



City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT

Staff Report: Z-21-16-6
June 27, 2016

Camelback East Village Planning Committee Hearing Date	July 12, 2016
Planning Commission Hearing Date	August 4, 2016
Request From:	R-5 (0.86 acres) R-5 (approved C-O) (0.94 acres) P-1 (0.57 acres) R-3 (0.22 acres) R1-10 (0.11 acres) R1-6 (0.25 acres)
Request To:	R-5 HGT/WVR (2.95 acres)
Proposed Use	Multifamily and Commercial Office
Location	Approximately 268 feet south of the southeast corner of 32nd Street and Glenrosa Avenue
Owner	PRI Glenrosa, LLC
Applicant's Representative	Larry Lazarus, Lazarus, Silvyn & Bangs
Staff Recommendation	Approval, subject to stipulations

General Plan Conformity			
General Plan Land Use Designation		Commercial Residential 3.5 to 5 du/acre	
Street Map Classification	32nd Street	Arterial	40-foot east half street
<p>CONNECT PEOPLE AND PLACES CORE VALUE; OPPORTUNITY SITES; LAND USE PRINCIPLE: Promote and encourage compatible development and redevelopment with a mix of housing types in neighborhoods close to employment centers, commercial areas, and where transit or transportation alternatives exist.</p> <p>The development will offer area residents additional housing choices located near employment opportunities, neighborhood retail amenities and arterial corridors.</p>			
<p>STRENGTHEN OUR LOCAL ECONOMY CORE VALUE; ENTREPRENEURS AND EMERGING ENTERPRISES; LAND USE PRINCIPLE: Encourage land uses that promote the growth of entrepreneurs or new businesses in Phoenix in appropriate locations.</p> <p>The proposed commercial office component of the project will facilitate the growth of new businesses appropriately located along an arterial street and within close proximity to one of the city's major employment centers.</p>			

CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS CORE VALUE; CERTAINTY AND CHARACTER; DESIGN PRINCIPLE: Create new development or redevelopment that is sensitive to the scale and character of the surrounding neighborhoods and incorporates adequate development standards to prevent negative impact(s) on the residential properties.

As stipulated, the proposal integrates design features that provide increased sensitivity to the adjacent single-family residences.

Surrounding Land Uses/Zoning		
	<u>Land Use</u>	<u>Zoning</u>
On Site	Office, Multifamily Residential	R-5, R-5 (approved C-O), P-1, R-3, R1-10, R1-6
North	Office	R-5, P-1
South	Office	C-O / G-O
East	Single-Family Residential	R1-10
West	Office	R-5

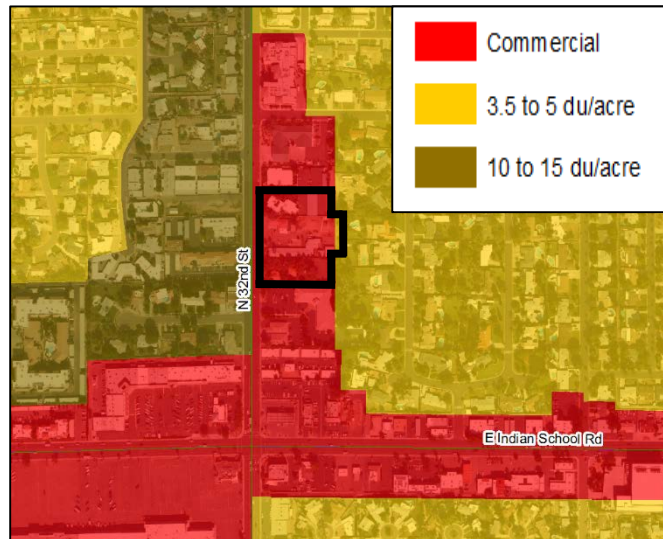
R-5 (Multifamily Residence District, Mixed Use Development)		
<u>Standards</u>	<u>Requirements</u>	<u>Proposed</u>
Density (dwelling units/acre)	Maximum 45.68 du/acre (52.20 du/acre with bonus)	Met – 45.39 du/acre
<i>Building Setbacks</i>		
Street	Average 30 feet for structures exceeding 30 feet in height (west)	Not met* - 20 feet (west)
Interior	45 feet adjacent to R-5 zoning (north)	Not met* - 33 feet (north)
	0 feet adjacent to P-1 zoning (north)	Met – 33 feet (north)
	150 feet adjacent to R1-10 zoning (east)	Not met* - 46 feet (east)
	10 feet adjacent to C-O zoning (south)	Met – 61 feet (south)
<i>Landscape Setbacks</i>		
Street	Average 30 feet (west)	Not met* - 20 feet (west)
Interior	Minimum 10 feet	Met – 10 feet (east) Not met* - 0-5 feet (north, south)
Height	Maximum 30 feet or 56 feet with height waiver	Met – 48 feet maximum
Lot Coverage	Maximum 50%	Met – 42.5%
Common Area/Open Space	Minimum 5% of gross area	Met – 8.6%
*VARIANCE REQUIRED		

Background/Issues/Analysis

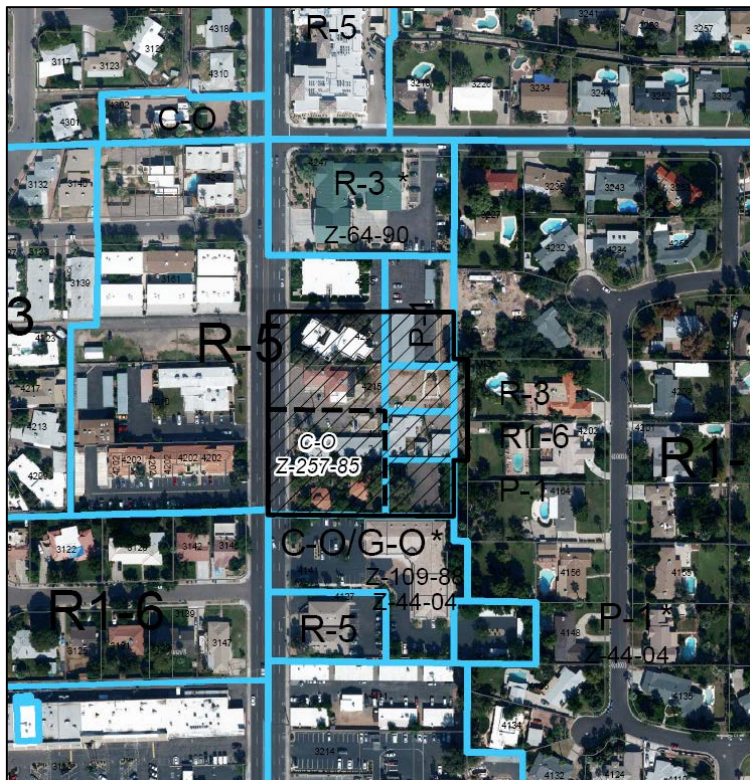
1. This is a request to rezone a 2.95 acre parcel from R-5 (Multifamily Residence District), R-5 (approved C-O) (Multifamily Residence District (approved

Commercial Office District)), P-1 (Passenger Automobile Parking, Limited), R-3 (Multifamily Residence District), R1-10 (Single-Family Residence District), and R1-6 (Single-Family Residence District) to R-5 HGT/WVR (Multifamily Residence District, Height Waiver) to allow for a mixed-use development comprised of office and multifamily residential.

2. The General Plan Land Use Map designation for the majority of the property is Commercial. A small section of the eastern portion of the property has a General Plan Land Use Designation of Residential 3.5 to 5 dwelling units per acre. The proposed office and residential mixed-used development is consistent with the Commercial General Plan Land Use Map designation.



- 3.

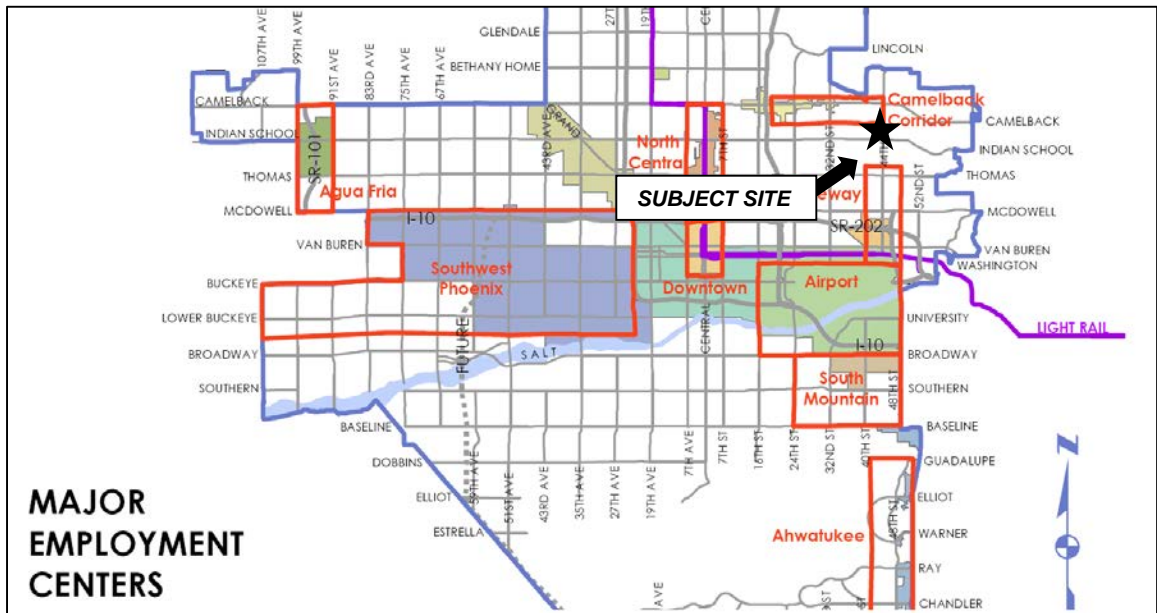


Currently, the northern and southern portions of the subject site are developed with offices. The central portion of the site is developed with a small multifamily residential development. The western portion of the subject site is zoned R-5 (Multifamily Residence District), with the eastern portion zoned a mix of P-1 (Passenger Automobile Parking, Limited) and residential. The overall site is comprised of five parcels, which will be combined to accommodate the mixed-use development.

4. Surrounding properties are zoned for both commercial and residential uses. A professional office development is located to the north of the subject site and is

zoned R-5 (Multifamily Residence District) and P-1 (Passenger Automobile Parking, Limited). Property to the west of the subject site, across 32nd Street, is zoned R-5 (Multifamily Residence District) and developed with several professional office buildings. Similarly, to the south of the subject site is an additional professional office development zoned C-O / G-O (Commercial Office, General Office Option). A single-family neighborhood, zoned R1-10 (Single-Family Residence District) is located to the east of the site.

5.



The subject site fronts an arterial street, 32nd Street, and is located in close proximity to Camelback Road and Indian School Road, an arterial and major arterial respectively. The location of the subject site also provides direct access to the Camelback Corridor, one of the city’s designated Major Employment Centers. Due to the subject site’s location, the property is well-suited for both commercial and residential development.

6. The proposed development will consist of both professional office space and multifamily residential units. Professional offices are a permitted use in the R-5 zoning district, but any commercial or mixed-use projects are required to follow the C-1 (Neighborhood Retail) zoning district’s yard, height and area requirements. The C-1 zoning district allows a base maximum building height of 30 feet, with up to 56 feet in height allowed with a height waiver. Because the proposed project exceeds the 30-foot height limit, a height waiver is required. Similarly, although the proposed project meets the R-5 yard and height standards for multifamily development, the commercial component triggers additional setback standards that the applicant will need to address via a subsequent variance process.
7. The conceptual site plan details a four-story building comprised of approximately 40,000 square feet of office space on the first floor in addition to 134 residential units dispersed throughout floors two through four. The

residential entrance, leasing office and fitness center will also be located on the first floor of the building. Open space areas for the residents will be offered on the ground level, second floor and roof deck and include landscaping, seating area, water features and a pool. The conceptual elevations depict a U-shaped building surrounding the open space areas that include the use of multiple exterior building materials and extensive glazing to ensure a high-quality design.



8. Access to the site is provided off two 32nd Street driveways. A drive aisle along the perimeter of the site and will provide residents and patrons access to the underground parking area, which will house the majority of the required parking for the site. A limited amount of surface parking will also be provided adjacent to the building. In order to ensure that the underground parking garage traffic is oriented away from the adjacent residential properties, a stipulation requiring a minimum 50-foot setback from the eastern property line for all garage entrances is included.
9. In addition to the landscaping provided in the open space areas, new vegetation will be installed along the eastern, western and southern portions of the site. A stipulation has been included to provide 3-inch caliper trees along 32nd Street in order to provide shade for pedestrians. In addition, a stipulation has also been included to provide for 3-inch caliper trees along the eastern property line to provide screening for adjacent residences.

10. The site is located adjacent to an established single-family residential neighborhood comprised of predominately single-story homes. In order to provide increased privacy and sensitivity to the adjacent residences, limits on the intensity of the development along the eastern property line



are included. A stipulation limiting the maximum height of buildings to 36 feet within 125 feet of the eastern property line, and 48 feet elsewhere on the site, has been included to provide a gradual step-back in building height and mass. Similarly, stipulations limiting balconies and full-view windows within close proximity to the adjacent single-family residences are also included.

11. The Street Transportation Department is requesting that all off-site street improvements, including sidewalks, curb ramps and driveways, adjacent to the project, be updated. A detached sidewalk and 10-foot sidewalk easement dedication is also requested. Stipulations have been added addressing these requests.
12. The Aviation Department has reviewed the rezoning application and requests that the property owner record a Notice to Prospective Purchasers of Proximity to Airport in order to disclose the existence, and operational characteristics of City of Phoenix Sky Harbor International Airport (PHX) to future owners or tenants of the property in addition to providing a "No Hazard Determination" for the project from the Federal Aviation Administration. Stipulations have also been added addressing these requests.
13. The City of Phoenix Floodplain Management division of the Street Transportation Department has determined that this parcel is not in a Special Flood Hazard Area (SFHA), but is located in a Shaded Zone X, on panel 2210 L of the Flood Insurance Rate Maps (FIRM) dated October 16, 2013.
14. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonment may be required.

Findings

1. The proposed mixed-use development is consistent with the General Plan Land Use Map designation of Commercial.
2. The proposal will facilitate the growth of new businesses as well as provide additional housing choice along a major Camelback East Village corridor.
3. As stipulated, the proposal provides compatibility with the adjacent land uses.

Stipulations

1. The property owner shall provide minimum 3-inch caliper trees, placed 20-feet on center, or in equivalent groupings, along 32nd Street adjacent to the sidewalk, in order to provide shade for pedestrians, as approved by the Planning and Development Department.
2. The property owner shall provide minimum 3-inch caliper trees, placed 20-feet on center, or in equivalent groupings within the eastern landscape setback, in order to provide screening for adjacent residences, as approved by the Planning and Development Department.
3. All ingress / egress to the underground parking area shall be located a minimum of 50 feet from the eastern property line, as approved by the Planning and Development Department.
4. All active open space areas shall be located a minimum of 60 feet from the eastern property line, as approved by the Planning and Development Department.
5. Height shall be limited to a maximum of 36 feet within 125 feet of the eastern property line and a maximum of 48 feet for the remainder of the site.
6. No balconies facing residential homes shall be permitted within 125 feet of the eastern property line.
7. Only clerestory or opaque windows shall be permitted on the eastern elevation of the building above the first floor for the eastern 125 feet of the property, as approved by the Planning and Development Department.
8. The property owner shall construct a minimum 5 foot wide sidewalk along 32nd Street which shall be detached with a minimum 8 foot wide landscaped strip located between the sidewalk and the back of curb, as approved by the Planning and Development Department.
9. The property owner shall dedicate a 10 foot sidewalk easement along the east side of 32nd Street for the length of the project, as approved by the Planning and Development Department.
10. The property owner shall update all existing off-site street improvements, including sidewalks, curb ramps and driveways adjacent to the project to current ADA guidelines, as approved by the Planning and Development Department.

11. The property owner shall record documents that disclose the existence, and operational characteristics of Phoenix Sky Harbor International Airport to future owners or tenants of the property. The form and content of such documents shall be according to the templates and instructions provided which have been reviewed and approved by the City Attorney.
12. The property owner shall provide documentation to the city of Phoenix prior to final site plan approval that Form 7460-1 has been filed for the development and that the development received a "No Hazard Determination" from the Federal Aviation Administration (FAA). If temporary equipment is used during construction that exceeds the height of the permanent structure, a separate Form 7460-1 shall be submitted to the FAA and a "No Hazard Determination" obtained prior to the construction start date.

Writer

Samantha Keating

6/27/16

Team Leader

Joshua Bednarek

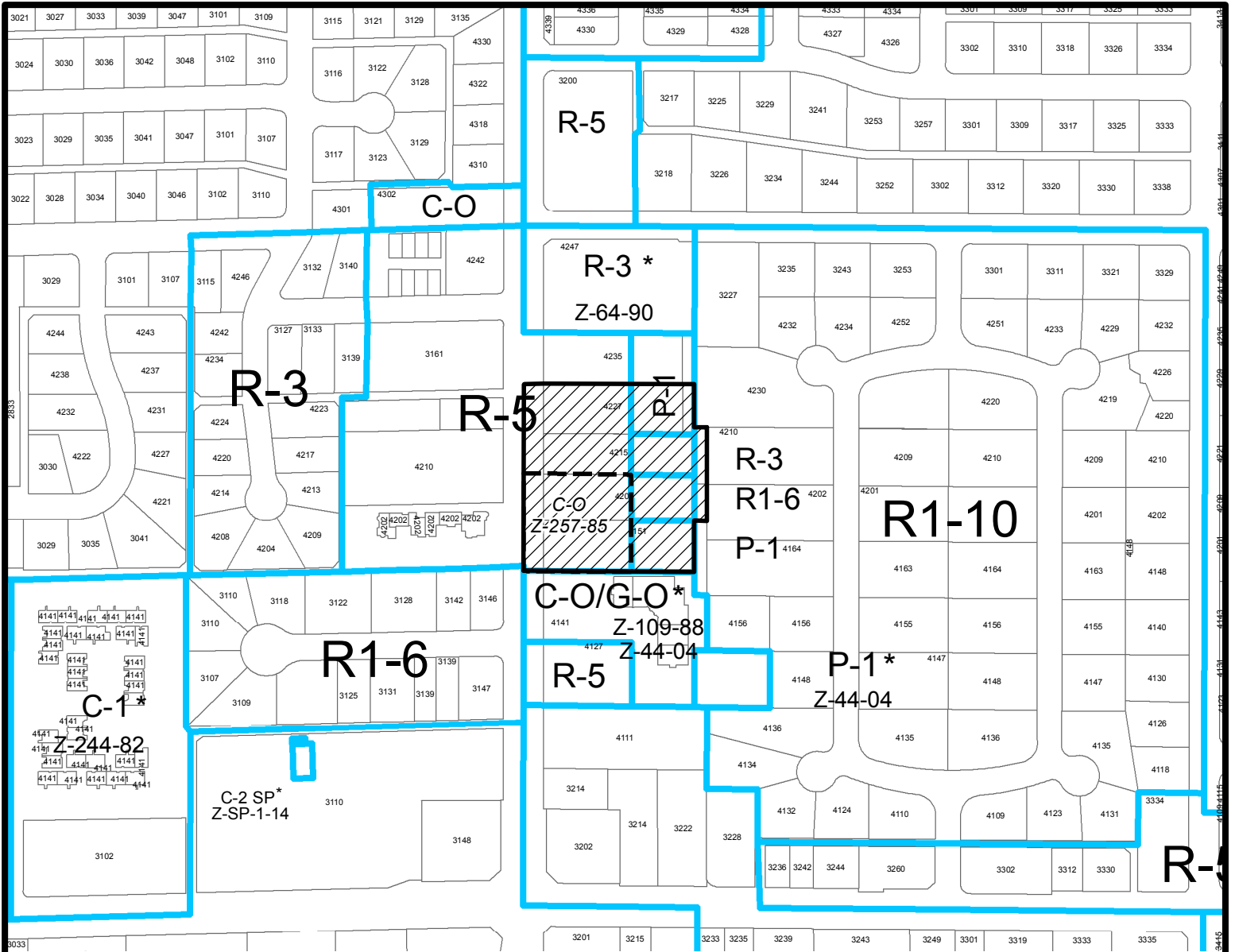
Attachments

Sketch Map

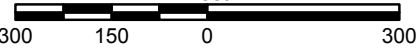
Aerial

Site Plans date stamped 5/20/2016 & 6/30/2016 (5 pages)

Elevations / Renderings date stamped 5/20/2016 (4 pages)



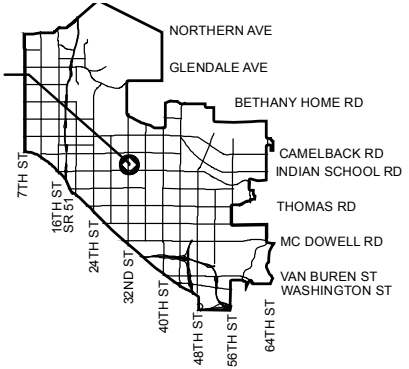
Feet



CAMELBACK EAST VILLAGE
CITY COUNCIL DISTRICT: 6



Z-21-16



APPLICANT'S NAME: **PRI Glenrosa, LLC**

APPLICATION NO. **Z-21-16**

GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.

2.95 Acres

DATE: **4/11/16**
REVISION DATES:

6/7/16

AERIAL PHOTO & QUARTER SEC. NO. **QS 17-35**

ZONING MAP **H-10**

REQUESTED CHANGE:

FROM: R-5, 0.86 Acres
R-5 (Approved C-O), 0.94 Acres
P-1, 0.57 Acres
R-3, 0.22 Acres
R1-10, 0.11 Acres
R1-6, 0.25 Acres

TO: R-5 HGT/WVR, (2.95 Acres)

MULTIPLES PERMITTED

R-5, R-5 (APP. C-O), P-1, R-3, R1-10, R1-6

R-5 HGT/WVR

CONVENTIONAL OPTION

37, 41 (N/A), N/A, 3, 0, 1

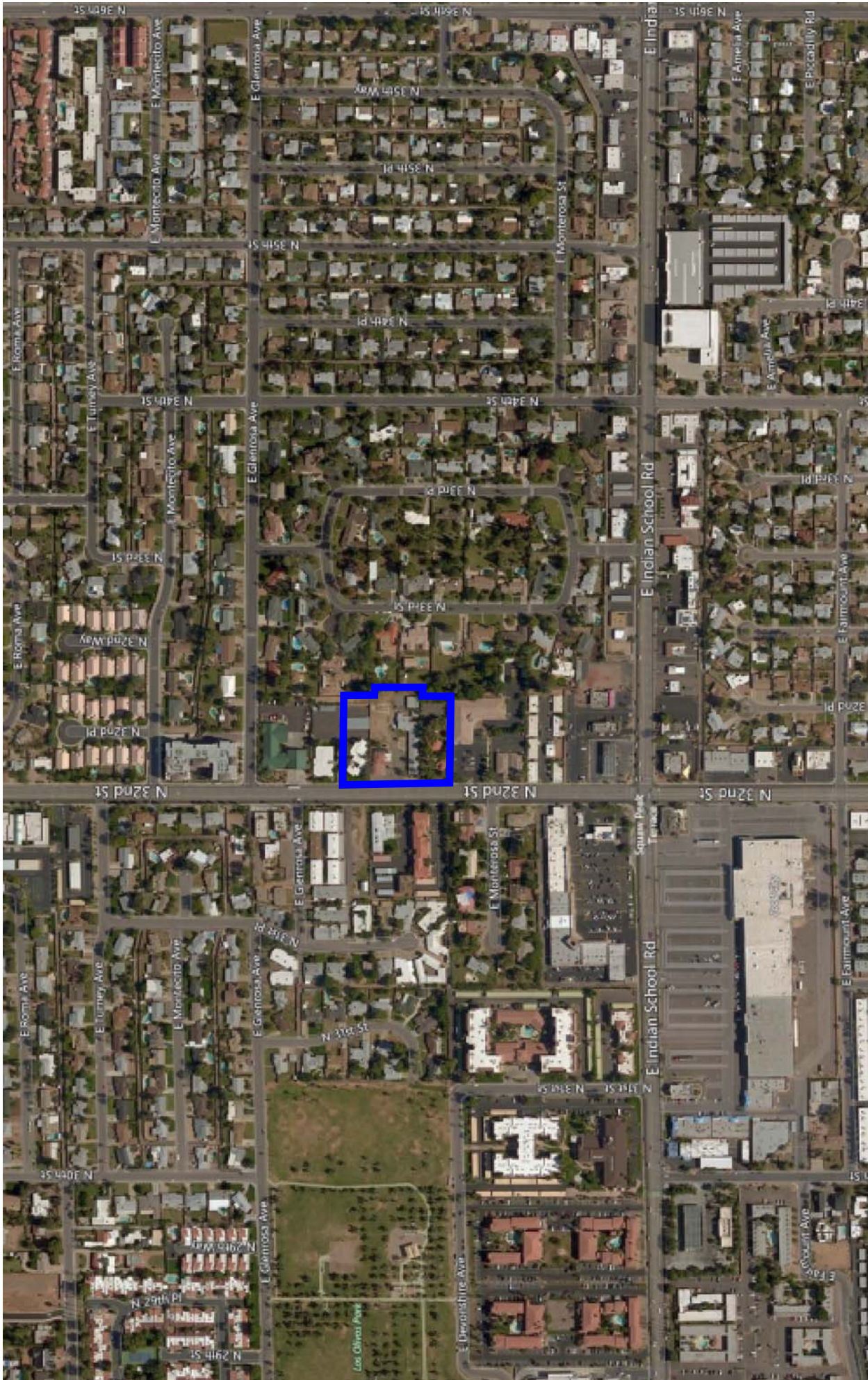
128

*** UNITS P.R.D. OPTION**

45, 49 (N/A), N/A, 4, 0, 1

154

* Maximum Units Allowed with P.R.D. Bonus



Planning and Development

The information provided on this map is based on record drawings submitted by others. Users of this information are cautioned that independent verification of actual conditions may be necessary.

JUN 30 2016

Planning & Development
Department

NelsenPartners
Nelson Partners, Inc.
Architecture Planning Interiors
Austin - Scottsdale
15210 N. Scottsdale Road, Suite 300
Scottsdale, Arizona 85254
tel 480.949.6800
fax 480.949.6801
www.nelsenpartners.com

PRELIMINARY
NOT FOR
CONSTRUCTION
OR
RECORDING

ARCHITECT
NELSEN PARTNERS, INC.
8510 N. SCOTTSDALE ROAD,
SUITE 300
SCOTTSDALE, ARIZONA 85254
PHONE: 480.949.6800
FAX: 480.949.6801
CONTACT: GLEN JARICK

OWNER
PHOENIX RISING
3620 W. HAPPY VALLEY RD.
PHOENIX, AZ 85026
PHONE: 623.71.9543
CONTACT: MICHAEL HEUNG

TOTAL GBA
172,868 SF (Total)
GROUND LEVEL
47,161 SF (GBA)
LEVELS 2-4
41,924 SF LEVEL (X3) = 125,772 SF (GBA)
37,324 SF LEVEL (X3) = 111,972 SF (NET AREA)

ROOF
42,348 (GBA)
LOT COVERAGE
Total Roof Area = 45,813 SF
Net Lot Area = 110,839 SF
47,161 SF / 110,839 SF = 43% Lot Coverage

RESIDENTIAL
133,090 SF (GBA) X .82 Efficiency = 109,084 SF

TOTAL:
109,084 SF Total
109,084 SF / 134 Units = 814 SF Average
134 Units Allowed Max.

PARKING:
134 Units
3-Bedroom City (6) X 2 = 12 Spaces Required
1 and 2-Bedroom City (128) X 1.5 = 192 Spaces Required
Total = 204 Spaces Required

PROFESSIONAL OFFICES
40,500 SF Total

PARKING:
40,500 SF / 200 = 203 Parking Spaces Required

PARKING REQUIREMENTS
TOTAL PARKING (REQUIRED): 407 Spaces
TOTAL PARKING (ACTUAL): 407 Spaces
On-Grade
38 Spaces

Parking Garage
369 Spaces

PROPOSED ZONING
R5
PLANNED RESIDENTIAL DEVELOPMENT

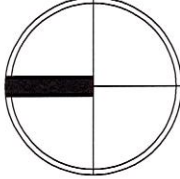
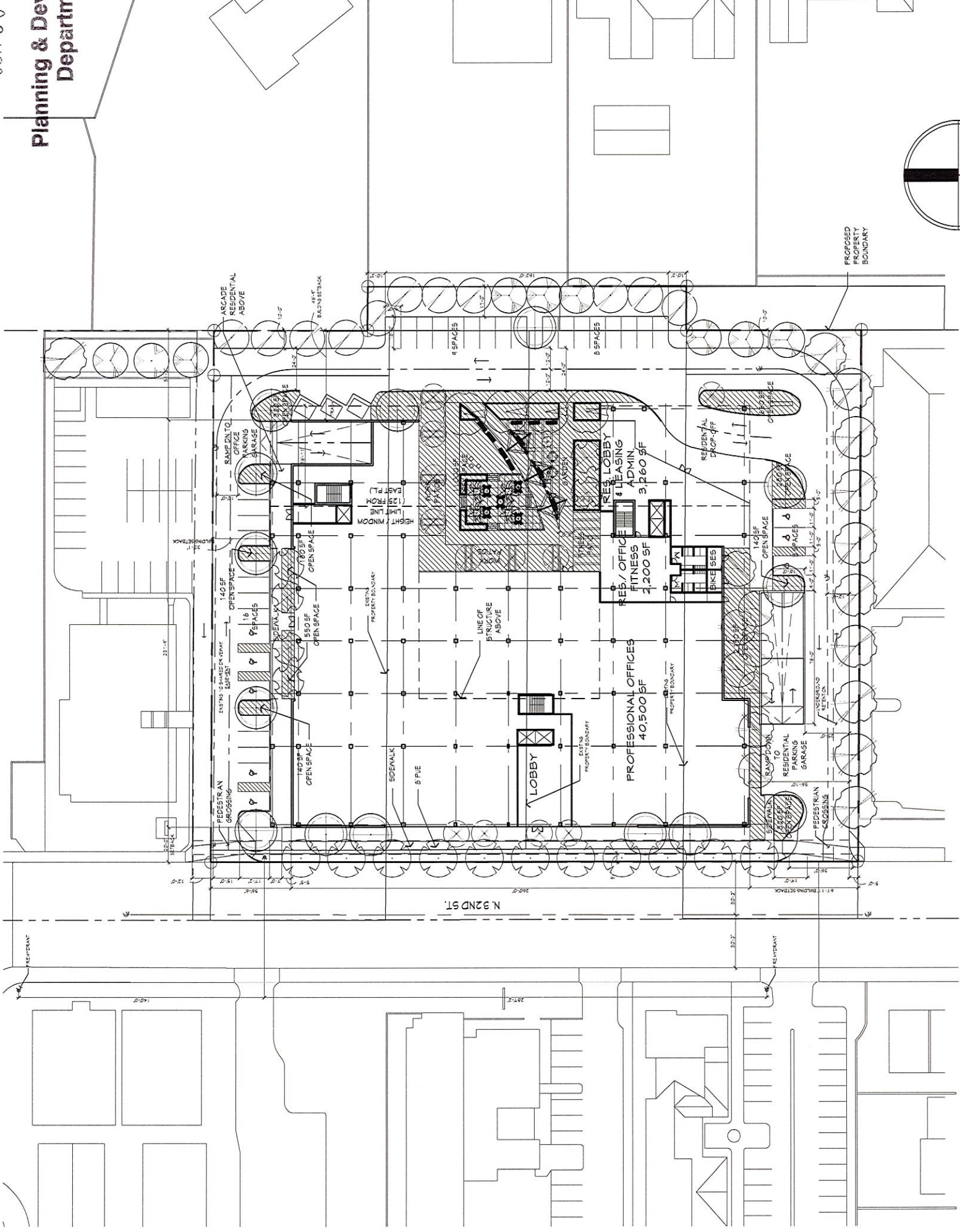
45.68 Units / Acre X 2.952 Gross Acreage =
134 Units (Max. Allowed)
Proposed Building Height = 48'-0"

32ND STREET APARTMENTS PHOENIX RISING 4227, 4205, 4215, 4151 N. 32ND ST. PHOENIX, ARIZONA

Date
June 30, 2016

Drawings and notes provided represent the work of the architect and may not be duplicated or used for any other project without the consent of the architect.
© 2016 NELSEN PARTNERS, INC.
Project No.
315097

A101
PROPOSED SITE PLAN



NORTH

MULTIPLE FAMILY	REQUIREMENTS FOR THE DISTRICT/LAND USE	PROVISIONS ON THE PROPOSED SITE PLAN
GROSS ACREAGE	NA	2.952 Acres
TOTAL NUMBER UNITS	134 (45.68 / Acre)	134
DENSITY	45.68 / Gross Acre	45.39 / Gross Acre
LOT COVERAGE	50% of Net Lot-85,419 SF	47,161 SF Proposed
BUILDING HEIGHT/STORIES	48'-0" / 4 Stories	48'-0" / 4 Stories
SETBACKS		
FRONT	20'	20'
SIDE	60'-11" / 33'	60'-11" / 33'
REAR	10'	46'-9" / 76'
LANDSCAPING		
FRONT	NA	5'
SIDE	NA	5'
REAR	NA	10'
COMMON OPEN SPACE	5% of Gross Lot-6,429 SF	11,000 SF
AMENITIES		POOL / COMMUNITY GARDENS GRILL / PICNIC AREAS
PARKING	1 Space / 200 SF 1.5 Spaces / 1 & 2 Bedroom 2 Spaces / 3 Bedroom	407 Spaces Required and Provided

NOTE:
SEE ALTA SURVEY FOR EXISTING
IMPROVEMENTS, HEIGHTS,
AND SQUARE FOOTAGES

PROPOSED SITE PLAN

01

SCALE: 1"=30'

REF: A100

KEYNOTES

- 1 32ND ST. STREETSCAPE
- 2 PRIMARY ENTRANCE LANDSCAPE
- 3 COURTYARD AMENITY AREA (FIRST FLOOR)
- 4 TREE SCREENING / LANDSCAPE BUFFER
- 5 PARKING LOT LANDSCAPE
- 6 MAIN BUILDING ENTRY AREA
- 7 DROP-OFF AREA
- 8 RAMP DOWN TO PARKING
- 9 TRASH ENCLOSURE AREA
- 10 COLORFUL VINE SCREENING
- 11 CLUBHOUSE DECK AMENITY AREA (SECOND FLOOR)
- 12 POOL AMENITY AREA (ROOF TOP)
- 13 PARKING
- 14 ENTRY WATER FEATURE
- 15 SIGNAGE / MONUMENTATION
- 16 DECORATIVE ENTRY PAVING

CITY OF PHOENIX

JUN 30 2016

**Planning & Development
Department**



16-054

32nd Street Apartments

Phoenix, AZ

LANDSCAPE MASTER PLAN (GROUND FLOOR)



PLANT LEGEND

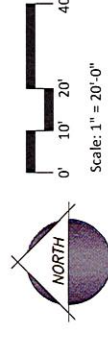
TREES	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE
		<i>Acacia aneura</i>	Mulga	24" Box
		<i>Acacia salicina</i>	Willow Acacia	24" Box
		<i>Chitalpa tashkentensis</i> 'Pink Dawn'	Chitalpa	24" Box
		Citrus species	Citrus species	24" Box
		<i>Fraxinus velutina</i>	Arizona Ash	36" Box
		<i>Parinsonia florida</i>	Blue Palo Verde	24" Box
		<i>Phoenix dactylopera</i>	Date Palm	16" Tall
		<i>Pinus edulis</i>	Monel Pine	24" Box
		<i>Quercus virginiana</i> 'Heritage'	'Heritage' Live Oak	24" Box
		<i>Phoenix roebelenii</i>	Pygmy Date Palm	6" Tall
		<i>Ulmus parvifolia</i>	Chinese Evergreen Elm	24" Box

SHRUBS/ACCENTS	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE
		<i>Agave angustifolia</i>	Agave	5 Gal
		Aloe hybrid 'Blue Elf'	Blue Elf Aloe	5 Gal
		Bougainvillea species	Bougainvillea	5 Gal
		<i>Caesalpinia pulcherrima</i>	Red Bird of Paradise	5 Gal
		<i>Calliandra callicanthera</i>	Baja Fairy Duster	5 Gal
		<i>Eremophila maculata</i> 'Valentine'	'Valentine' Emu Bush	5 Gal
		<i>Hesperaloe parviflora</i> 'Brakelights'	Brakelights Red Yucca	1 Gal
		<i>Leucophyllum langmaniae</i> 'Rio Bravo'	Rio Bravo Sage	5 Gal
		<i>Muhlenbergia rigens</i>	Deer Grass	5 Gal
		<i>Muhlenbergia rigida</i> 'Nashville'	Purple Muhly	5 Gal
		<i>Myrtus communis</i> 'Compacta'	Dwarf Myrtle	5 Gal
		<i>Nerium oleander</i> 'Petite Pink'	Dwarf Pink Oleander	5 Gal
		<i>Pedilanthus macrocarpus</i>	Lady's Slipper	5 Gal
		<i>Penstemon exoni</i>	Firecracker Penstemon	5 Gal
		<i>Plumbago auriculata</i>	Cape Plumbeo	5 Gal
		<i>Ruscus equisetiformis</i>	Coral Fountain	5 Gal
		<i>Tecoma stans</i> 'Gold Star'	Yellow Bells	5 Gal

GROUNDCOVERS	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE
		<i>Callistemon x Little John</i>	Dwarf Callistemon	1 Gal
		<i>Lantana x 'New Gold'</i>	New Gold Lantana	1 Gal
		<i>Lantana montevidensis</i>	Trailing Purple Lantana	1 Gal
		<i>Rosmarinus officinalis</i> 'Prostratus'	Dwarf Rosemary	1 Gal
		<i>Ruellia brittoniana</i> 'Katie'	Katie Ruella	1 Gal
		<i>Wedelia trilobata</i>	Yellow Dot	1 Gal

VINES	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE
		Bougainvillea species	Bougainvillea Vine	5 Gal
		<i>Podrandia ricolobata</i>	Pink Trumpet Vine	5 Gal

TURF	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SIZE
		<i>Cynodon Dactylon</i>	Turfway 419 Sod or Artificial Turf in Amenity Areas	



L-0.01
06.30.16

KEYNOTES

- 1 DECORATIVE RAISED DECKING
- 2 DATE PALM COURT PLAZA
- 3 OUTDOOR TABLE & CHAIRS
- 4 RAISED PLANTERS
- 5 PRIVATE PROFESSIONAL OUTDOOR PATIO
- 6 SCREEN PLANTER (FIRST FLOOR PATIO)
- 7 DECORATIVE RAILING
- 8 PLAZA WATER FEATURE
- 9 ARTIFICIAL TURF
- 10 SEATING ARCHITECTURAL CUBES
- 11 SHADE SAIL STRUCTURE WITH LANDSCAPE BENCH
- 12 LANDSCAPE BENCH
- 13 DECORATIVE SEATWALL
- 14 SHADE TREES
- 15 COLORFUL ACCENT TREES
- 16 MONOCULTURAL PLANTING AREA
- 17 FITNESS PATIO
- 18 DECORATIVE METAL SCREEN WALL



PROFESSIONAL OFFICES COURTYARD
ENLARGEMENT PLANS

Phoenix, AZ



32nd Street Apartments

CITY OF PHOENIX

MAY 20 2016

**Planning & Development
Department**



**NELSEN
PARTNER**
ARCHITECTS & PLANNERS



**EPS
GROUP**

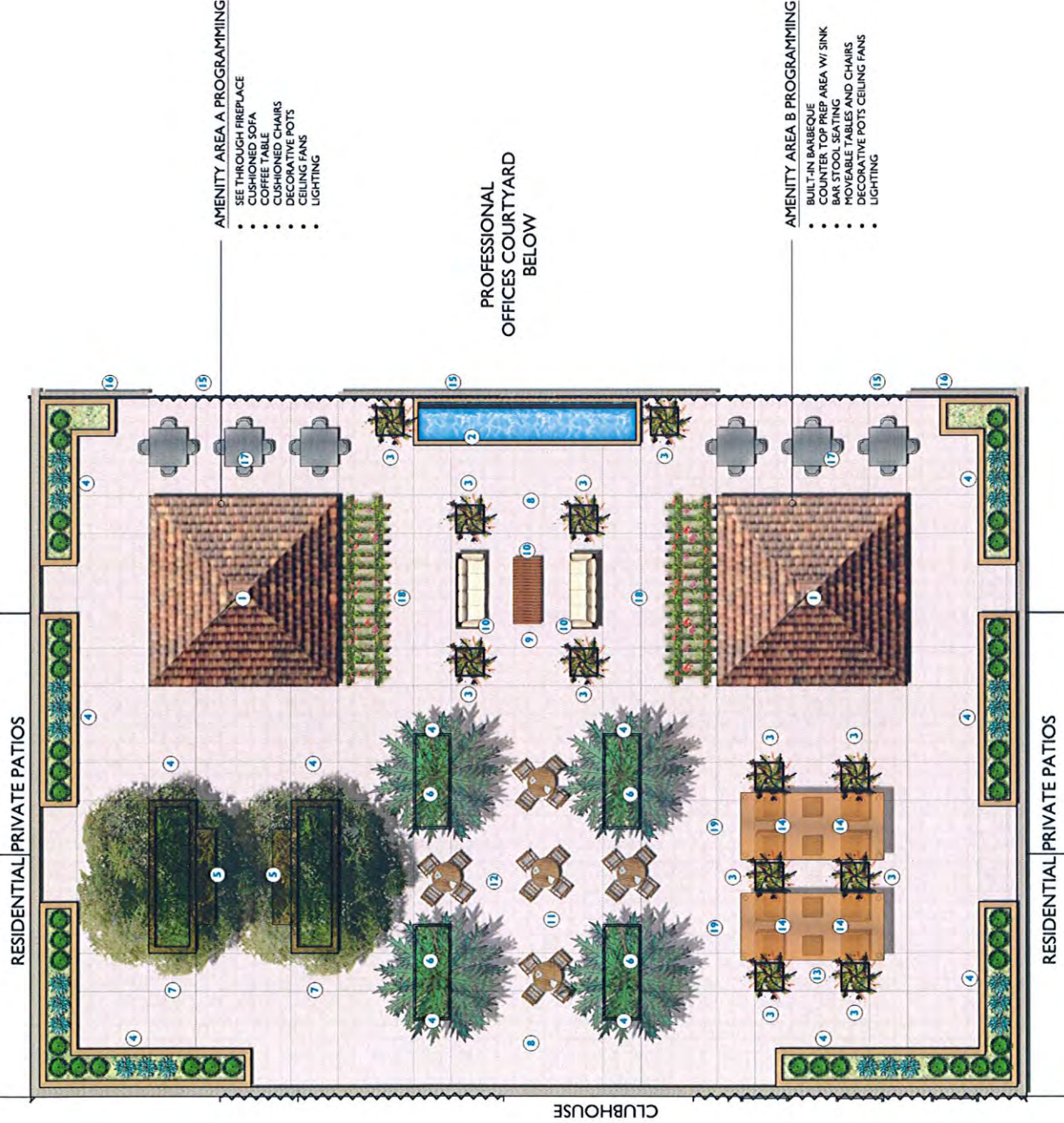
L-0-02
05.20.2016



Planning & Development
Department

MAY 20 2016

CITY OF PHOENIX



- AMENITY AREA B PROGRAMMING**
- BUILT-IN BARBEQUE
 - COUNTER TOP PREP AREA W/ SINK
 - MOVABLE TABLES AND CHAIRS
 - DECORATIVE POTS/CEILING FANS
 - LIGHTING

PROFESSIONAL
OFFICES COURTYARD
BELOW

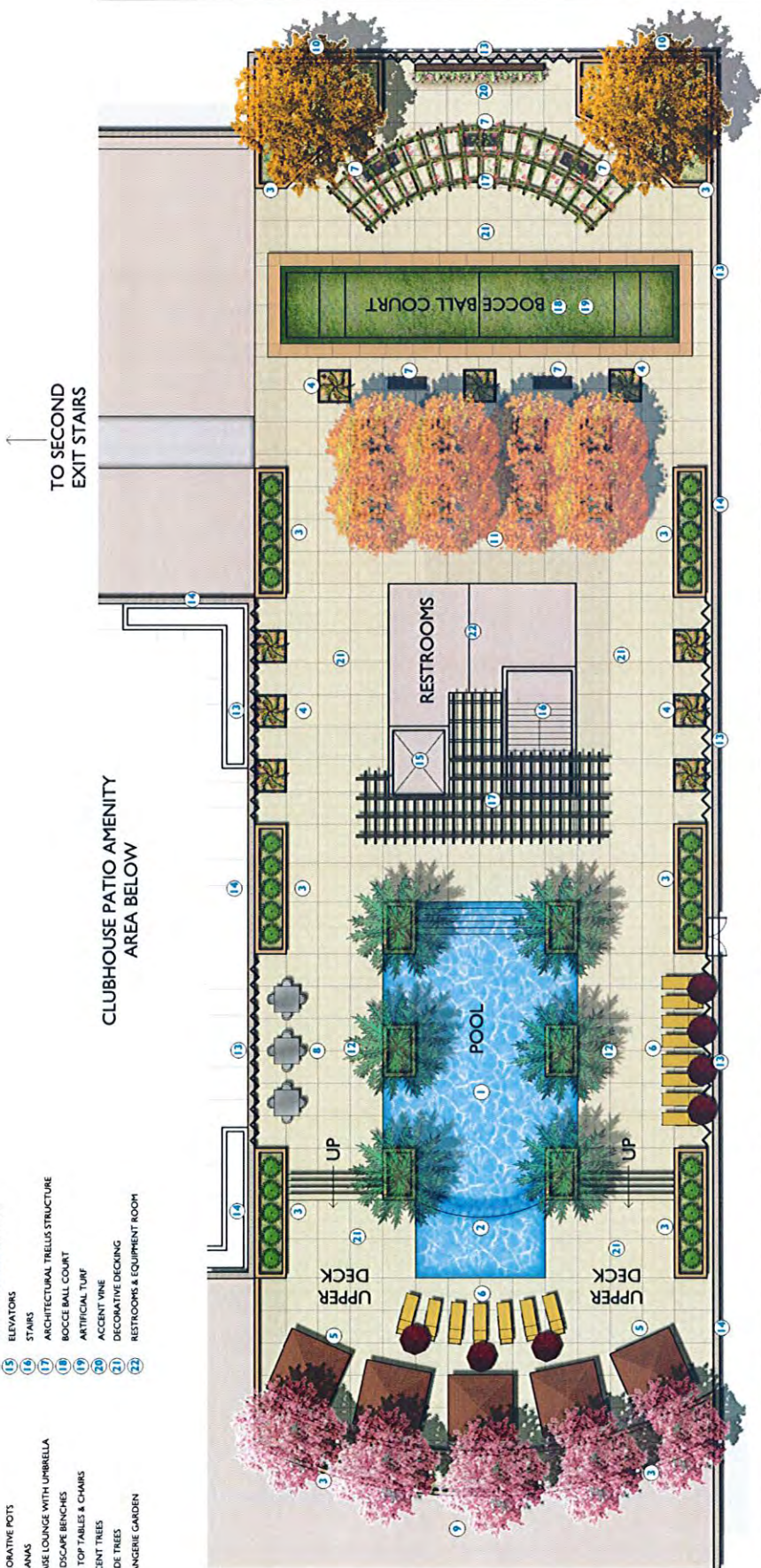
- AMENITY AREA A PROGRAMMING**
- SEE THROUGH FIREPLACE
 - BUILT-IN SOFA
 - COFFEE TABLE
 - CUSHIONED CHAIRS
 - DECORATIVE POTS
 - CEILING FANS
 - LIGHTING

KEYNOTES

- 1 ARCHITECTURAL SHADE STRUCTURE
- 2 WATER FEATURE WALL
- 3 DECORATIVE POTS
- 4 RAISED PLANTERS
- 5 SEATWALL
- 6 PALM COURT
- 7 SHADE TREES
- 8 DECORATIVE DECKING
- 9 OUTDOOR LOUNGE AREA
- 10 OUTDOOR SOFA & COFFEE TABLE
- 11 FLEXIBLE SPACE EVENTS AREA
- 12 MOVABLE TABLE & CHAIRS
- 13 SEATING AREA
- 14 OUTDOOR CHAIR & COFFEE TABLE
- 15 CABLE RAIL FENCING
- 16 DECORATIVE PERIMETER WALLS
- 17 BAR TOP TABLES & CHAIRS
- 18 SHADE STRUCTURE TRELLIS WITH VINES
- 19 SHADE SAILS

KEYNOTES

- | | |
|------------------------------|------------------------------------|
| 1 POOL | 12 DATE PALMS |
| 2 NEGATIVE EDGE WATERFALL | 13 CABLE RAIL FENCING |
| 3 BARED PLANTERS | 14 DECORATIVE PERIMETER WALLS |
| 4 DECORATIVE POTS | 15 ELEVATORS |
| 5 CABANAS | 16 STAIRS |
| 6 CHAIR LOUNGE WITH UMBRELLA | 17 ARCHITECTURAL TRELLIS STRUCTURE |
| 7 LANDSCAPE BENCHES | 18 BOCCIE BALL COURT |
| 8 BAR TOP TABLES & CHAIRS | 19 ARTIFICIAL TURF |
| 9 ACCENT TREES | 20 ACCENT VINE |
| 10 SHADE TREES | 21 DECORATIVE DECKING |
| 11 ORANGERIE GARDEN | 22 RESTROOMS & EQUIPMENT ROOM |



CITY OF PHOENIX

MAY 20 2016

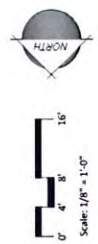
Planning & Development
Department



32nd Street Apartments

Phoenix, AZ

ROOF-TOP POOL AMENITY ENLARGEMENT PLAN



L-0.04
05.20.2016

**NELSEN
PARTNER**
ARCHITECTS & PLANNERS



**EPS
GROUP**

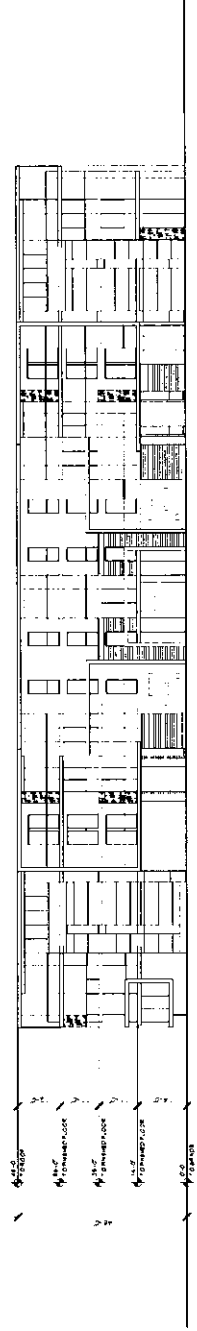
NelsenPartners
 Architects, Inc.
 1000 North Central Avenue, Suite 300
 Phoenix, Arizona 85004
 Tel: 480.944.0800
 Fax: 480.944.0805
 www.nelsenpartners.com

PERMITTING
 NOT FOR
 CONSTRUCTION
 OR
 RECORDING

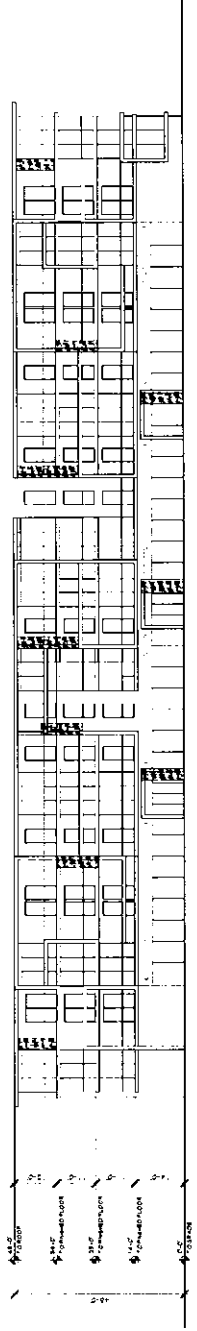
32ND STREET APARTMENTS
PHOENIX RISING
 4227, 4205, 4215, 4151 N. 32ND ST.
 PHOENIX, ARIZONA

Date: March 28, 2016

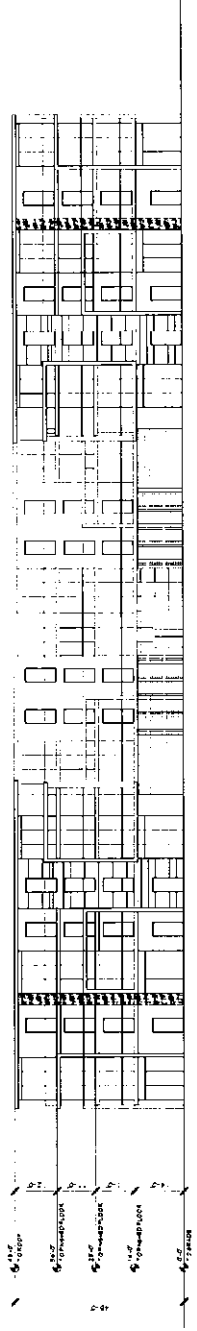
Project No. 310887
A301
 ELEVATIONS



03 SOUTH ELEVATION
 SCALE 1/8" = 1'-0"



02 WEST ELEVATION
 SCALE 1/8" = 1'-0"



01 EAST ELEVATION
 SCALE 1/8" = 1'-0"



View from Southwest
Building Rendering

32nd Street Apartment
Conceptual Design
PHOENIX, AZ | #10397 | MARCH 28, 2016



**NELSEN
PARTNERS**
ARCHITECTS & PLANNERS

CITY OF PHOENIX

MAY 20 2016

Planning & Development
Department



View from Southwest
Building Rendering

32nd Street Apartment
Conceptual Design
PHOENIX, AZ | #11097 | MARCH 28, 2016
© 2016 Nelsen Partners

CITY OF PHOENIX
MAY 20 2016
Planning & Development
Department



NELSEN
PARTNERS
ARCHITECTS & PLANNERS



View from Southeast Neighbor
Building Rendering

32nd Street Apartment
Conceptual Design
PROJECT NO. 1703587 | MARCH 23, 2016
© 2016 Nelsen Partners

CITY OF PHOENIX

MAY 20 2016

**Planning & Development
Department**



**NELSEN
PARTNERS**
ARCHITECTS & PLANNERS