



City of Phoenix
PLANNING & DEVELOPMENT DEPARTMENT

Staff Report: Z-18-18-6
May 22, 2018

Camelback East [Village Planning Committee Meeting Date](#) June 5, 2018
[Planning Commission Hearing Date](#) August 2, 2018

Request From: [R1-6](#) (Single-Family Residence District) (1.57 acres)
Request To: [R-O](#) (Residential Office District) (1.57 acres)
Proposed Use Residential office
Location Southeast corner of 32nd Street and Campbell Avenue
Owner 4441, LLC and Surender/Sunjatha Gunnala
Applicant/ Representative Ed Bull, Burch & Cracchiolo, P.A.
Staff Recommendation Approval, subject to stipulations

General Plan Conformity			
General Plan Land Use Designation		Residential 3.5 to 5 dwelling units per acre	
Street Map Classification	32nd Street	Arterial	40-foot east half street
	Campbell Avenue	Minor Collector	40-foot south half street
	Roma Avenue	Local	25-foot north half street
<p><i>STRENGTHEN OUR LOCAL ECONOMY; ENTREPRENEURS AND EMERGING ENTERPRISES; LAND USE PRINCIPLE: Encourage land uses that promote the growth of entrepreneurs or new businesses in Phoenix in appropriate locations.</i></p> <p>The conversion of the site to an office use encourages the growth of local businesses that are appropriately located along arterial and minor collector streets.</p>			
<p><i>BUILD THE SUSTAINABLE DESERT; TREES AND SHADE; DESIGN PRINCIPLE: New development should minimize surface parking areas and provide an abundance of shade through either trees or structures on any planned parking areas.</i></p> <p>The proposed development will provide additional landscape islands in the development parking area to provide additional shade and to buffer the residential uses to the east.</p>			

CELEBRATE OUR DIVERSE COMMUNITIES AND NEIGHBORHOODS; EMERGING ENTERPRISES; LAND USE PRINCIPLE: New development and expansion or redevelopment of existing development in or near residential areas should be compatible with existing uses and consistent with adopted plans.

The proposed site plan and elevation plans ensure that the development will be compatible with the scale of the surrounding neighborhood and adjacent residential uses.

Applicable Plans and Principles

Reimagine Phoenix

See background item #7.

The Tree and Shade Master Plan

See background item #8.

Complete Streets Guiding Principles

See background item #9.

Surrounding Land Uses/Zoning

	<u>Land Use</u>	<u>Zoning</u>
On Site	Single-family residences	R1-6
North (across Campbell Avenue)	Commercial development	C-1
South (across Roma Avenue)	Single-family residences	R1-6
East	Single-family residences	R1-6
West (across 32nd Street)	Medical offices	C-O

Background/Issues/Analysis

SUBJECT SITE

1. This request is to rezone a 1.57-acre site, located at the southeast corner of 32nd Street and Campbell Avenue from R1-6 (Single-family Residence District) to R-O (Residential Office District) to allow residential office development.

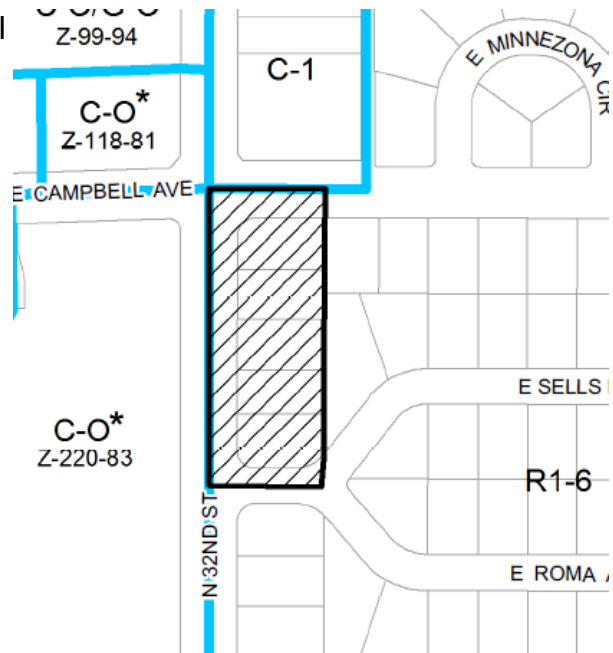
The subject site has street frontages on 32nd Street, Campbell Avenue, and Roma Avenue, and is currently developed with five single-family homes.



Source: City of Phoenix Planning and Development Department

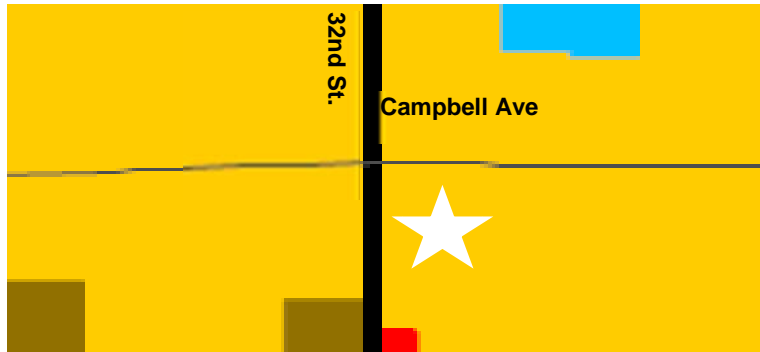
SURROUNDING USES AND ZONING

2. North of the subject site is a commercial property being developed for restaurant uses and zoned C-1. South, across Roma Avenue, and east of the subject site, are single-family residences zoned R1-6. West of the subject site is a medical office development zoned C-O.



Source: City of Phoenix Planning and Development Department

3. The General Plan Land Use Map designation for the subject property is Residential 3.5 to 5 dwelling units per acre. The request is not consistent with the existing General Plan Land Use Map designation; however, an amendment to the General Plan is not required as the size of the property does not exceed 10 acres.



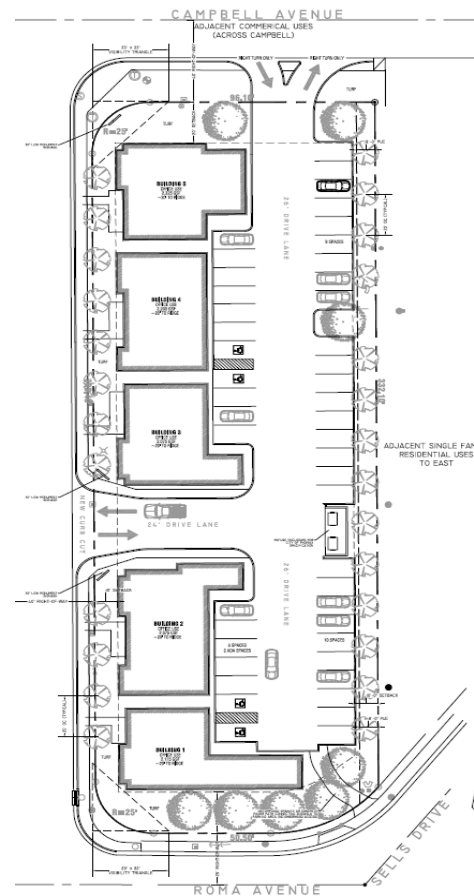
Source: City of Phoenix Planning and Development Department

PROPOSAL

4. The proposed project consists of five single-family parcels. The proposed conceptual site plan depicts the parcels being combined and developed as one residential office development. The five single-family homes on the site will be replaced with five new office buildings.

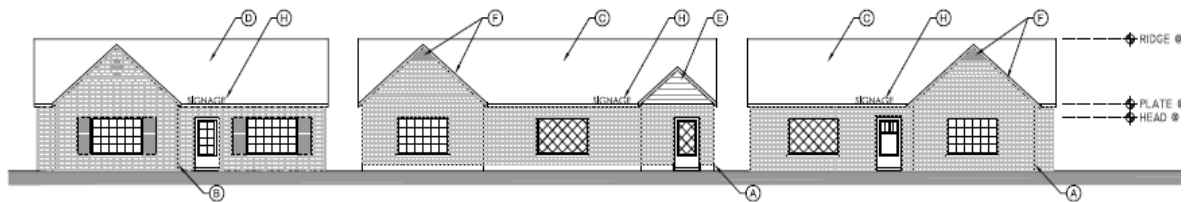
Staff has stipulated that access to and from Campbell Avenue be limited to right-in and right-out only. Additionally, staff has stipulated a one-foot vehicular non-access easement (VNAE) be provided along the southern boundary of the site, along Roma Avenue. This will limit the amount of commercial traffic that enters the residential neighborhood. These are addressed in Stipulation Nos. 9 and 10.

To further limit the impact on the single-residences to the east, staff stipulated a maximum height for freestanding lighting within 20 feet of a residential zoning district. Further, staff has stipulated that there will be no internally lit signs on-site. These are addressed in Stipulation Nos. 4 and 5.



Source: Conceptual site plan provided by the applicant.

5. The proposed building elevations depict the residential character of the area by including materials and details such as brick, wood lap-board siding, wood trim, gable vents, wood shutters and lattice for ivy, among other elements. Staff is proposing a general conformance stipulation with specific regard to the building materials and architectural details noted on the elevation plans and a stipulation limiting the size of individual buildings to ensure the residential character of the development. Additionally, staff is proposing a stipulation requiring architectural details and embellishments on all sides of the buildings. These are addressed in Stipulation Nos. 1 through 3.



Source: Conceptual elevations provided by the applicant.

6. A landscape plan was not submitted as part of this application. Staff has stipulated that the landscaping for the development be complimentary to the landscaping found in the adjacent residential neighborhoods. Additionally, staff is proposing a stipulation that supplementary landscape islands be provided in the proposed parking lot to provide additional shade. Further, the additional landscaping will be placed along the eastern boundary of the parking lot to serve as an additional buffer for the residences to the east of the subject site. These are addressed in Stipulation Nos. 6 and 7.

STUDIES AND POLICIES

7. As part of the Reimagine Phoenix initiative, the City of Phoenix is committed to increasing the waste diversion rate to 40 percent by 2020 and to better manage its solid waste resources. The City of Phoenix offers recycling collection for all single-family residences. The provision of recycling containers was not addressed in the applicant's submittals.
8. The Tree and Shade Master Plan has a goal of treating the urban forest as infrastructure to ensure that trees are an integral part of the city's planning and development process. A vision in the master plan is to raise awareness by leading by example. Staff has recommended a stipulation regarding additional landscape islands to add shade to the parking lot. This is addressed in Stipulation No. 7.
9. The Guiding Principles for Complete Streets encourage a more walkable environment. Staff proposed a stipulation that the developer provide a 10-foot sidewalk easement along 32nd Street. The sidewalks will be detached from the curb and a 5-foot wide landscape strip will be planted between the curb and the sidewalk.

A sewer main is located in close proximity to the proposed detached sidewalk and landscape strip. Because of this, staff recommends working with the Water Services Department to determine the types of plants and trees that are allowable. The combination of detached sidewalk and landscape strip, is consistent with a complete streets environment. These are addressed in Stipulation Nos. 8 and 9.

COMMUNITY INPUT

From the time the case was filed to the time the staff report was written, no correspondence by the public was received by staff.

DEPARTMENT COMMENTS

10. The Water Services Departments commented that the property is surrounded with existing water main that can potentially serve the development.
11. The Floodplain Management division indicated that the parcel is not located in a Special Flood Hazard Area (SFHA), but is located in a Shaded Zone X, on panel 1745 L of the Flood Insurance Rate Maps (FIRM) dated April 07, 2017.
12. The Street Transportation Department is requesting multiple stipulations such as a dedicated 10-foot sidewalk easement along 32nd Street, access on Campbell Avenue shall be limited to right-in and right-out only, and that the developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, driveways, streetlights, median islands, landscaping and other incidentals, as per plans approved by the City. All improvements shall comply with all ADA accessibility standards. These are addressed in Stipulation Nos. 9, 10, and 12.
13. The Fire Department does not anticipate any problems with this case. They noted that the site and/or buildings shall comply with the Phoenix Fire Code.
14. The site has not been identified as being archaeologically sensitive. However, in the event archaeological materials are encountered during construction, all ground disturbing activities must cease within 33-feet of the discovery and the City of Phoenix Archaeology Office must be notified immediately and allowed time to properly assess the materials. This is addressed in Stipulation No. 14.

OTHER

15. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonments, may be required.

Findings

1. The proposed residential office use is not consistent with the existing General Plan Land Use designation. A general plan amendment is not required as the size of the property does not exceed 10 acres.
2. The proposed rezoning will allow for conversion of residential properties along an arterial street and collector street, to redevelop to a viable office use.
3. The stipulated elevation plan depicts a development that is compatible with the surrounding neighborhood and developments.

Stipulations

1. The development shall be in general conformance with the elevations date stamped March 14, 2018, with specific regard to the following and as approved by the Planning and Development Department:
 - a. Building materials to include brick and wood lap-board siding, or similar materials;
 - b. Architectural details to include wood shutters and lattice, or similar features.
2. All sides of the buildings shall contain architectural embellishments and detailing such as textural changes, pilasters, offsets, recesses, variation in window size and location, and/or other overhang canopies, as approved by the Planning and Development Department.
3. No single building shall exceed 3,000 square feet in size.
4. Freestanding on-site lighting shall not exceed a maximum of six feet in height within twenty feet of a residential zoning district, as approved by the Planning and Development Department.
5. There shall be no internally lit signs on-site, as approved by the Planning and Development Department.
6. Landscaping for the development shall be complementary to landscaping found in the adjacent residential neighborhoods, as approved by the Planning and Development Department.

7. The developer shall provide a minimum of four 5-foot wide landscape islands along the eastern boundary of the parking lot, as approved by the Planning and Development Department.
8. All sidewalks shall be detached with a minimum five-foot wide landscaped strip located between the sidewalk and back of curb, as approved by the Planning and Development Department.
9. The developer shall dedicate a 10-foot sidewalk easement along 32nd Street for the length of the development, as approved by the Planning and Development Department.
10. The driveway on Campbell Avenue shall be limited to right-in and right-out only, as approved by the Street Transportation Department.
11. The developer shall dedicate a one foot Vehicular Non-Access Easement (VNAE) along the south perimeter of the site, as approved by the Planning and Development Department.
12. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
13. The developer shall record a Notice to Prospective Purchasers of Proximity to Airport in order to disclose the existence and operational characteristics of Phoenix Sky Harbor International Airport (PHX) to future owners or tenants of the property.
14. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.

Writer

Elyse DiMartino

May 22, 2018

Team Leader

Samantha Keating

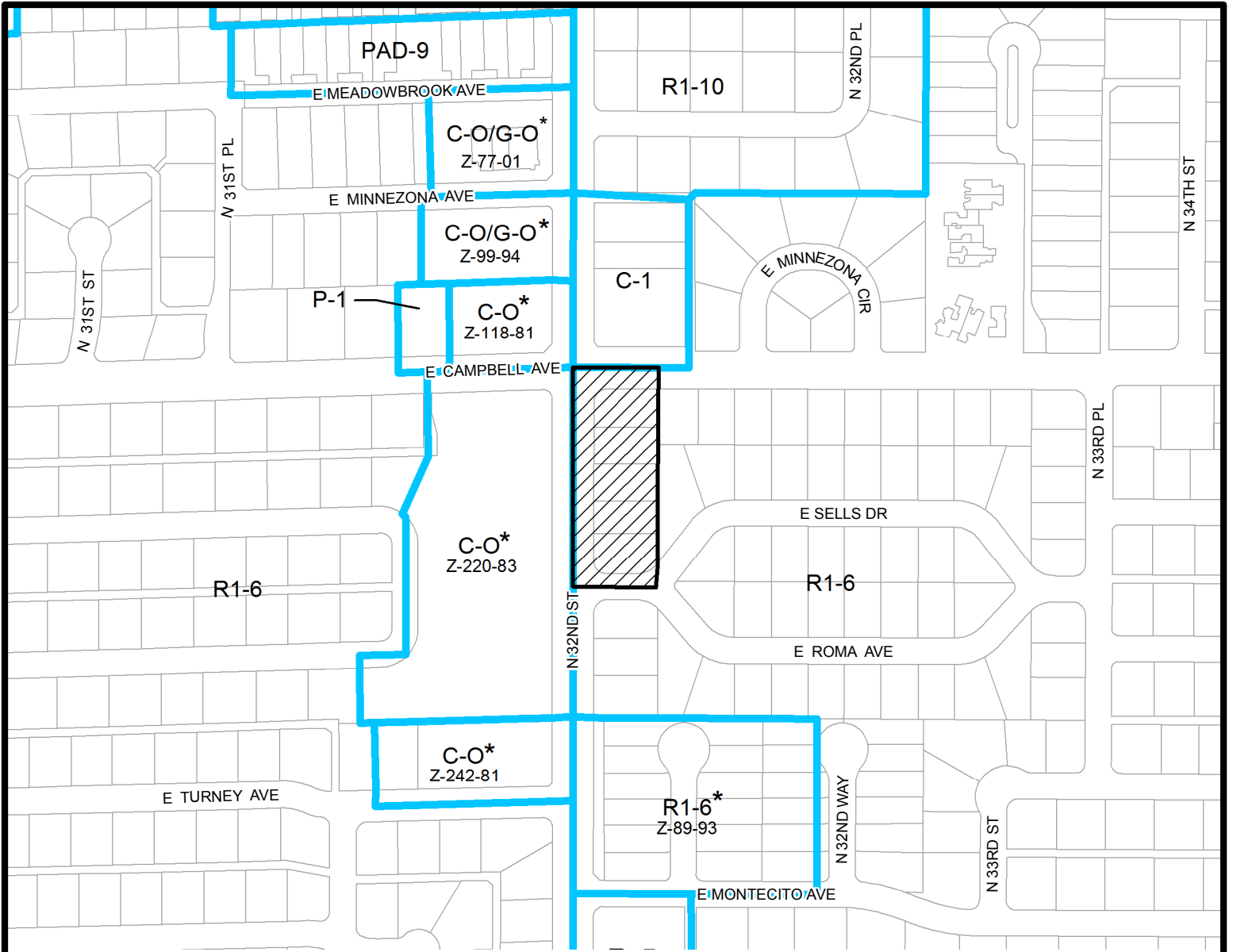
Attachments

Sketch Map

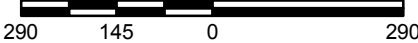
Aerial

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Site Plan Date Stamped March 14, 2018
Elevations Date Stamped March 14, 2018



Feet

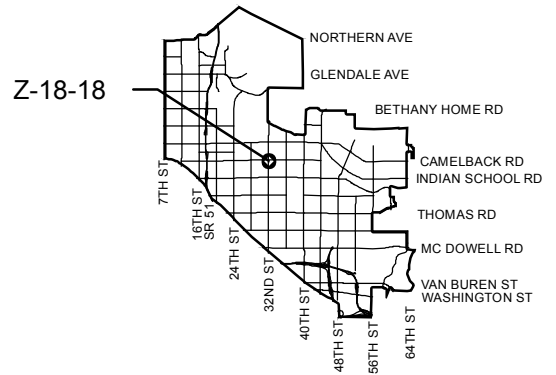


CAMELBACK EAST VILLAGE

CITY COUNCIL DISTRICT: 6

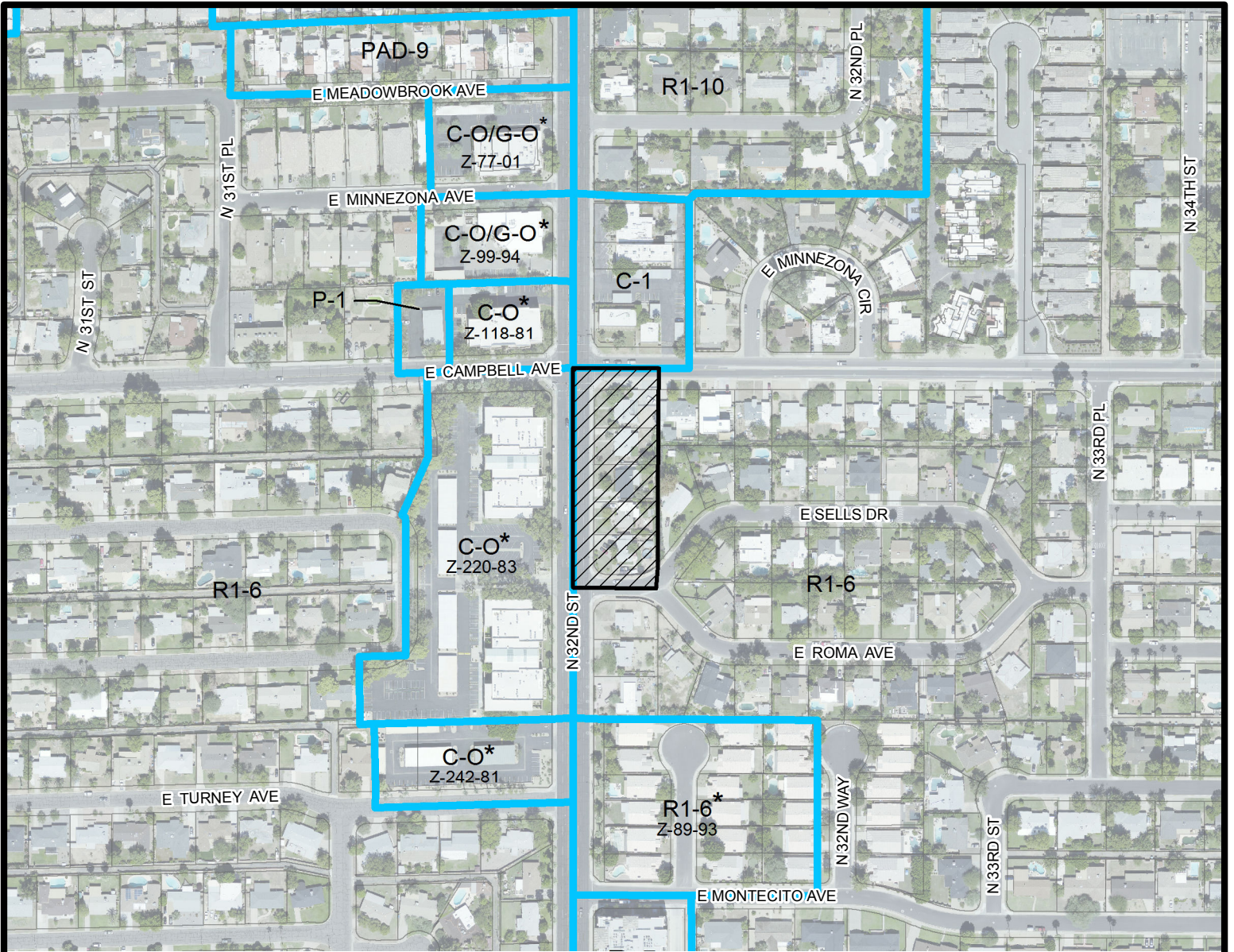


City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT

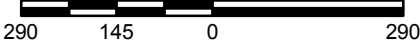


APPLICANT'S NAME: Ed Bull, Burch & Cracchiolo, P.A.		REQUESTED CHANGE:	
APPLICATION NO. Z-18-18		FROM: R1-6, (1.57 a.c.)	
DATE: 3/29/2018 <small>REVISION DATES:</small>		TO: R-O, (1.57 a.c.)	
<small>GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.</small> 1.57 Acres			
<small>AERIAL PHOTO & QUARTER SEC. NO.</small> QS 17-35		<small>ZONING MAP</small> H-10	
MULTIPLES PERMITTED		* UNITS P.R.D. OPTION	
R1-6		10	
R-O		N/A	
CONVENTIONAL OPTION			
8			
1 per development			

* Maximum Units Allowed with P.R.D. Bonus



Feet



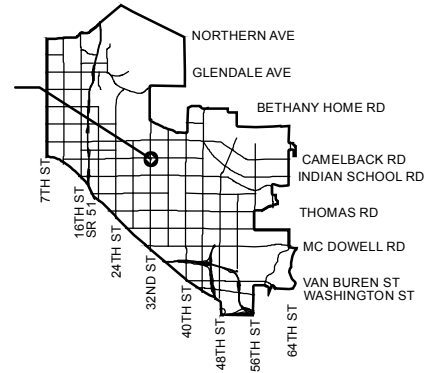
CAMELBACK EAST VILLAGE

CITY COUNCIL DISTRICT: 6



City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT

Z-18-18



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REQUESTED CHANGE:

FROM: **R1-6, (1.57 a.c.)**

APPLICATION NO. **Z-18-18**

DATE: **3/29/2018**
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1.57 Acres

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ZONING MAP
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TO: **R-O, (1.57 a.c.)**

MULTIPLES PERMITTED

R1-6

R-O

CONVENTIONAL OPTION

8

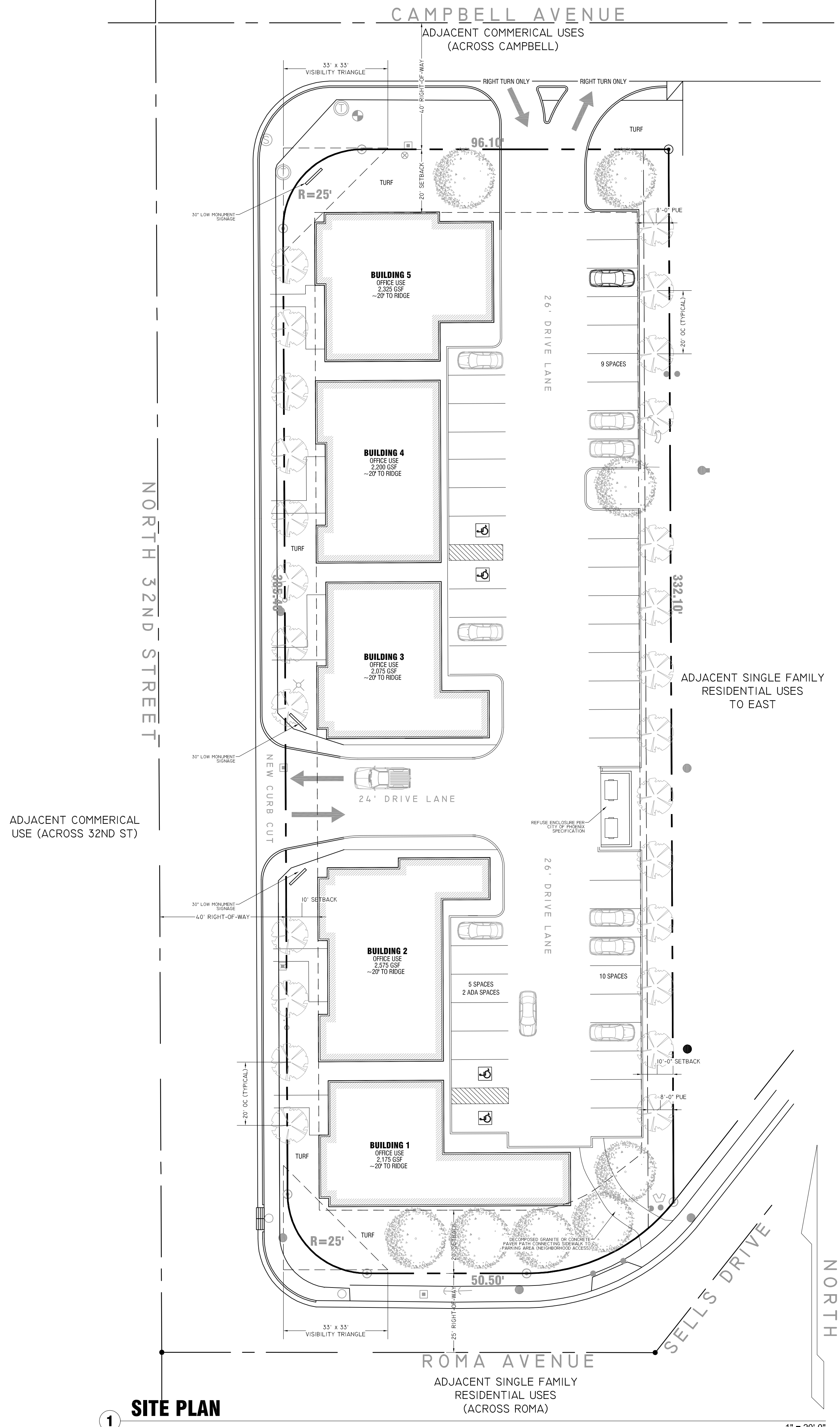
1 per development

*** UNITS P.R.D. OPTION**

10

N/A

* **Maximum Units Allowed with P.R.D. Bonus**



1 SITE PLAN

1" = 20'-0"

PROJECT DESCRIPTION

THE PROPOSED PROJECT CONSISTS OF FIVE SINGLE FAMILY PARCELS TO BE COMBINED AND REZONED AS RESIDENTIAL OFFICE ("RO"). FIVE NEW SMALL OFFICE BUILDINGS ARE TO BE CONSTRUCTED WITH A COMMON PARKING LOT AS A BUFFER TO THE NEIGHBORHOOD TO THE REAR.

THE SITE PLAN WAS DEVELOPED AFTER MULTIPLE NEIGHBORHOOD MEETINGS, WITH BUILDING AND PARKING LOT PLACEMENT REFLECTING THE DESIRES OF THE RESIDENTIAL NEIGHBORS TO THE EAST. INGRESS/EGRESS ALONG 32ND STREET WAS ALSO A DESIRE OF THE NEIGHBORHOOD TO MINIMIZE CUT-THRU TRAFFIC ALONG ROMA AND CAMPBELL. THE RIGHT-IN/RIGHT-OUT CURB CUT ALONG CAMPBELL IS TO FACILITATE FIRE & REFUSE CIRCULATION WHILE MINIMIZING TURNING MOVEMENTS ALONG CAMPBELL.

THE BUILDING ARCHITECTURE IS TO REFLECT THE RESIDENTIAL CHARACTER AND HISTORY OF THE AREA, AND WILL PROVIDE A UNIQUE IDENTITY TO MULTIPLE SMALL BUSINESSES THAT ARE THE INTENDED FUTURE USERS. ALTHOUGH INDIVIDUAL NARROW SIDEWALKS AT 32ND STREET ARE PROPOSED AT EACH BUILDING IN KEEPING WITH THE RESIDENTIAL THEME, IT IS EXPECTED THAT MOST USERS WILL ACCESS THE SITE VIA AUTOMOBILE. THE SIZE OF THE INDIVIDUAL BUILDINGS IS MEANT TO APPEAL TO SMALL BUSINESSES WHO DO NOT WISH TO LEASE LARGE, GENERIC OFFICE SPACE. NOT COINCIDENTLY, THE RESIDENTIAL CHARACTER OF THE PROJECT WAS A STRONG DESIRE EXPRESSED BY THE NEIGHBORHOOD DURING EARLY OUTREACH EFFORTS.

PROJECT INFORMATION

OWNER	4441 LLC, AND SURENDER & SUJATHA GUNNALA
APPLICANT / PLANNER	TRUESPACE ATTN: JASON COMER 3104 EAST CAMELBACK ROAD #126 PHOENIX, ARIZONA 85016
PROJECT ADDRESS & PARCEL NUMBERS	4423 NORTH 32ND STREET 170-28-020 4429 NORTH 32ND STREET 170-28-019 4435 NORTH 32ND STREET 170-28-018 4441 NORTH 32ND STREET 170-28-017 4445 NORTH 32ND STREET 170-28-016 PHOENIX, ARIZONA 85018
PARCEL SIZE	42,770 SF NSF / 0.982 ACRES 67,951 GSF / 1.559 ACRES
MCR SUBDIVISION	41-08 CAMELBACK WAY, LOTS 16-20
S / T / R	24 2N 3E
EXISTING ZONING	RI-6 SINGLE FAMILY RESIDENTIAL
PROPOSED ZONING	R-O RESIDENTIAL OFFICE

LOT COVERAGE CALCULATION

STRUCTURES	2,325 SF	
	2,200 SF	
	2,075 SF	
	2,575 SF	
	2,175 SF	
	11,350 SF	11,350 / 42,770 = 26.53% LOT COVERAGE

PARKING CALCULATION

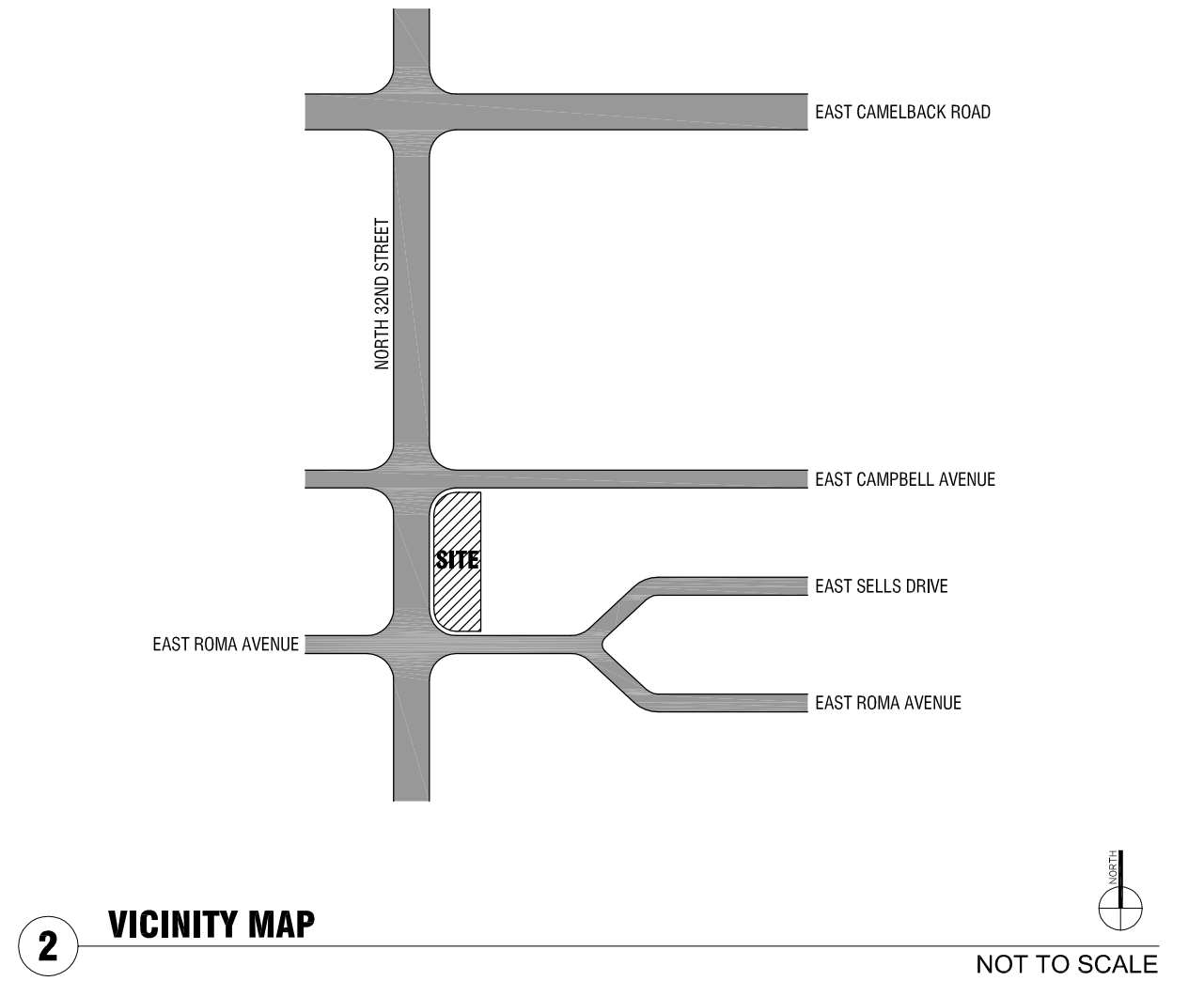
11,350 SF OFFICE USE
11,350 @ 1/300 = 38 SPACES REQUIRED, 44 SPACES PROVIDED

APPLICABLE CODES

- CITY OF PHOENIX ZONING ORDINANCE
- 2012 INTERNATIONAL CODE COUNCIL CODES
- 2012 INTERNATIONAL FIRE CODE
- 2011 NATIONAL ELECTRIC CODE / NFPA-70
- 2012 UNIFORM PLUMBING CODE

WITH CITY OF PHOENIX AMENDMENTS TO THE FOLLOWING:

- 2010 ASME
- 2011 NEC
- 2012 IBC ADMINISTRATIVE PROVISIONS
- 2012 IBC
- 2012 IECC
- 2012 IEBC
- 2012 IFC
- 2012 IFGC
- 2012 IGCC
- 2012 IMC
- 2012 IRC
- 2012 IPC & UPC



2 VICINITY MAP

CITY OF PHOENIX
MAR 14 2018
Planning & Development Department

4423 NORTH 32ND STREET
4499 NORTH 32ND STREET
4435 NORTH 32ND STREET
4441 NORTH 32ND STREET
4445 NORTH 32ND STREET

THE HOME OFFICE

TRUESPACE
APPLICANT/PLANNER:
TRUESPACE
ATTN: JASON COMER
3104 EAST CAMELBACK RD #126
PHOENIX, ARIZONA 85006
(602) 373-7934
JASONCOMER@GMAIL.COM

REVISION	DATE

ZONING SUBMITTAL

ISSUED: MARCH 12, 2018

SITE PLAN
C1.0

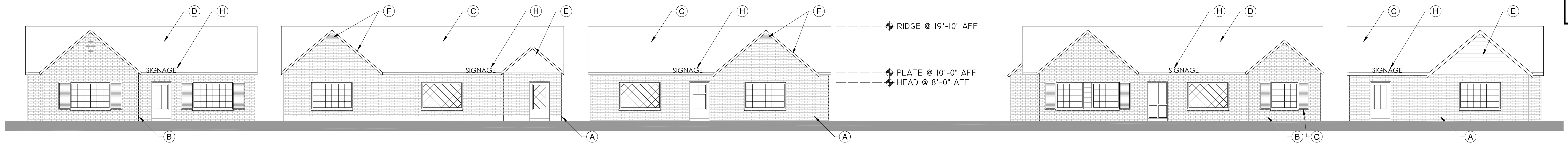
CITY OF PHOENIX

MAR 14 2018

Planning & Development
Department

4423 NORTH 32ND STREET
4499 NORTH 32ND STREET
4435 NORTH 32ND STREET
4441 NORTH 32ND STREET
4445 NORTH 32ND STREET

THE HOME OFFICE
ON 32ND STREET



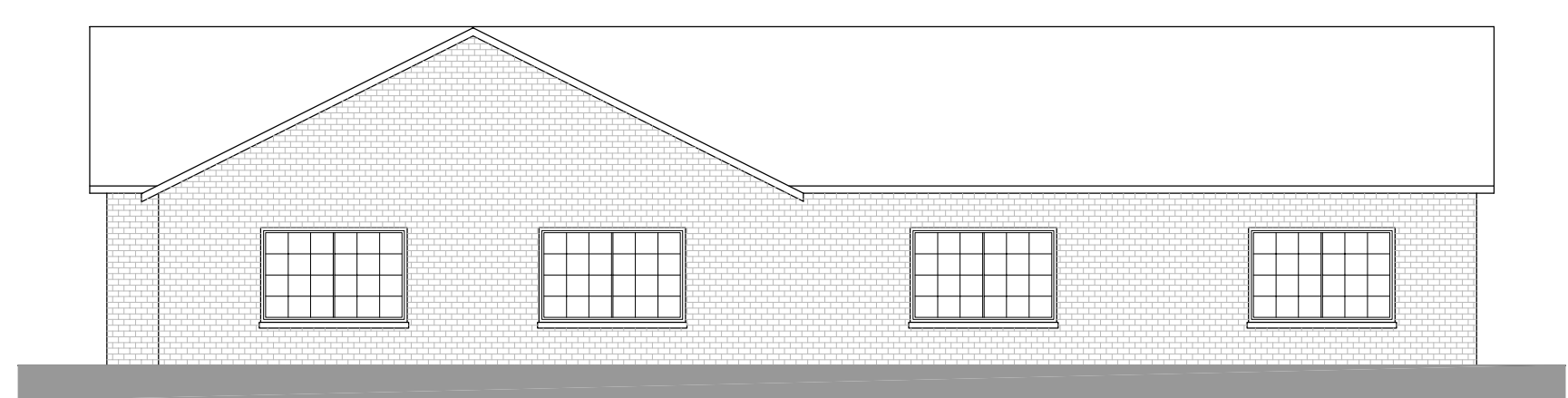
1 WEST ELEVATION (VIEW ALONG 32nd STREET)

1" = 10'-0"



2 EAST ELEVATION (VIEW FROM PARKING)

1" = 10'-0"



3 SOUTH ELEVATION (VIEW ALONG ROMA)

1" = 10'-0"



4 NORTH ELEVATION (VIEW ALONG CAMPBELL)

1" = 10'-0"

KEYNOTES

- (A) ORANGE-RED BRICK WITH LIGHT GRAY MORTAR
- (B) WHITEWASHED BRICK
- (C) DARK GRAY ASPHALT SHINGLE ROOFING
- (D) MEDIUM WARM GRAY ASPHALT SHINGLE ROOFING
- (E) WARM, GRAY PAINTED WOOD LAP-BOARD SIDING AT GABLE
- (F) WHITE PAINTED WOOD TRIM AND GABLE VENTS
- (G) WARM LIGHT GRAY WOOD SHUTTERS
- (H) 12" PAN LETTER SIGNAGE AT EAVE NEAR BUILDING ENTRY
- (I) LATTICE FOR IVY



APPLICANT/PLANNER:
TRUESPACE
ATTN: JASON COMER
3104 EAST CAMELBACK RD #126
PHOENIX, ARIZONA 85006
(602) 373-7934
JASONCOMER@GMAIL.COM

REVISION	DATE

ZONING SUBMITTAL

ISSUED: MARCH 12, 2018

ELEVATIONS
A2.0