH A PARCEL OF LAND BOUNDED ON THE WEST BY THE WEST LINE OF SAID LOT 9, ON THE SOUTH BY THE NORTH LINE OF THE SOUTH 7 FEET OF SAID LOT 9, AND ON THE NORTHEAST BY THE ARC OF A CIRCULAR CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 12 FEET, AND BEING TANGENT TO SAID WEST LINE AND SAID NORTH LINE.

CONTAINING 33,852 SQUARE FEET, OR 0.777 ACRES, MORE OR LESS.

PARCEL NO. 6 (5337 NORTH 30TH DRIVE-APN #153-18-025F):

ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN QUIT CLAIM DEED RECORDED UNDER DOCUMENT NUMBER 2012-1141503, RECORDS OF MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

A PORTION OF THE WEST HALF OF THE NORTH HALF OF LOT 7, HOMESITE TRACT, ACCORDING TO BOOK 18 OF MAPS, PAGE 48, RECORDS OF MARICOPA COUNTY, ARIZONA DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT, SAID POINT BEING THE SOUTHWEST CORNER OF THE NORTH HALF OF LOT 7;

THENCE NORTH 00°03'45" EAST, ALONG THE WEST LINE OF SAID LOT 7, A DISTANCE OF 72.00 FEET;

THENCE NORTH 89°53'05" EAST, A DISTANCE OF 95.39 FEET;

THENCE SOUTH 00°08'36" EAST, A DISTANCE OF 10.82 FEET;

THENCE NORTH 89°53'05" EAST, A DISTANCE OF 23.00 FEET;

THENCE SOUTH 00°08'36" EAST, A DISTANCE OF 61.08 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH HALF OF SAID LOT;

THENCE SOUTH 89°50'20" WEST ALONG THE SOUTH LINE OF THE NORTH HALF OF SAID LOT 7, A DISTANCE OF 118.65 FEET TO THE **POINT OF BEGINNING**.

CONTAINING 8,281 SQUARE FEET, OR 0.190 ACRES, MORE OR LESS.

PARCEL NO. 7 (2733 WEST MISSOURI AVE-APN #153-19-125):

PARCEL A:

THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2014-0481538, RECORDS OF MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE WEST 113.10 FEET OF LOT 16, OF BLOCK 2, OF HOMELAND, ACCORDING TO BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA;

EXCEPT THE NORTH 20 FEET THEREOF.

PARCEL B:

THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2014-0481538, RECORDS OF MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE WEST 218.45 FEET OF LOT 16, BLOCK 2, OF HOMELAND, ACCORDING TO BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA;

EXCEPT THE WEST 113.10 FEET; AND

EXCEPT THE NORTH 20 FEET.

PARCEL C:

THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2014-0481538, RECORDS OF MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE WEST 201.10 FEET OF LOT 15, BLOCK 2, OF HOMELAND, ACCORDING TO BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA;

PARCEL NO. 7 CONTAINING 63,147 SQUARE FEET, OR 1.450 ACRES, MORE OR LESS.

PARCEL NO. 8 (5301 NORTH 29TH AVE-APN #153-18-004C):

ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2005-1945378, RECORDS OF MARICOPA COUNTY, ARIZONA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE WEST HALF OF LOT 4, BLOCK 2, HOMELAND, ACCORDING TO BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA;

EXCEPT THE NORTH 80 FEET THEREOF;

EXCEPT THE EAST 100 FEET THEREOF.

CONTAINING 18,205 SQUARE FEET, OR 0.418 ACRES, MORE OR LESS.

PARCEL NO. 9 (2810 WEST CAMELBACK ROAD-APN #'S 153-28-031D, 153-28-031J, 153-28-031H, 153-28-029A):

THE WEST HALF OF LOT 12, BLOCK 4, HOMELAND, ACCORDING TO BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA.

EXCEPT THE SOUTH 7 FEET THEREOF; AND

EXCEPT THE NORTH 25 FEET THEREOF; AND

EXCEPT THE SOUTH 22 FEET OF THE WEST 10 FEET OF LOT 12, BLOCK 4, HOMELAND, ACCORDING TO BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA.

TOGETHER WITH THAT PART OF ABANDONED PUBLIC ALLEY RIGHT OF WAY AS ABANDONED BY RESOLUTION NO. 16934 RECORDED DECEMBER 3, 1986 IN INSTRUMENT NO. 86-667936, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

THE EAST 10 FEET OF LOT 11, BLOCK 4, HOMELAND, ACCORDING TO BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA.

EXCEPT THE NORTH 25 FEET THEREOF; AND

EXCEPT THE SOUTH 22 FEET THEREOF.

CONTAINING 54,698 SQUARE FEET, OR 1.256 ACRES, MORE OR LESS.

PARCEL NO. 10 (5228 & 5232 N 29TH AVE-APN #'S 153-18-011F, 153-18-011G & 153-18-011H):

ALL THAT PORTION AS DESCRIBED IN THOSE CERTAIN WARRANTY DEEDS RECORDED UNDER DOCUMENT NUMBERS 2009-0318019, 2014-0430190, AND 2014-0430302, RECORDS OF MARICOPA COUNTY, ARIZONA, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THAT PORTION OF LOT 11, BLOCK 1, OF HOMELAND, ACCORDING TO THE PLAT OF RECORD WITH THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 15 OF MAPS, PAGE 18;

EXCEPT THE SOUTH 60 FEET OF THE NORTH 190 FEET OF THE EAST 100 FEET OF SAID LOT 11; AND

EXCEPT THE WEST 134 FEET OF THE NORTH 130 FEET OF SAID LOT 11; AND

EXCEPT THE NORTH 25 FEET OF SAID LOT 11.

CONTAINING 61,571 SQUARE FEET, OR 1.413 ACRES, MORE OR LESS.

PARCEL NO. 11 (2720 WEST CAMELBACK ROAD-APN # 153-28-037B):

ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 1999-0007199, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

THE SOUTH HALF OF LOTS 15 AND 16, BLOCK 4, OF HOMELAND, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF MARICOPA COUNTY, ARIZONA, RECORDED IN BOOK 15 OF MAPS, PAGE 18.

EXCEPT THE SOUTH 9 FEET THEREOF; AND

EXCEPT THE EAST 167 FEET THEREOF.

CONTAINING 39,056 SQUARE FEET, OR 0.897 ACRES, MORE OR LESS.

PARCEL NO. 12 (2910 & 2914 WEST VERMONT AVENUE-APN #'S 153-18-007T & 007S):

ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN QUIT CLAIM DEED RECORDED UNDER DOCUMENT NUMBER 2009-1004758, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

THE EAST HALF OF THE WEST HALF OF THE EAST 323 FEET OF LOT 6, BLOCK 1, HOMELAND, ACCORDING TO BOOK 15 OF MAPS, PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA.

EXCEPT ANY PORTION LYING WITHIN THE FOLLOWING DESCRIBED PARCEL;

BEGINNING AT THE SOUTHWEST CORNER OF LOT 6; THENCE NORTH ALONG THE WEST LINE OF LOT 6, TO THE INTERSECTION WITH THE PERIMETER OF A CIRCULAR CURVE TO THE RIGHT CONCAVE SOUTHERLY, HAVING A CENTRAL ANGLE OF 40°07'59" AND A RADIUS OF 45 FEET; THENCE SOUTHEASTERLY ALONG THE PERIMETER OF SAID CIRCULAR CURVE, A DISTANCE OF 31.5 FEET TO A POINT OF REVERSE CURVATURE; THENCE EASTERLY ALONG THE PERIMETER OF A CIRCULAR CURVE TO THE LEFT, HAVING A RADIUS OF 40 FEET AND A CENTRAL ANGLE OF 40°07'59" A DISTANCE OF 28.02 FEET TO A POINT OF TANGENCY WITH THE NORTH LINE OF THE SOUTH LINE OF LOT 6; THENCE EAST, PARALLEL WITH AND 25 FEET NORTH OF THE SOUTH LINE OF LOT 6, TO A POINT WHICH IS 25 FEET NORTH AND 10 FEET WEST OF THE SOUTHEAST CORNER THEREOF; THENCE NORTHEASTERLY TO A POINT ON THE EAST LINE OF LOT 6, A DISTANCE OF 35 FEET NORTH OF THE SOUTHEAST CORNER THEREOF; THENCE SOUTH ALONG THE EAST LINE OF LOT 6, A DISTANCE OF 35 FEET TO THE SOUTHEAST CORNER THEREOF; THENCE WEST ALONG THE SOUTH LINE OF LOT 6 AND THE **POINT OF BEGINNING;** AND

EXCEPT THE NORTH 8.00 FEET THEREOF.

TOGETHER WITH ALL THAT PORTION AS DESCRIBED IN THAT CERTAIN WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2013-0965290, RECORDS OF MARICOPA COUNTY, ARIZONA, DESCRIBED AS FOLLOWS:

THE WEST HALF OF THE WEST HALF OF THE EAST 323 FEET OF LOT 6, BLOCK 1, HOMELAND, ACCORDING TO BOOK 15 OF MAPS PAGE 18, RECORDS OF MARICOPA COUNTY, ARIZONA.

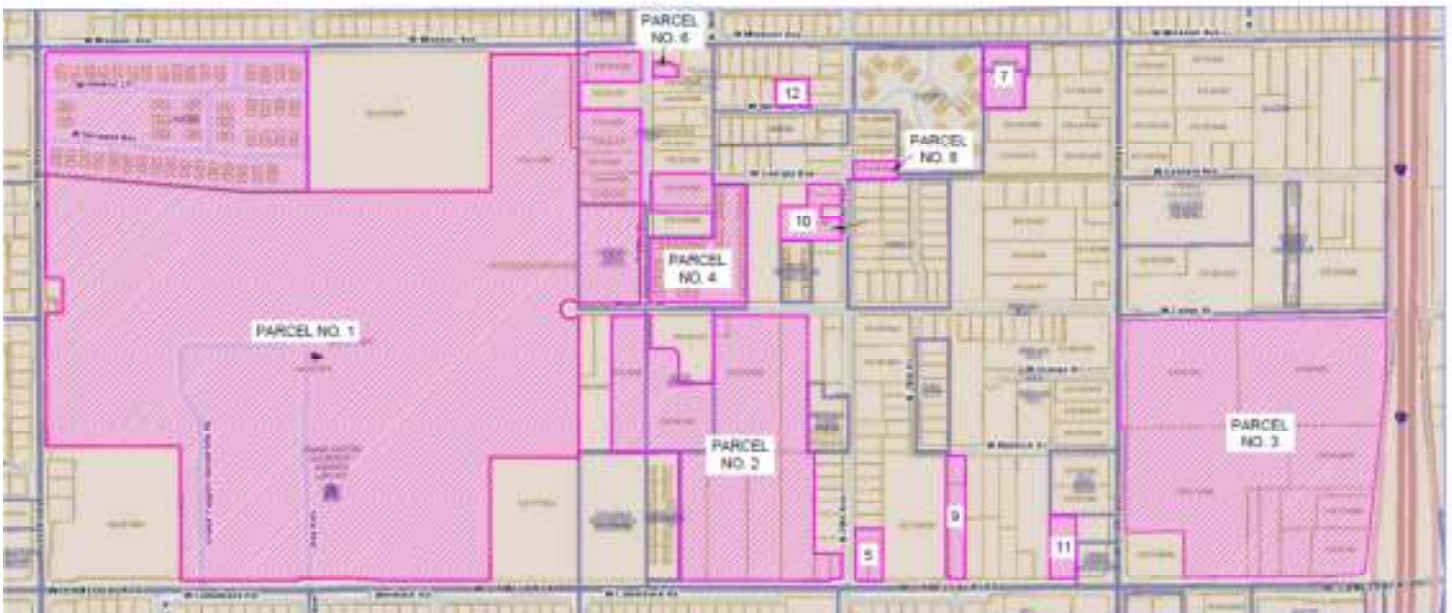
EXCEPT ANY PORTION LYING WITHIN THE FOLLOWING DESCRIBED PARCEL;

BEGINNING AT THE SOUTHWEST CORNER OF LOT 6; THENCE NORTH ALONG THE WEST LINE OF LOT 6, TO THE INTERSECTION WITH THE PERIMETER OF A CIRCULAR CURVE TO THE RIGHT CONCAVE SOUTHERLY, HAVING A CENTRAL ANGLE OF 40°07'59" AND A RADIUS OF 45 FEET; THENCE SOUTHEASTERLY ALONG THE PERIMETER OF SAID CIRCULAR CURVE, A DISTANCE OF 31.5 FEET TO A POINT OF REVERSE CURVATURE; THENCE EASTERLY ALONG THE PERIMETER OF A CIRCULAR CURVE TO THE LEFT, HAVING A RADIUS OF 40 FEET AND A CENTRAL ANGLE OF 40°07'59" A DISTANCE OF 28.02 FEET TO A POINT OF TANGENCY WITH THE NORTH LINE OF THE SOUTH LINE OF LOT 6; THENCE EAST, PARALLEL WITH AND 25 FEET NORTH OF THE SOUTH LINE OF LOT 6, TO A POINT WHICH IS 25 FEET NORTH AND 10 FEET WEST OF THE SOUTHEAST CORNER THEREOF; THENCE NORTHEASTERLY TO A POINT ON THE EAST LINE OF LOT 6, A DISTANCE OF 35 FEET NORTH OF THE SOUTHEAST CORNER THEREOF; THENCE SOUTH ALONG THE EAST LINE OF LOT 6, A DISTANCE OF 35 FEET TO THE SOUTHEAST CORNER THEREOF; THENCE WEST ALONG THE SOUTH LINE OF LOT 6 AND THE **POINT OF BEGINNING**;
AND

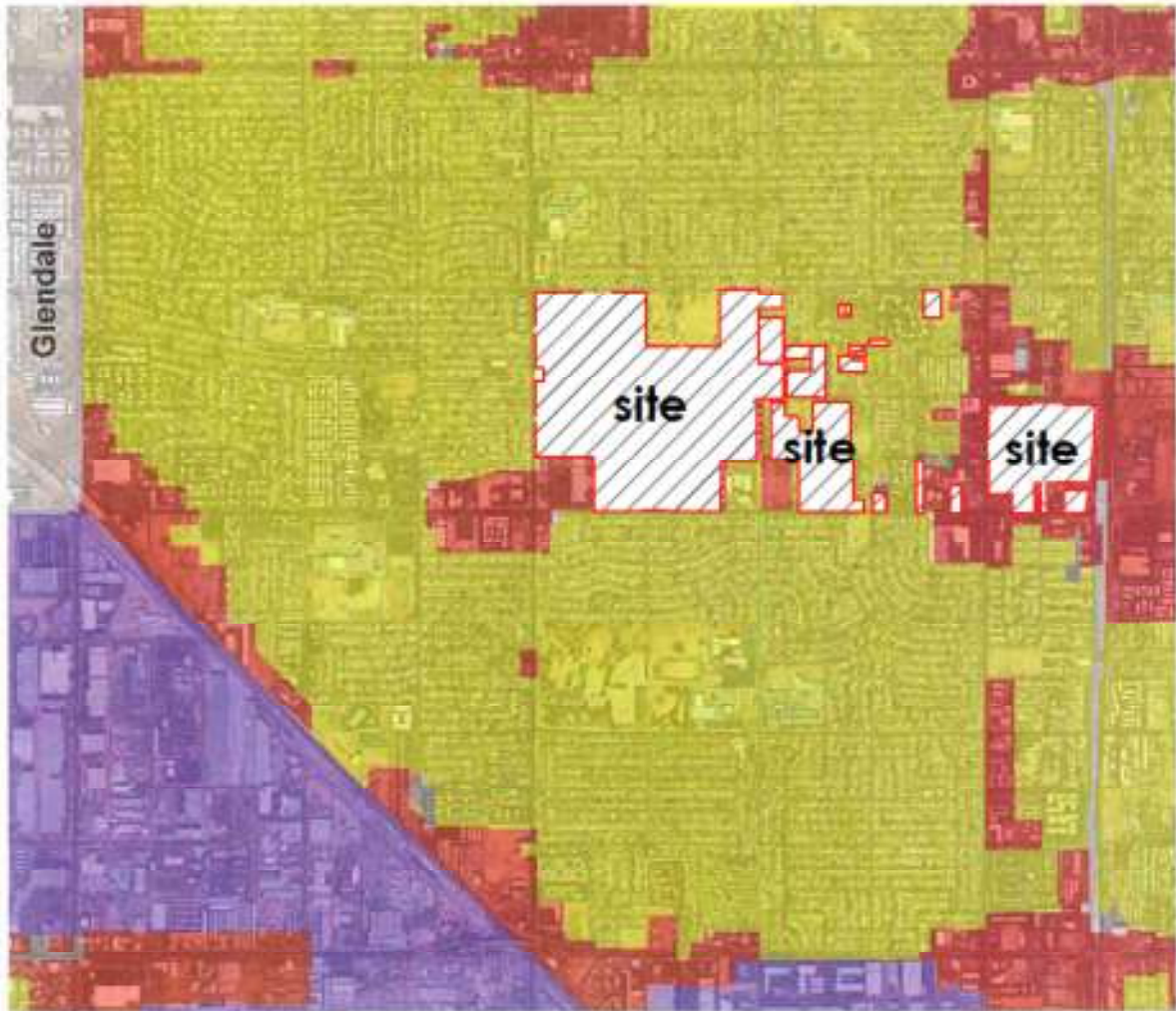
EXCEPT THE NORTH 8.00 FEET THEREOF.

CONTAINING 21,277 SQUARE FEET, OR 0.488 ACRES, MORE OR LESS.

Companion Legal Description "Parcel" Key Map



General Context Aerial



- Residential land uses
- Commercial land uses
- Industrial land uses

General Context Zoning Aerial



Context photos Keymap



Context Photos: 35th Avenue and Missouri Avenue

35th Avenue and Missouri Avenue



Context Photo 1
Looking North



Context Photo 2
Looking East

35th Avenue and Missouri Avenue



Context Photo 3
Looking West



Context Photo 4
Looking South

35th Avenue and Missouri Avenue



Context Photo 5
Looking North



Context Photo 6
Looking East



35th Avenue and Missouri Avenue



Context Photo 7
Looking West



Context Photo 8
Looking South



Camelback Road



Camelback Road



Context Photo 1
Looking North



Context Photo 2
Looking East

Camelback Road



Context Photo 3
Looking West



Context Photo 4
Looking South

Camelback Road



Context Photo 5
Looking North



Context Photo 6
Looking East

Camelback Road



Context Photo 7
Looking West



Context Photo 8
Looking South

Camelback Road



Context Photo 9
Looking North



Context Photo 10
Looking East



Camelback Road



Context Photo 11
Looking West



Context Photo 12
Looking South

Camelback Road



Context Photo 13
Looking North



Context Photo 14
Looking East

Camelback Road



Context Photo 15
Looking West



Context Photo 16
Looking South

Camelback Road



Context Photo 17
Looking North



Context Photo 18
Looking East

Camelback Road



Context Photo 19
Looking West



Context Photo 20
Looking South



Camelback Road



Context Photo 21
Looking North



Context Photo 22
Looking East

Camelback Road



Context Photo 23
Looking West



Context Photo 24
Looking South



Residential Area, South of Colter

Residential Area, South of Colter



Context Photo 1
Looking North



Context Photo 2
Looking East

Residential Area, South of Colter



Context Photo 3
Looking West



Context Photo 4
Looking South



Residential Area, South of Colter



Context Photo 5
Looking North



Context Photo 6
Looking East

Residential Area, South of Colter



Context Photo 7
Looking West



Context Photo 8
Looking South



Residential Area, South of Colter



Context Photo 9
Looking North



Context Photo 10
Looking East

Residential Area, South of Colter



Context Photo 11
Looking West



Context Photo 12
Looking South

Residential Area, South of Colter



Context Photo 13
Looking North



Context Photo 14
Looking East

Residential Area, South of Colter



Context Photo 15
Looking West



Context Photo 16
Looking South

Residential Area, South of Colter



Context Photo 17
Looking North



Context Photo 18
Looking East

Residential Area, South of Colter



Context Photo 19
Looking West



Context Photo 20
Looking South

Residential Area, South of Colter



Context Photo 21
Looking North



Context Photo 22
Looking East

Residential Area, South of Colter



Context Photo 23
Looking West



Context Photo 24
Looking South



27th Avenue and Camelback Road to 1-17 and Camelback Road

27th Avenue and Camelback Road to 1-17 and Camelback Road



Context Photo 1
Looking North



Context Photo 2
Looking East

27th Avenue and Camelback Road to 1-17 and Camelback Road



Context Photo 3
Looking West



Context Photo 4
Looking South

27th Avenue and Camelback Road to 1-17 and Camelback Road



Context Photo 5
Looking North



Context Photo 6
Looking East

27th Avenue and Camelback Road to 1-17 and Camelback Road



Context Photo 7
Looking West



Context Photo 8
Looking South

27th Avenue and Camelback Road to 1-17 and Camelback Road



Context Photo 9
Looking North



Context Photo 10
Looking East

27th Avenue and Camelback Road to 1-17 and Camelback Road



Context Photo 11
Looking West



Context Photo 12
Looking South

27th Avenue and Camelback Road to 1-17 and Camelback Road



Context Photo 13
Looking North



Context Photo 14
Looking East

27th Avenue and Camelback Road to 1-17 and Camelback Road



Context Photo 15
Looking West



Context Photo 16
Looking South

27th Avenue and Camelback Road to 1-17 and Camelback Road



Context Photo 17
Looking North



Context Photo 18
Looking East

27th Avenue and Camelback Road to 1-17 and Camelback Road



Context Photo 19
Looking West



Context Photo 20
Looking South



Residential Area, North of Colter, South of Missouri



Residential Area, North of Colter, South of Missouri



Context Photo 1
Looking North



Context Photo 2
Looking East

Residential Area, North of Colter, South of Missouri



Context Photo 3
Looking West



Context Photo 4
Looking South

Residential Area, North of Colter, South of Missouri



Context Photo 5
Looking North



Context Photo 6
Looking East

Residential Area, North of Colter, South of Missouri



Context Photo 7
Looking West



Context Photo 8
Looking South

Residential Area, North of Colter, South of Missouri



Context Photo 9
Looking North



Context Photo 10
Looking East

Residential Area, North of Colter, South of Missouri



Context Photo 11
Looking West



Context Photo 12
Looking South

Residential Area, North of Colter, South of Missouri



Context Photo 13
Looking North



Context Photo 14
Looking East

Residential Area, North of Colter, South of Missouri



Context Photo 15
Looking West



Context Photo 16
Looking South

Residential Area, North of Colter, South of Missouri



Context Photo 17
Looking North



Context Photo 18
Looking East

Residential Area, North of Colter, South of Missouri



Context Photo 19
Looking West



Context Photo 20
Looking South

Residential Area, North of Colter, South of Missouri



Context Photo 21
Looking North



Context Photo 22
Looking East

Residential Area, North of Colter, South of Missouri



Context Photo 23
Looking West



Context Photo 24
Looking South

Residential Area, North of Colter, South of Missouri



Context Photo 25
Looking North



Context Photo 26
Looking East

Residential Area, North of Colter, South of Missouri



Context Photo 27
Looking West



Context Photo 28
Looking South

Residential Area, North of Colter, South of Missouri



Context Photo 29
Looking North



Context Photo 30
Looking East

Residential Area, North of Colter, South of Missouri



Context Photo 31
Looking West



Context Photo 32
Looking South

Residential Area, North of Colter, South of Missouri



Context Photo 33
Looking North



Context Photo 34
Looking East

Residential Area, North of Colter, South of Missouri



Context Photo 35
Looking West



Context Photo 36
Looking South

Residential Area, North of Colter, South of Missouri



Context Photo 37
Looking North



Context Photo 38
Looking East

Residential Area, North of Colter, South of Missouri



Context Photo 39
Looking West



Context Photo 40
Looking South

Residential Area, North of Colter, South of Missouri



Context Photo 41
Looking North



Context Photo 42
Looking East

Residential Area, North of Colter, South of Missouri



Context Photo 43
Looking West



Context Photo 44
Looking South

Residential Area, North of Colter, South of Missouri



Context Photo 45
Looking North



Context Photo 46
Looking East

Residential Area, North of Colter, South of Missouri



Context Photo 47
Looking West



Context Photo 48
Looking South

Residential Area, North of Colter, South of Missouri



Context Photo 49
Looking North



Context Photo 50
Looking East

Residential Area, North of Colter, South of Missouri



Context Photo 51
Looking West



Context Photo 52
Looking South

Residential Area, North of Colter, South of Missouri



Context Photo 53
Looking North



Context Photo 54
Looking East

Residential Area, North of Colter, South of Missouri



Context Photo 55
Looking West



Context Photo 56
Looking South

Residential Area, North of Colter, South of Missouri



Context Photo 57
Looking North



Context Photo 58
Looking East

Residential Area, North of Colter, South of Missouri



Context Photo 59
Looking West



Context Photo 60
Looking South

Residential Area, North of Colter, South of Missouri



Context Photo 61
Looking North



Context Photo 62
Looking East

Residential Area, North of Colter, South of Missouri



Context Photo 63
Looking West



Context Photo 64
Looking South



Residential Area, North of Colter, South of Missouri



Context Photo 65
Looking North



Context Photo 66
Looking East

Residential Area, North of Colter, South of Missouri



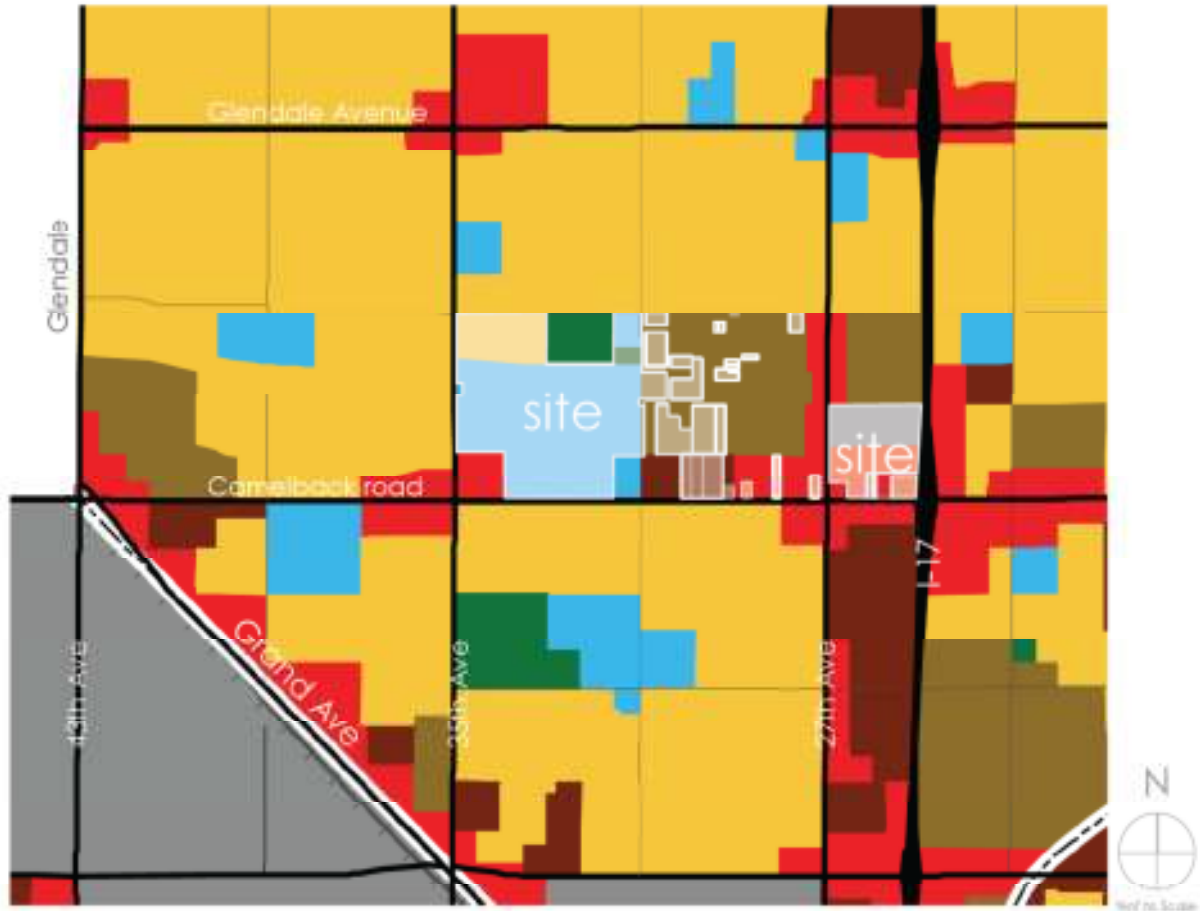
Context Photo 67
Looking West



Context Photo 68
Looking South

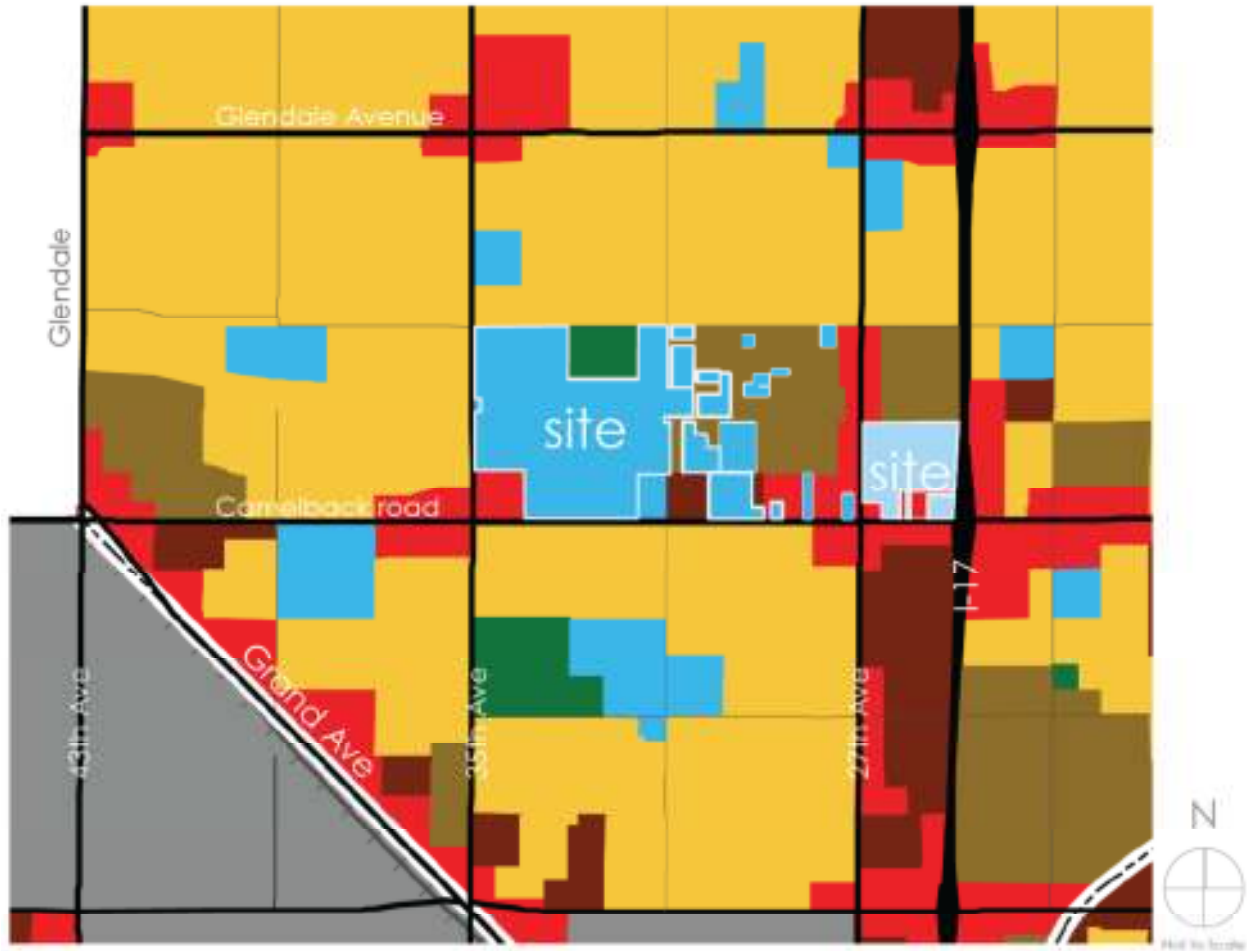


Existing General Plan Land Use Map



- 3.5 to 5 du/acre- traditional lot
- 5 to 10 du/acre- Higher density attached town homes, condos or apartments
- 10 to 15 du/acre- Higher density attached town homes, condos or apartments
- 15+ du/acre- Higher density attached town homes, condos or apartments
- parks/ open spaces-publicly owned
- Public/Quasi-public
- commercial
- Industrial

Proposed General Plan Land Use Map



- 3.5 to 5 du/acre- Traditional Lot
- 5 to 10 du/acre- Higher density attached town homes, condos or apartments
- 10 to 15 du/acre- Higher density attached town homes, condos or apartments
- 15+ du/acre- Higher density attached town homes, condos or apartments
- parks/ open spaces-publicly owned
- Public/Quasi-public
- commercial
- Industrial

Traffic Study or Statement

A traffic study is being prepared by completed by Strand Associates, Inc. and will be submitted under separate cover.