



City of Phoenix

PLANNING AND DEVELOPMENT DEPARTMENT

ADDENDUM A

Staff Report Z-20-17-2

May 12, 2018

North Gateway Village Planning Committee Meeting Date:	May 10, 2018
Planning Commission Hearing Date:	June 7, 2018
Request From:	PCD NBCOD (Approved C-2/CP M-R PCD NBCOD) (19.22 Acres)
Request To:	C-2 M-R NBCOD (19.22 Acres)
Proposed Use:	PCD removal to allow for future development
Location:	Approximately 220 feet north of the northwest corner of the 27th Avenue alignment and North Foothills Drive alignment
Owner:	Greater Maricopa Investors 1986
Applicant:	City of Phoenix Planning Commission
Representative:	Michael Withey, Withey Morris, PLC

The rezoning request for this property was originally submitted in March 2017. At the time of the initial submittal no site plan or elevations for the property were provided. The applicant has now provided site plan and elevations for a 19.22-acre portion of the original request. As a result of a proposed conceptual site plan and elevations being submitted, staff is recommending revised stipulations. The original staff report included a stipulation that would require the site plan and elevations to come back through the Planning Hearing Officer process for approval. Since a site plan and elevations are being proposed, the applicant has requested revised stipulations that relate to the specific site plan and elevations. It is important to note that the acreage of the rezoning request has now been reduced from the original request. The acreage has been modified from 40.21 acres to only include the eastern 19.22 acres. The remainder of the site will have to come back through the PCD removal process through a separate rezoning case at a later date.

The Planning Commission has continued the case several times. The most recent motion being a continuance to the June 7, 2018 Planning Commission hearing. In review of the submitted site plan and elevations, staff is recommending additional stipulations that address the following:

- Compliance with the North Gateway Core Plan, specifically related to the Paseo Del Prado and preservation of Bronco Butte Water Tank.

- Compatibility of building materials and colors with the natural environment and consistency with the guidelines in the North Black Canyon Overlay District.
- Revised right-of-way improvements due to an updated request area.

Staff recommends the following regarding the additional stipulations:

Revised Stipulations

1. All sidewalks shall be detached with a minimum five-foot wide landscaped strip located between the sidewalk and back of curb, and shall include minimum two-inch caliper shade trees planted a minimum of 20 feet on center or equivalent groupings along both sides of the sidewalk, as approved by the Planning and Development Department. The landscape strip shall be installed by the developer and maintained by property owner.
- ~~2. Right-of-way totaling 30 feet from the street design centerline shall be dedicated and constructed as an "F" section roadway as defined by the City's Street Classification Map for the east half of 29th Avenue as approved by the Planning and Development Department and the Street Transportation Department.~~
- ~~3. Bronco Butte Trail shall be fully dedicated and constructed as an "F" section roadway as defined on the City's Street Classification Map. Bronco Butte Trail shall connect with 29th Avenue, as approved by Planning and Development Department and the Street Transportation Department.~~
- ~~2.3. The maximum building height shall be limited to 150 feet.~~
- ~~4. Conceptual site plan and elevations shall be reviewed and approved by the Planning Hearing Officer through the public hearing process prior to preliminary site plan approval for conceptual review of the applicable provisions of the goals and policies of the North Gateway Village Core Plan.~~
3. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
4. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.

5. THE EAST AND WEST PEDESTRIAN CONNECTION (PASEO DEL PRADO) SHALL BE PROVIDED IN ACCORDANCE WITH THE NORTH GATEWAY CORE PLAN, AS MODIFIED BY THE FOLLOWING STIPULATIONS AND APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT:
 - A. THE PASEO DEL PRADO SHALL ALIGN WITH THE BRONCO BUTTE TANK AND CONTINUE THROUGH THE SITE TO THE WEST.
 - B. A PEDESTRIAN ACCESS EASEMENT OF 20 FEET SHALL BE DEDICATED FOR THE PEDESTRIAN CONNECTION (PASEO DEL PRADO). OF THE 20 FEET, 12 FEET SHALL REMAIN COMPLETELY FREE OF ANY PEDESTRIAN IMPEDIMENTS, INCLUDING BENCHES. (THE REMAINING 8 FEET MAY BE USED FOR PEDESTRIAN FRIENDLY USES SUCH AS RESTAURANT SEATING, VENDOR STALLS, ARTIST DISPLAYS, ETC.)
 - C. A MINIMUM OF 50% OF THE 20 FOOT PEDESTRIAN ACCESS EASEMENT FOR THE PASEO DEL PRADO SHALL BE SHADED BY A STRUCTURE, LANDSCAPING OR A COMBINATION OF THE TWO.
 - D. THE SITE SHALL BE DESIGNED IN SUCH A MANNER THAT THE BUILDING PLACEMENT CREATES AN ALIGNMENT AND SYNERGY FOR THE PASEO DEL PRADO. THIS CAN BE ACHIEVED BY PLACING ACTIVE USES SUCH AS OUTDOOR SEATING, RESTAURANTS AND RETAIL ALONG THE PEDESTRIAN PATH.
6. RIGHT-OF-WAY TOTALING 80 FEET SHALL BE DEDICATED FOR 27TH AVENUE FROM BRONCO BUTTE TRAIL TO NORTH FOOTHILLS DRIVE, AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.
7. ALL PEDESTRIAN PATHWAYS, INCLUDING THOSE THAT INTERSECT VEHICULAR TRAFFIC LANES, SHALL BE CONSTRUCTED WITH DECORATIVE PAVERS, STAMPED OR COLORED CONCRETE, OR ANOTHER MATERIAL OTHER THAN THOSE USED TO PAVE THE PARKING SURFACES AND DRIVE AISLES, AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.
8. THE USE OF ARTIFICIAL TURF IS PROHIBITED IN AREAS VISIBLE FROM PUBLIC RIGHT-OF-WAY OR PARKING LOTS, AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.
9. TURF SHALL ONLY BE USED IN ACTIVE RETENTION BASINS, AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.
10. ALL RETENTION AREAS SHALL BE NATURAL AND ORGANIC IN SHAPE, AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.

11. THE HOTEL DEVELOPMENT SHALL BE IN GENERAL CONFORMANCE WITH THE ELEVATIONS DATE STAMPED APRIL 18, 2018, WITH SPECIFIC REGARD TO THE MASSING, ARTICULATION, WINDOW PLACEMENT AND BUILDING ENTRY, AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.
12. THE COLOR AND MATERIAL PALETTE FOR THE BUILDINGS SHALL BE DETERMINED AT SITE PLAN REVIEW AND SHALL COMPLY WITH THE NORTH BLACK CANYON OVERLAY DISTRICT, WITH SPECIFIC REGARD TO COLORS BEING MUTED AND BLEND WITH, RATHER THAN CONTRAST STRONGLY, WITH THE SURROUNDING DESERT ENVIRONMENT, AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.
13. THE GLAZING ON ALL BUILDING WINDOWS SHALL HAVE A MAXIMUM REFLECTIVITY OF 20%, AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.
14. ALL SERVICE AREAS MUST BE SCREENED TO CONCEAL TRASH CONTAINERS, RECYCLING CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS AND OTHER MECHANICAL AND OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS AND PRIVATE DRIVES, AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.
15. A MINIMUM LANDSCAPE SETBACK OF 10 FEET SHALL BE REQUIRED ALONG PROPERTY LINES THAT ARE NOT ADJACENT TO PUBLIC RIGHT OF WAY AND PLANTED IN ACCORDANCE WITH C-2 PLANTING SIZE AND SPACING STANDARDS, AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT
16. THE BRONCO BUTTE WATER TANK SHALL BE FULLY PRESERVED, IN PLACE, AS IT NATURALLY OCCURS AND SHALL BE IDENTIFIED ON ALL SITE PLAN DOCUMENTS THROUGH PERMITTING TO ENSURE PRESERVATION.
17. VIEW CORRIDORS OF BRONCO BUTTE, PYRAMID PEAK, UNION HILLS AND NO NAME MOUNTAIN, AS SHOWN ON EXHIBIT B IN THE NORTH GATEWAY CORE PLAN, SHALL BE RETAINED THROUGH BUILDING PLACEMENT AND STEP BACKS, AS APPROVED BY THE PLANNING AND DEVELOPMENT DEPARTMENT.

Addendum A to the Staff Report Z-20-17-2

May 8, 2018

Page 5 of 5

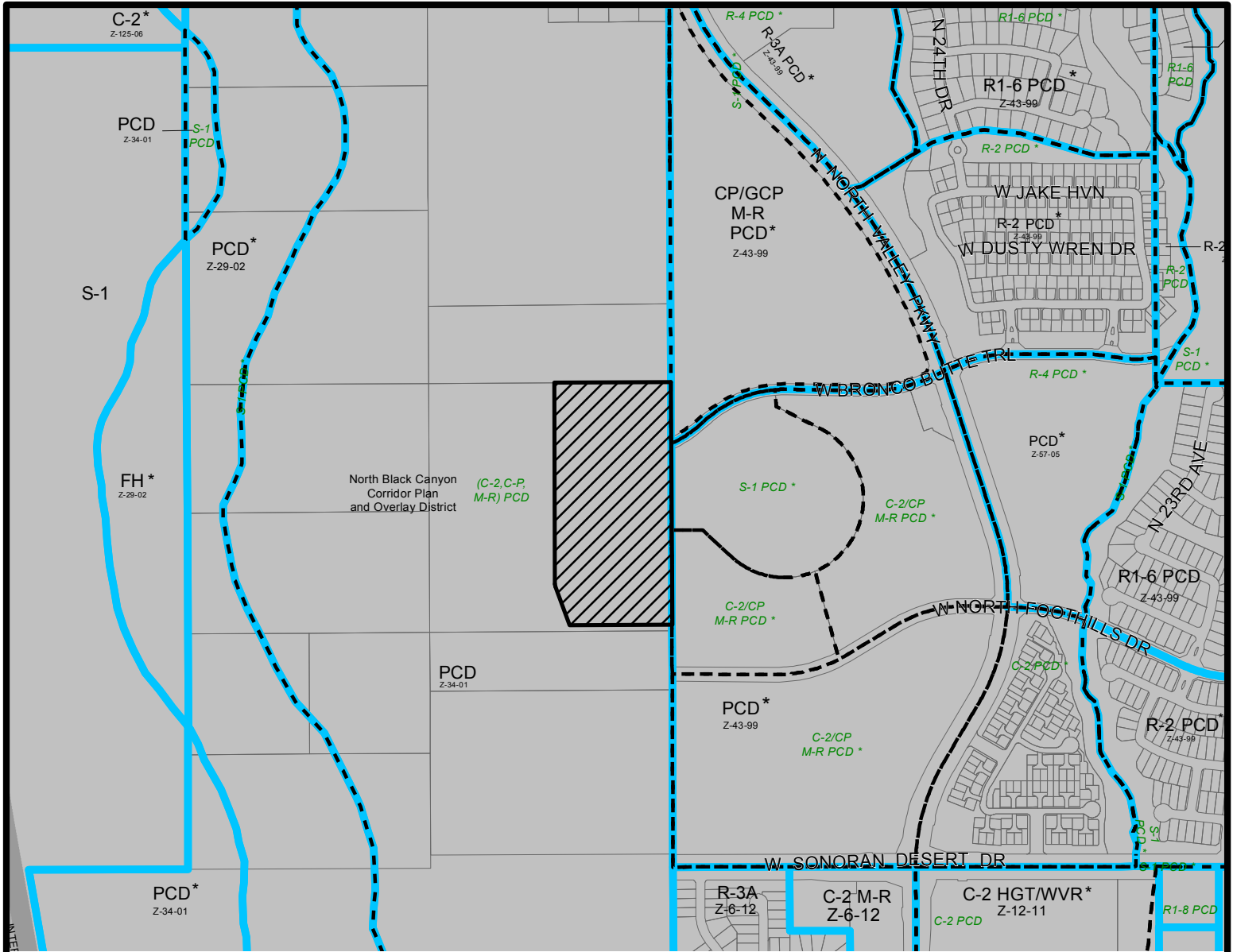
Exhibits

Sketch Map

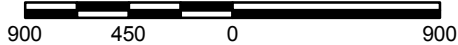
Aerial Map

Site Plan, date stamped April 18, 2018

Elevations and renderings, date stamped April 18, 2018 (5 pages)

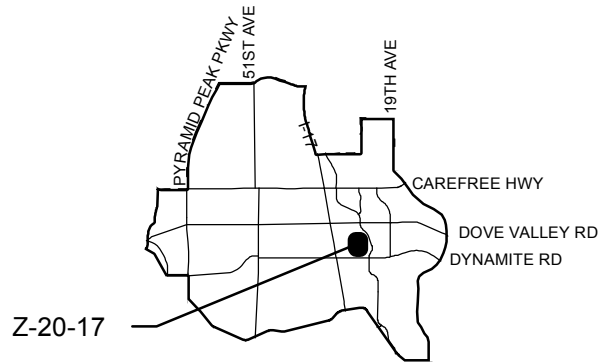


Feet

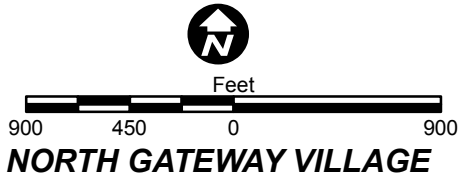
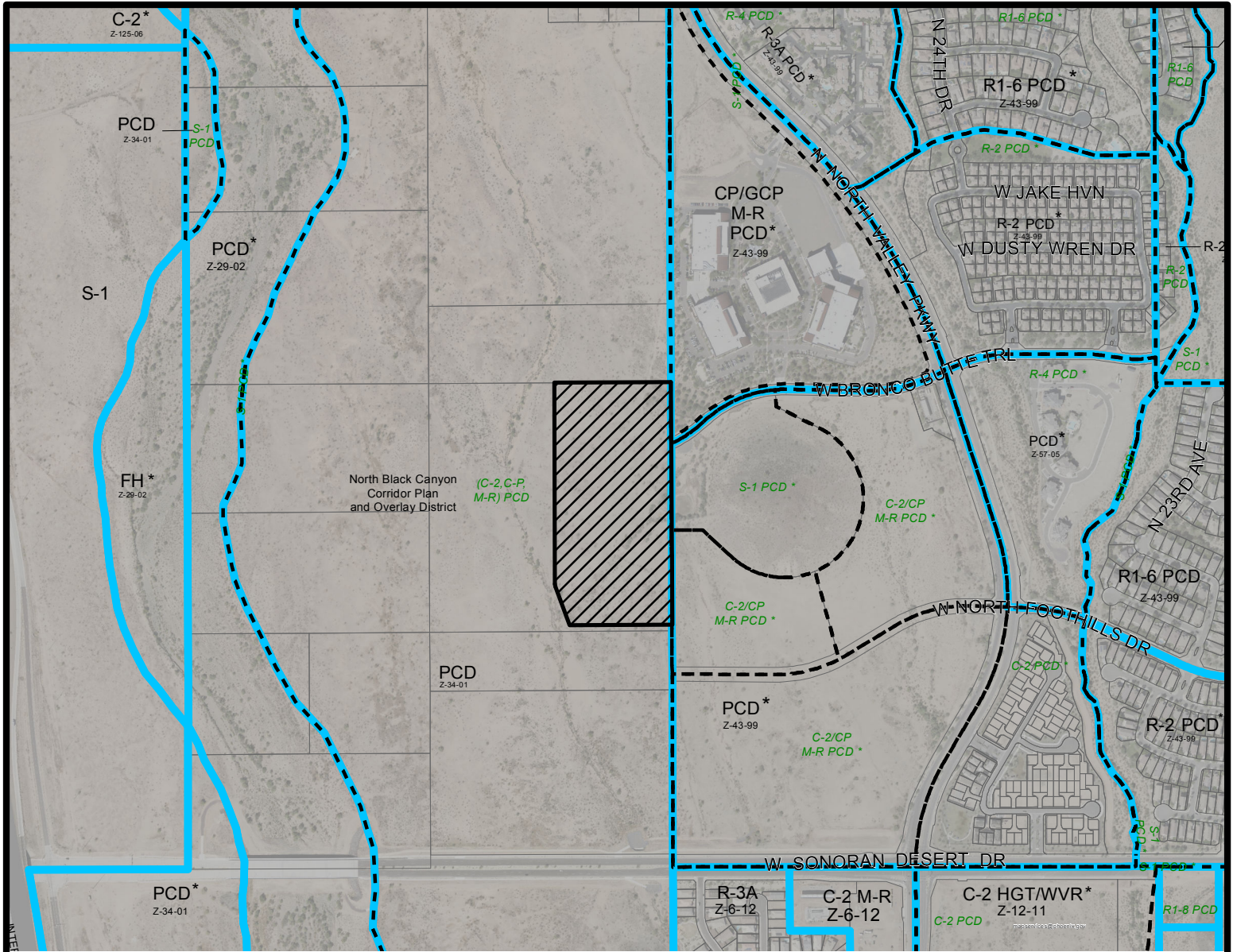


NORTH GATEWAY VILLAGE

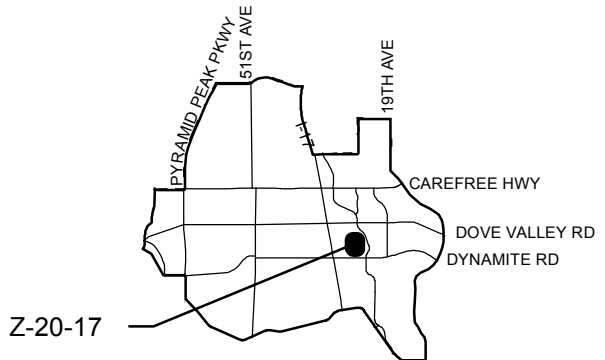
CITY COUNCIL DISTRICT: 2



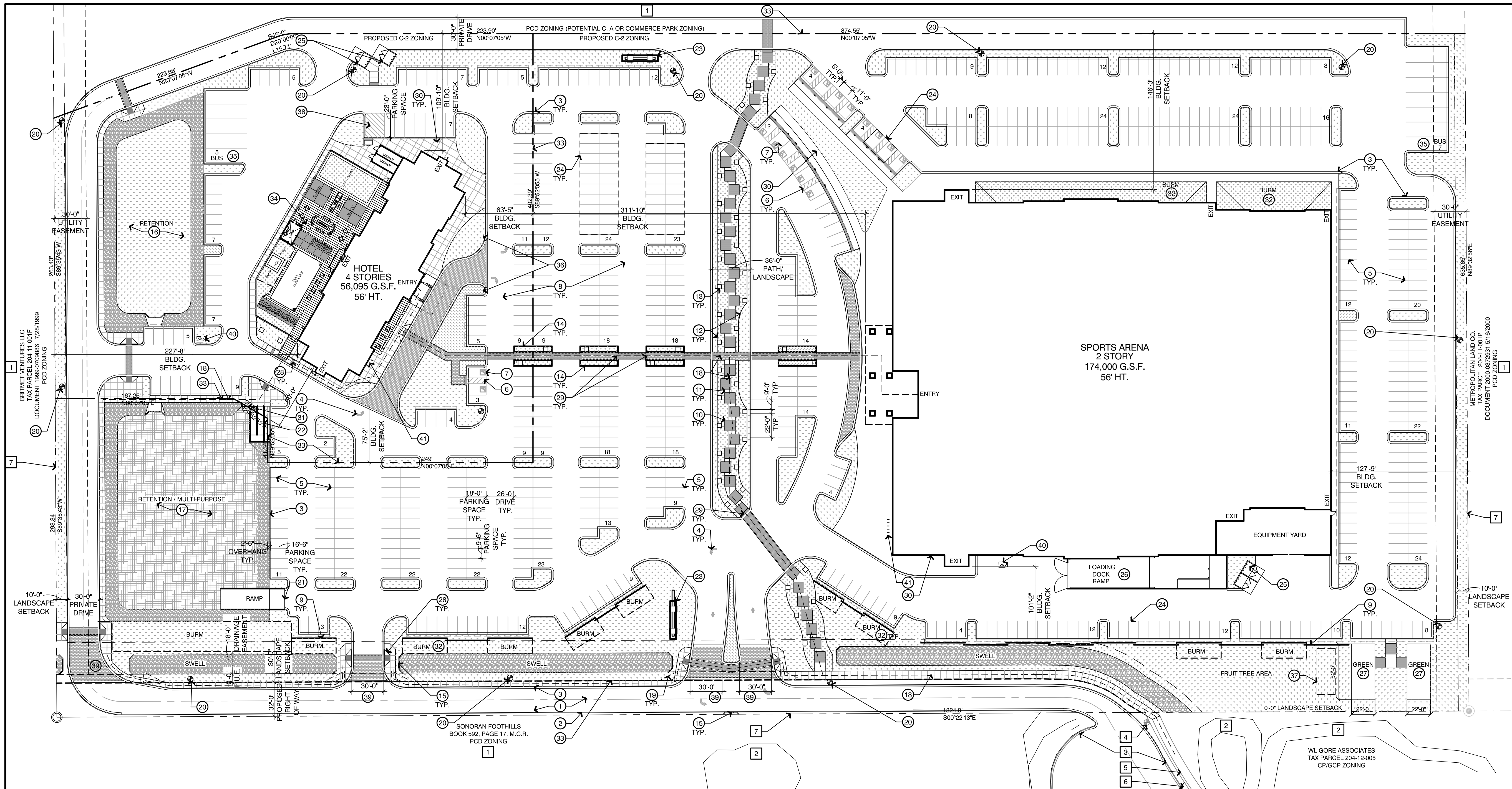
APPLICANT'S NAME: City of Phoenix Planning Commission		REQUESTED CHANGE: FROM: PCD NBCOD (Approved C-2 / CP M-R PCD NBCOD) (19.22 a.c.) TO: C-2 M-R NBCOD (19.22 a.c.)	
APPLICATION NO. Z-20-17	DATE: 08/10/2017 REVISION DATES: 04/18/2018 04/26/2018		
GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX. 19.22 Acres	AERIAL PHOTO & QUARTER SEC. NO. QS 55-22	ZONING MAP Q-7	
MULTIPLES PERMITTED PCD NBCOD (Approved C-2 / CP M-R PCD NBCOD) C-2 M-R NBCOD	CONVENTIONAL OPTION N/A, (278, N/A) 278	* UNITS P.R.D. OPTION N/A, (334, N/A) 334	
* Maximum Units Allowed with P.R.D. Bonus			



CITY COUNCIL DISTRICT: 2



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PROJECT TEAM

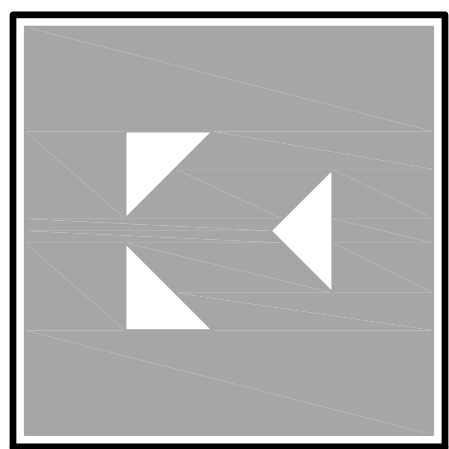
OWNER:
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 PHONE: (480) 595-2719
 CONTACT: ROBERT EATON
 EMAIL: ROBERT@TUSCANIPOINT.COM

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 CONTACT: JAY JOLLEY
 EMAIL: JAY@KIARCHITECTS.COM

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 PHOENIX, ARIZONA 85016
 PHONE: (602) 230-0600
 CONTACT: KIRSTE KOWALSKY
 EMAIL: KIRSTE@WITHEYMORRIS.COM

LEGEND

- RIPRAP AND LANDSCAPING
- LANDSCAPING AND IRRIGATION
- LANDSCAPING ARTIFICIAL TUFF
- LANDSCAPING NATURAL TUFF AND IRRIGATION
- 16 x 16 LARGE FORMAT PAVER
- 16 x 8 SMALL FORMAT PAVER



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 ARCHITECTS
 INTERIORS
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 SUITE 200
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 PH: 602.262.3820
 FAX: 602.262.3838

ELEGACY SITE PLAN
 PARKING LOT
 32000 NORTH 28TH AVENUE
 PHOENIX, ARIZONA

REVISIONS

NO.	DESCRIPTION	DATE

OWNERSHIP OF DOCUMENTS

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT FOR WHICH THEY WERE PREPARED IS EXECUTED OR NOT. THEY ARE NOT TO BE USED ON OTHER PROJECTS OR EXTENSIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO K & I ARCHITECTS AND INTERIORS.

CITY OF PHOENIX
 Planning & Development
 Department

SHEET TITLE:
 OVERALL SITE PLAN

JOB NUMBER: 181900
DRAWN BY: J. JOLLEY
CHECKED BY: J. JOLLEY
ISSUE DATE: 04.16.18

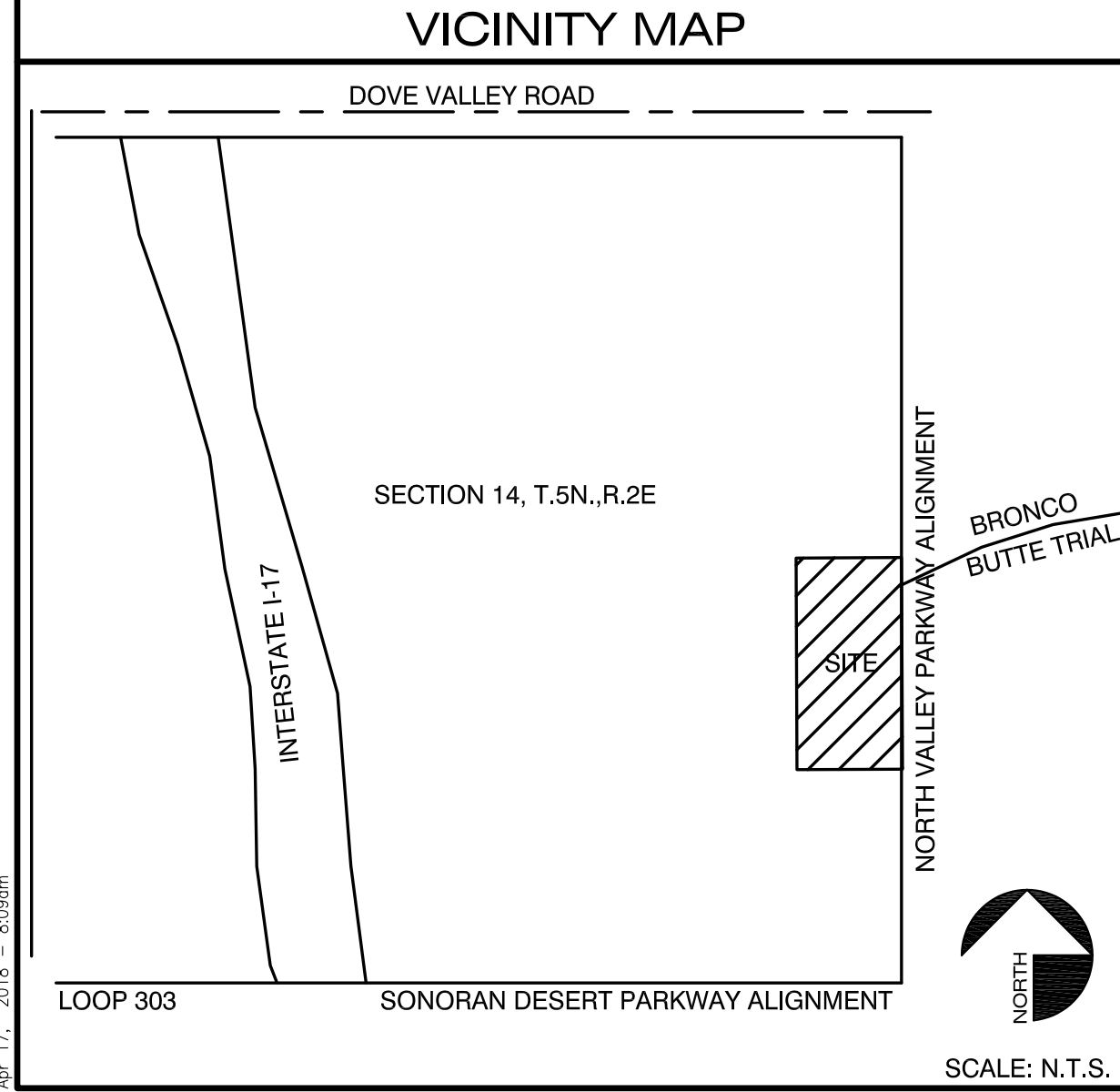
Expires: 06/30/2019

SHEET NUMBER:
SP1.0

1 OF 1

I CONSENT TO THE REPRODUCTION OF THIS SITE PLAN PROVIDED THAT IF MODIFICATIONS ARE MADE, THE ARCHITECTS WHO MAKE SUCH CHANGES FULL RESPONSIBILITY & LIABILITY FOR THE PLAN.

SIGNATURE OF COPYRIGHT OWNER
 JAY R. JOLLEY 04.16.18
 PRINTED NAME OF COPYRIGHT OWNER DATE



PROJECT DATA

ADDRESS: 32000 NORTH 28TH STREET PHOENIX, ARIZONA
PARCEL #S: 204-11-001C
PROPOSED USE: MIXED USE (HOTEL AND SPORTS ARENA)

GROSS/NET SITE AREA LOT 1 (HOTEL): 160,377.72 S.F. OR 3.68 ACRE
GROSS/NET SITE AREA LOT 2 (ARENA): 676,857.98 G.S.F. OR 15.54 ACRE
NET SITE AREA LOT 2 (ARENA): 645,155.98 G.S.F. OR 14.81 ACRE

EXISTING ZONING: PCD
PROPOSED ZONING: C-2

BUILDINGS:
 HOTEL (TYPE V-A) 56,095 G.S.F.
 MAIN LEVEL 14,560 G.S.F.
 2ND FLOOR 13,845 G.S.F.
 3RD FLOOR 13,845 G.S.F.
 4TH FLOOR 13,845 G.S.F.
 SPORTS ARENA (TYPE II-A) 174,000 G.S.F.
 MAIN LEVEL 131,000 G.S.F.
 2ND FLOOR 43,000 G.S.F.

LOT COVERAGE: 50% (MAX. OF NET)
 LOT 1 (HOTEL) 9.07%
 LOT 2 (SPORTS ARENA) 20.3%

LANDSCAPE: 10% (MIN)
 LOT 1 (HOTEL) 17.55%
 LOT 2 (SPORTS ARENA) 16.92%

PARKING:
 HOTEL 92 ROOMS 1 PER ROOM = 92
 SPORTS ARENA 1,020 SEATS / 4 = 255
 PUBLIC ASSEMBLY - SPECTATOR 4,000 S.F. / 60 = 67
 PUBLIC ASSEMBLY - GENERAL 2 FIELDS X 15 = 30
 VOLLEY BALL / BASKETBALL COURT 5 COURTS x 9 PLUS 1 HALF x 6 = 51
 RETAIL OFFICE 3,600 S.F. / 300 = 12
 RESTAURANT INDOOR 9,000 S.F. / 50 = 180
 RESTAURANT OUTDOOR 3,000 S.F. / 200 = 15

TOTAL: 702 PARKING SPACES REQUIRED
 728 PARKING SPACES PROVIDED OF WHICH 2% (16) ARE ADA COMPLIANT

KEYNOTES

EXISTING **NEW**

1 EXISTING AREA TO REMAIN AS-IS	18 SITE ACCESSIBLE ROUTE
2 EXISTING NATURAL WASH / RETENTION	19 20' x 10' VISIBILITY TRIANGLE
3 EXISTING STREET TO REMAIN	20 FIRE HYDRANT
4 EXISTING FIRE HYDRANT TO REMAIN	21 VEHICLE ACCESS CONCRETE RAMP WITH REMOVABLE METAL GUARD RAIL
5 EXISTING SIDEWALK TO REMAIN	22 ACCESSIBLE CONCRETE RAMP/RAILING
6 EXISTING LANDSCAPE TO REMAIN	23 PROPOSED LOCATION OF MONUMENT SIGN
7 EXISTING PROPERTY LINE TO REMAIN	24 SOLAR COVER PARKING CANOPY
8 HALF ASPHALT PAVED CITY STREET PER STANDARD F SECTION DRIVE	25 BOARD FORM TRASH ENCLOSURE WITH DECORATIVE METAL GATE
9 6" TEMPORARY EXTRUDED CONCRETE CURB	26 LOADING DOCK WITH 8'-0" HIGH BOARD FORM CONCRETE SCREEN WALL AND DECORATIVE METAL GATE
10 6" CONCRETE CURB AND GUTTER	27 CONCRETE SLAB FOR PREFABRICATED GREEN HOUSE
11 PAINTED DIRECTIONAL STREET SIGNAGE	28 ADA COMPLIANT CONCRETE RAMP WITH 2'-0" TRUNCATED DOME DETECTABLE WARNING PAVER
12 4" WIDE WHITE PAINTED PARKING SPACE STRIP	29 2'-0" TRUNCATED DOME DETECTABLE WARNING PAVER
13 4" WIDE YELLOW PAINTED DIAGONAL ACCESSIBLE PATH STRIPING	30 DECORATIVE TROWEL FINISH CONCRETE HARDSCAPE
14 PAINTED ADA SYMBOL AND POST MOUNTING SIGN	31 BOARD FORM RETAINING WALL
15 ASPHALT PAVED PARKING LOT	32 BUILT-UP LANDSCAPE BURM
16 3'-0" HIGH BOARD FORM CONCRETE SCREEN WALL	33 PROPOSED NEW PROPERTY LINE
17 10' x 10' DECORATIVE TREX PATH	34 HOTEL POOL/HOT TUB/GRILL AND OUTDOOR LOUNGE AREA
18 DECORATIVE TROWEL FINISH CONCRETE PATH PAD	35 40'-0" x 14'-0" BUS PARKING SPACE
19 DECORATIVE CORTEN METAL BAND	36 ONE-WAY DO NOT ENTER SIGNAGE
20 DECORATIVE CORTEN METAL TREE BOX	37 UNDERGROUND GRAY WATER TANK WITH PUMP FOR LANDSCAPE IRRIGATION
21 SLOPED BOARD FORM CONCRETE RAISED PLANTER	38 LOADING ZONE WITH 4" WIDE YELLOW PAINTED DIAGONAL STRIPING AND SIGNAGE
22 CONCRETE HEADWALL WITH METAL SECURITY GRATE AND GALVANIZED UNDERGROUND TRANSFER PIPE	39 SITE DRIVE LOCATION
23 LANDSCAPED WATER RETENTION AREA WITH DRYWELL(S)	40 UNDERGROUND GREASE INTERCEPTOR
24 MULTI-FUNCTION TUFF LANDSCAPE WATER RETENTION AREA WITH DRYWELL(S)	41 BIKE RACK

2 OVERALL SITE PLAN
 SCALE: 1" = 50'-0" PROJECT SPORTS COMPLEX- SITE.DWG

DSD APPROVAL

CITY OF PHOENIX
 APR 18 2018
 Planning & Development
 Department

SDEW#
QS #:

CCPR#:
AMND #:

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1 SOUTH ELEVATION
1/8" = 1'-0"



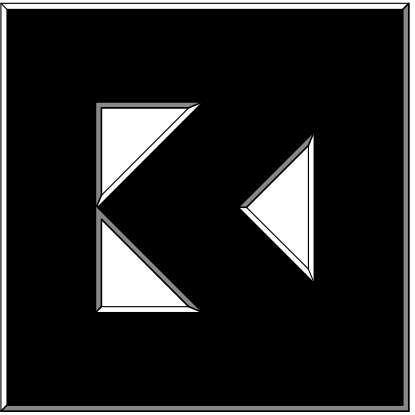
2 EAST ELEVATION
1/8" = 1'-0"

KEYNOTES #

1. 4" EIFS WALL SYSTEM
2. 1 1/2" EIFS WALL SYSTEM
3. 3 COAT STUCCO SYSTEM OVER 4" RIGID INSULATION, STAMP FINAL COAT TO MATCH BOARD FORM CONCRETE - INTEGRAL COLOR
4. FACTORY FINISH FASCIA
5. METAL WALL PANEL, AEP SPAN, FLEX SERIES 1.2FX10-12 OVER 1 1/2" RIGID INSULATION
6. FACTORY FINISH ALUMINUM STOREFRONT SYSTEM WITH 1" INSULATED GLASS
7. FACTORY FINISH AUTOMATIC SLIDING DOOR SYSTEM WITH 1" INSULATED GLASS.
8. EIFS SCORE JOINTS
9. EXTERIOR STOREFRONT DOOR, FRAME AND HARDWARE WITH 1" INSULATED GLASS
10. FACTORY FINISH STANDING SEAM ROOFING SYSTEM, CURVED SPAN LOCK, AEP SPAN WITH PC SNAP ON SYSTEM, 2" BATTEN
11. FACTORY FINISH STANDING SEAM ROOFING SYSTEM, FLAT STANDING SEAM, AEP SPAN WITH PC SNAP ON SYSTEM, 2" BATTEN
12. 1X8 TREX WALL CAP
13. BOARD FORM CONCRETE WALL / COLUMN
14. FACTORY FINISH METAL COPING
15. FACTORY FINISH ALUMINUM STORE FRONT SYSTEM WITH SINGLE PANE FROSTED GLAZING
16. WALL MOUNTED AC UNIT (TYPICAL) - MATCH WINDOW MULLION FINISH
17. TUBE STEEL - PAINTED
18. FAUX WOOD PLANK
19. STEEL BEAM

COLOR SCHEDULE #

EIFS SYSTEM: PAREX USA		WINDOW MULLIONS	
E-1	DE 5354 HONEY GLOW	W-1	KYNAR 500 SHASTA WHITE
E-2	DE 6376 LOOKING GLASS	DECKING TREX	
E-3	DE 5732 TEAL ME NO LIES	T-1	HAVANA GOLD
WALL PANEL: AEP SPAN		CEILING	
WP-1	KYNAR 500 - CHARCOAL GREY	C-1	MAPLE EXTERIOR
ROOF PANEL			
R-1	KYNAR 500 - CHARCOAL GREY		
PAINT: DUNN EDWARDS			
P-1	DE 5354 HONEY GLOW	CITY OF PHOENIX APR 18 2018 Planning & Development Department	
P-2	DE 6376 LOOKING GLASS		
P-3	DE 5732 TEAL ME NO LIES		
P-4	DE 6372 LACE VEIL		
STUCCO			
S-1	DAVIS COLORS GREEN SLATE 3685		



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ELEGACY HOTEL
3200 NORTH 28TH AVENUE,
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Revisions		
#	Description	Date

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JOB NUMBER: 181901
DRAWN BY: S. VALLEE
CHECKED BY: J. JOLLEY
ISSUE DATE: 04/16/18



Expires 06/30/2019
SHEET TITLE:
EXTERIOR ELEVATIONS
SHEET NUMBER:

A4.1

DESIGN DEVELOPMENT

4/16/2018 1:31:06 PM



1 NORTH ELEVATION
1/8" = 1'-0"



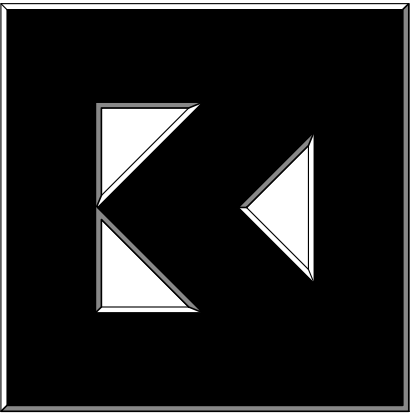
2 WEST ELEVATION
1/8" = 1'-0"

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ROOF PANEL			
R-1	KYNAR 500 - CHARCOAL GREY		
PAINT: DUNN EDWARDS		<p>CITY OF PHOENIX</p> <p>APR 18 2018</p> <p>Planning & Development Department</p>	
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PHOENIX, ARIZONA

Revisions

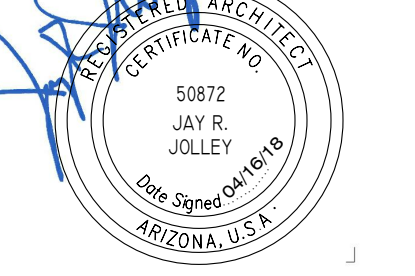
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JOB NUMBER: 181901
DRAWN BY: S. VALLEE
CHECKED BY: J. JOLLEY

ISSUE DATE: 04/16/18



SHEET TITLE:
EXTERIOR ELEVATIONS
SHEET NUMBER:

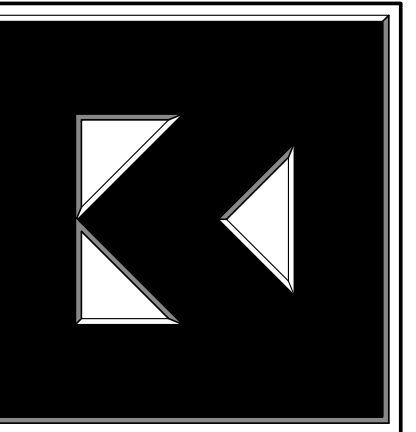
A4.2

DESIGN DEVELOPMENT



CITY OF PHOENIX
APR 16 2018
Planning & Development
Department

1 PERSPECTIVE VIEW



K & I
ARCHITECTS
1850 N. CENTRAL AVE.
PHOENIX, AZ 85004
PH: 602.262.9838
FAX: 602.262.9838



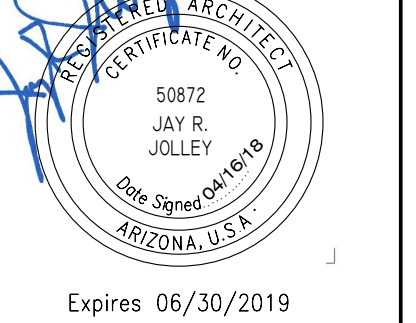
eLEGACY HOTEL
3200 NORTH 28TH AVENUE,
PHOENIX, ARIZONA

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SHEET TITLE:
RENDERINGS

SHEET NUMBER:

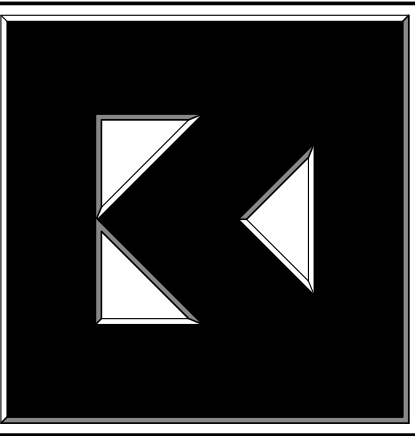
R1.1

DESIGN DEVELOPMENT



CITY OF PHOENIX
APR 18 2018
Planning & Development
Department

1 PERSPECTIVE VIEW



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SHEET TITLE:
RENDERINGS

SHEET NUMBER:

R1.2

DESIGN DEVELOPMENT

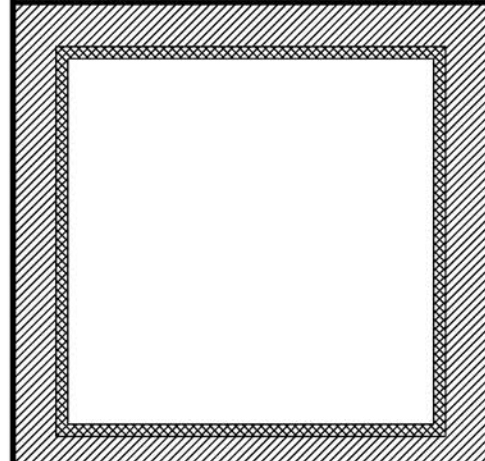


1 EXTERIOR ELEVATION A
 ### Scale | 1/16"=1'-0"



2 EXTERIOR ELEVATION LEFT
 ### Scale | 1/16"=1'-0"

CITY OF PHOENIX
 APR 18 2018
 Planning & Development
 Department



REVISIONS

EATON ARENA

Project Location

City, State

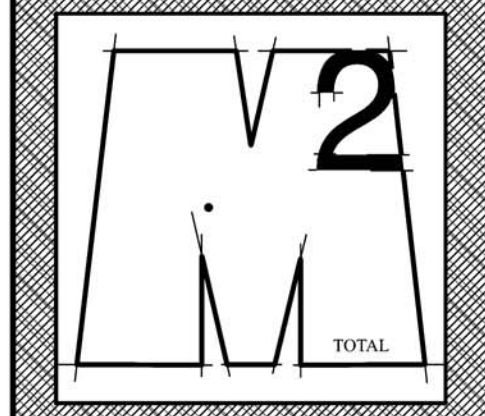
Date

THE MILBERGER ARCHITECTURAL GROUP, LLC
 7501 South Hammond Parkway, Ste. 112, Humble, TX 75801 (281)460-7700

DRAWN BY:	EDM
DATE	
CHECKED	EDM
Printed	SDATES
	STIMES

CONTENTS:

2017.102
 JOB NUMBER



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