

NAVARRO GROVES

Planned Unit Development
NWC 32nd Street & Highline Canal
Case #Z-15-16

1st Submittal: March 24, 2016

2nd Submittal: June 1, 2016

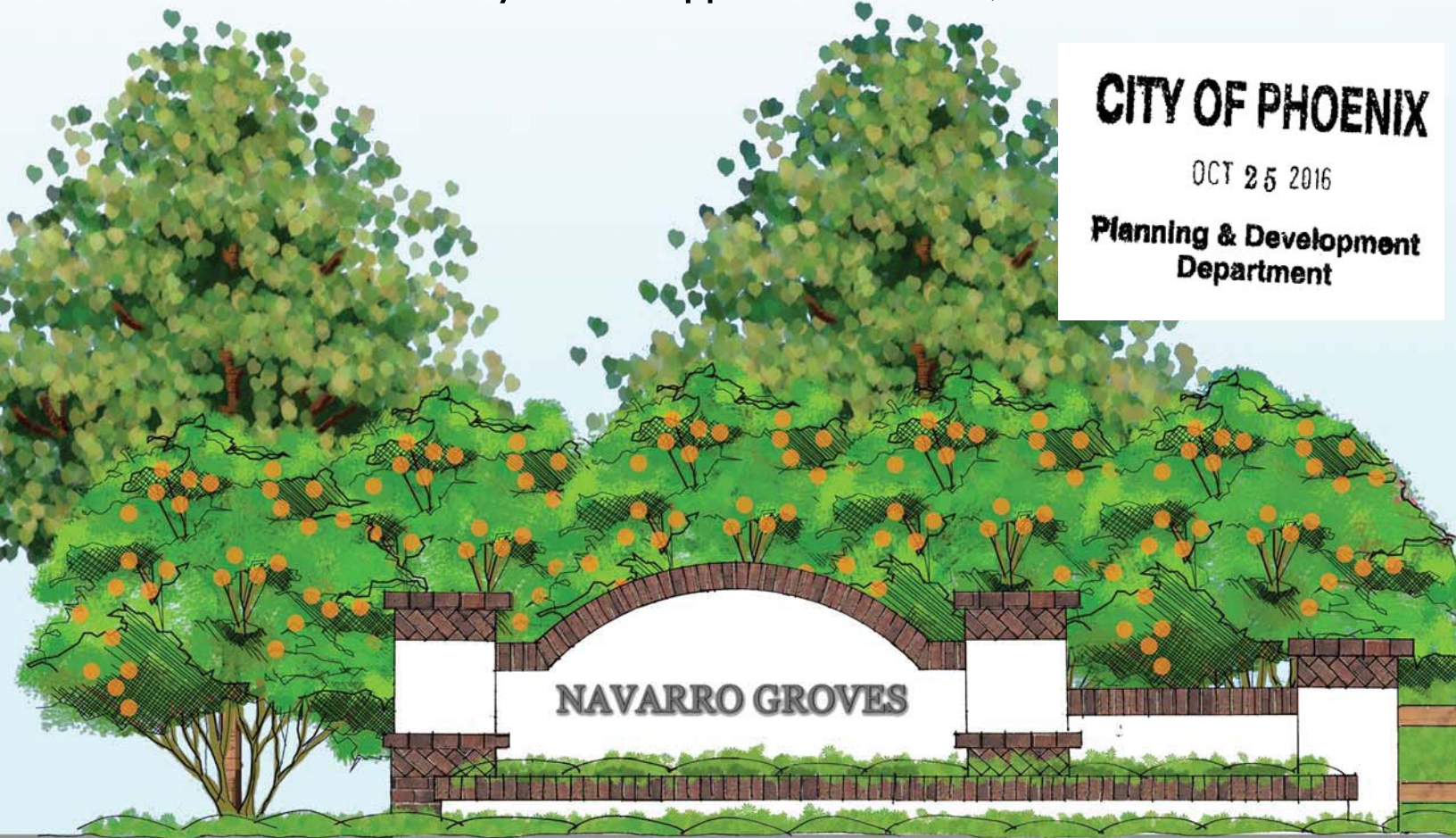
Hearing Draft Submittal: July 15, 2016

Final City Council Approval: October 5, 2016

CITY OF PHOENIX

OCT 25 2016

**Planning & Development
Department**



Maracay Homes

LVA urban design studio
land planning • development entitlements • landscape architecture
120 south ash avenue • tempe, arizona 85281 • 480.994.0994

studio **DPA**
Planning and Landscape Architecture


Kimley-Horn
and Associates, Inc.


BURCH & CRACCHIOLO

Navarro Groves

Planned Unit Development

NWC 32nd Street & Highline Canal

Land Use and Development Standards

Case# Z-15-16

1st Submittal: March 24, 2016

2nd Submittal: June 1, 2016

Hearing Draft Submittal: July 25, 2016

Final City Council Approval: October 5, 2016

A Planned Unit Development (PUD) is intended to be a stand-alone document of zoning regulations for a particular project. Provisions not specifically regulated by the PUD are governed by the Phoenix Zoning Ordinance. A PUD may include background information to help illustrate the intent of the development. The purpose and intent statements are not requirements that will be enforced by the City. The PUD only modifies the Phoenix Zoning Ordinance regulations and does not modify other City Codes or requirements.

Development Team

**DEVELOPER /
OWNER
REPRESENTATIVE:**

Maracay Homes
15279 N. Scottsdale Road
Suite #300
Scottsdale, AZ 85254
(480) 346-5204

Tom Lemon
tlemon@maracayhomes.com

LAND PLANNER:

LVA Urban Design Studio, LLC
120 S. Ash Avenue
Tempe, Arizona 85281
(480) 994-0994

Keith Nichter
knichter@lvadesign.com

**LEGAL
REPRESENTATIVE:**

Burch & Cracchiolo, P.A.
702 E. Osborn Road,
Suite #200
Phoenix, AZ 85014
(602) 274-7611

Ed Bull
ebull@bcattorneys.com

**LANDSCAPE
ARCHITECT:**

Studio DPA
P.O. Box 7999
Tempe, Arizona 85281
(480) 577-5818

Andrea Pedersen
asp@studiodpa.com

CIVIL ENGINEER:

Kimley-Horn
7740 North 16th Street,
Suite #300
Phoenix, AZ, 85020
(602) 906-1373

Andrew Jupp, PE
andrew.jupp@kimley-horn.com

**NAVARRO GROVES
32ND AND HIGHLINE CANAL
PLANNED UNIT DEVELOPMENT
DRAFT PUD TABLE OF CONTENTS**

EXECUTIVE SUMMARY v

A. PURPOSE AND INTENT..... 2

 1. REGULATORY PROVISIONS 2

B. DEVELOPMENT PLAN 2

 1. LOCATION AND ACCESS..... 3

 2. LAND USE..... 3

 3. DEVELOPMENT STANDARDS..... 3

C. SITE LOCATION AND CONDITIONS..... 6

 1. SITE LOCATION AND CONDITIONS 6

 2. TOPOGRAPHY AND PHYSICAL FEATURES 6

 3. SURROUNDING CONTEXT 6

D. CONFORMANCE WITH GENERAL PLAN OBJECTIVES AND CORE VALUES 9

 1. A STATEMENT OF CONFORMITY 9

E. ZONING AND LAND USE COMPATIBILITY 13

 1. SURROUNDING ZONING AND LAND USE 13

F. LAND USES 15

 1. USES..... 15

 2. PERMITTED ACCESSORY USES..... 15

G. DEVELOPMENT STANDARDS 15

 1. DEVELOPMENT STANDARDS (YARD, HEIGHT AND AREA REQUIREMENTS) 15

 2. LANDSCAPE STANDARDS 17

 3. OPEN SPACE STANDARDS 18

 4. GENERAL PLANTING REQUIREMENTS 19

 5. SIGNS 19

H. DESIGN GUIDELINES AND STANDARDS..... 19

 1. FENCES AND WALLS 20

 2. LIGHTING 24

 3. BUILDING MATERIALS 24

 4. RESIDENTIAL DRIVEWAY STANDARDS..... 24

 5. PROJECT ENTRY CURBING..... 24

 6. OPEN SPACE 24

7. LANDSCAPE STANDARDS	25
a. PERMITTED PLANT MATERIALS	26
b. STREETScape – 32 ND STREET	26
c. STREETScape – INTERNAL LOCAL STREET/PRIVATE ACCESSWAY STREETScape	26
d. CANALScape	27
e. PROJECT ENTRY	27
f. TRAILS.....	27
g. LANDSCAPE SUSTAINABILITY	37
8. SHADE.....	37
9. SUSTAINABILITY GUIDELINES.....	37
10. CITY ADMINISTERED DESIGN GUIDELINES.....	38
11. INFRASTRUCTURE STANDARDS.....	38
a. CIRCULATION SYSTEM.....	38
b. STORMWATER / GRADING AND DRAINAGE.....	38
c. WATER AND WASTEWATER SERVICE	39
d. DRY UTILITIES.....	39
12. PHASING PLAN.....	39
APPENDICES.....	40
APPENDIX A: PUD AREA LEGAL DESCRIPTION	
APPENDIX B: PUD PLANT LIST	
APPENDIX C: RESERVED - CITIZEN PARTICIPATION EFFORTS AND SUMMARY	
APPENDIX D: RESERVED - PHOENIX CITY COUNCIL MEETING HEARING MINUTES	
APPENDIX E: RESERVED - PUD – CONDITIONS OF ZONING APPROVAL	
APPENDIX F: COMPARATIVE ZONING TABLE	
APPENDIX G: OPEN SPACE EXHIBIT	

LIST OF FIGURES

FIGURE 1: REGIONAL CONTEXT EXHIBIT 1

FIGURE 2: CONCEPTUAL DEVELOPMENT PLAN 5

FIGURE 3: EXISTING SITE CONDITIONS..... 7

FIGURE 4: PROJECT CONTEXT AND VICINITY..... 8

FIGURE 5: EXISTING & PROPOSED GENERAL PLAN LAND USE 12

FIGURE 6: EXISTING & PROPOSED ZONING..... 14

FIGURE 7: PERIMETER WALL PLAN 22

FIGURE 8: WALL ELEVATIONS..... 23

FIGURE 9: 32nd STREET – STREETScape DETAILS 29

FIGURE 10: CANALSCAPE DETAILS..... 30

FIGURE 11: INTERNAL STREETS 31

FIGURE 12: ENTRY PLAN..... 32

FIGURE 13a: ENTRY CHARACTER DETAILS..... 33

FIGURE 13b: ENTRY CHARACTER DETAILS..... 34

FIGURE 13c: ENTRY CHARACTER DETAILS..... 35

FIGURE 13d: TRAIL DETAILS 36

LIST OF TABLES

TABLE 1: SURROUNDING ZONING 14

Executive Summary

Maracay Homes (“Maracay”) is the proposed developer of approximately 24.78 gross acres located at the northwest corner of 32nd Street and the Highline Canal (the “Site”). See **Exhibit 1, Aerial and Regional Context**. Maracay anticipates developing the Site as a high quality, gated, single-family, one-story residential neighborhood known as “Navarro Groves.” To achieve this, Maracay is requesting the Site be rezoned to Planned Unit Development (“PUD”) for a single-family residential use. The proposed development plan reflects the rural agrarian heritage of the area and is sensitive to the surrounding single-family residences. The development plan includes a self-imposed one-story height restriction on all residences, a minimum 60 foot landscape setback along 32nd Street, and HOA controlled and maintained open spaces throughout the community.

The Navarro Groves Planned Unit Development represents a quality development proposal for a single-family residential neighborhood. Located just north of South Mountain adjacent to the Highline Canal, the community is designed to be sensitive to its surrounding single-family context within an area designated Mixed Use Agricultural on the General Plan Land Use Map. The development concept proposes 54 detached, single-family, residential lots and features a central amenitized open space, as well as significant landscape setbacks and open space areas for a total gross project density of 2.18 dwelling units per acre. The planned community will include open space areas for recreation, a community garden and neighborhood gatherings as well as pedestrian connections to the Highline Canal and various community amenities in the surrounding area.

The community design embraces the principles of the Baseline Area Master Plan, the Baseline Area Overlay District and the Mixed-Use Agriculture General Plan land use designation and Zoning District by:

- Establishing a community that is respectful of the context and recognizes historical aspects affiliated with the property,
- preserving mountain views through the restriction of building heights to one story,
- promoting pedestrian connections to area amenities, and to the Highline Canal,
- embracing an agrarian community theme,
- providing an open space quantity and quality well beyond established standards, and
- creating large landscape setbacks and open space areas to promote and share the community open space with the surrounding established community.



APPROX. SCALE: NTS

07.15.2016

NAVARRO GROVES

Figure 1:
Regional
Context
Exhibit

A. Purpose and Intent

The purpose and intent of this PUD is to allow for the Site's development as a single-family residential community that will complement surrounding developments, provide high quality residential housing, and honor the rich history of the South Mountain Village. Navarro Groves will consist of 54 homes at a density of 2.18 du/ac. This PUD includes development standards and design guidelines that provide a one-story development, landscape setbacks and open space areas, and an agrarian neighborhood character consistent with the City's goals as defined by the General Plan's Mixed-Use Agricultural (MUA) designation, the Baseline Area Master Plan, and the Baseline Overlay District.

This PUD will promote neighborhood compatibility, provide development standards that complement the dimensions and physical features of the site and the character of the neighborhood, and ensure the design guidelines will reflect compatible and innovative architecture as defined in the Mixed Use Agriculture land use designation.

1. Regulatory Provisions

Pursuant to Section 671 of the Phoenix Zoning Ordinance, the Planned Unit Development (PUD) will establish the regulatory framework for the Navarro Groves development by defining appropriate land uses, creating development standards, and establishing design guidelines specific to the context of the project site. The PUD is a stand-alone document comprised of project-specific zoning regulations, including permitted uses, performance standards, development standards, building heights, and design guidelines. Zoning provisions not specifically regulated by the PUD are governed by the Zoning Ordinance of the City of Phoenix, Arizona. In the event of a conflict between a provision of this PUD and a provision of the Phoenix Zoning Ordinance, the PUD prevails. The PUD does not modify other City Code provisions or requirements. The provisions of this PUD apply to all property within the project boundary (see **Appendix A, PUD Area Legal Description**).

B. Development Plan

The 24.78-acre Site has historically been under agricultural use. It is currently zoned R1-14 for residential land use and has a General Plan land use designation of Mixed-Use Agriculture (MUA). The site is located within the Baseline Area Overlay District and is within the South Mountain Village. The proposed development plan anticipates 54 detached, single-family residential lots for a density of 2.18 dwelling units per acre. Being sensitive to the existing development and surrounding views, all homes within the community will be single-story and buffered from adjacent communities by a combination of open space and landscape setbacks provided around the perimeter of the project. In addition to these setbacks, a central community open space will provide an outdoor gathering place, community garden and recreation for community residents.

The meandering Highline Canal, located along the project's southern perimeter, creates an irregular and uniquely shaped property boundary. The proposed conceptual development plan embraces this condition as a means to introduce curvilinear streets,

creating staggered front yard setback lines that promote diversity, a more interesting streetscape and a variety of lot sizes. The project is bounded by three residential communities to the west and north and 32nd street, a Minor Collector street, to the east. The proposed community design under the PUD promotes the 32nd streetscape frontage as an opportunity to provide a large open space area which utilizes agricultural elements including view fencing, citrus trees, annuals and agricultural style tree rows utilizing tree species that emulate a pecan grove to establish an open, agrarian theme typical to the Mixed-Use Agriculture and Baseline Overlay District. This streetscape is designed to be enjoyed by residents and passersby alike.

The primary project access is from a single driveway on 32nd Street which will be aligned with the existing Gary Way intersection. The entry location was chosen and approved by City staff to provide a welcoming community entry experience and to ensure safe vehicular connectivity and coordinated movements onto 32nd street. A full turnaround before the gates will be provided in accordance with City standards. Upon passing through the community gates, the entry drive opens to a large internalized open space and the community amenity area for resident recreation and relaxation. See **Figure 2, Conceptual Development Plan** for a reference of site land use and circulation.

1. Location and Access

Navarro Groves is a 24.78 acre planned development consisting of two assembled parcels located at the northwest corner of 32nd Street and the Highline Canal. The project's primary orientation and point of access is to 32nd Street. The proposed entry location will provide a full vehicular turnaround before the gated entry which will provide for pedestrian sidewalk connections to the adjacent public street and the proposed 10' multi-use trail which will lead to the Highline Canal shared-use path to the south.

2. Land Use

Presently zoned R1-14/Baseline Area Overlay District, the Navarro Groves development property is situated amongst a variety of surrounding residential zoning districts with various associated densities. The eastern half of the property is currently being utilized for citrus agriculture with separate ownership on the west operating a palm tree farm. This zoning request will promote an appropriate residential density in direct response to the surrounding context. Landscaping throughout the community will perpetuate the area's historic identity defined by agrarian open spaces within close proximity to urban and natural amenities.

3. Development Standards

Development Standards for Navarro Groves can be found in **Section G** of this document. In general, the development standards seek to align with the MUA General Plan Land Use Map designation and zoning district standards and design guidelines throughout the site. See Appendix F for the Comparative Zoning Table.

Strategic changes have been made to the development standards where appropriate in order to create a marketable and attractive residential community that is sensitive to its surroundings while providing this growing area with additional residential opportunities. The Navarro Groves PUD allows for appropriate flexibility in the development standards, but is carefully constrained by context specific, design performance standards, that address neighborhood compatibility and buffering needs.

07.15.2016

NAVARRO GROVES

Figure 2:
 Conceptual
 Development
 Plan

Subject to engineering and City review and approval. Exhibits are for conceptual purposes only, and are not for construction.



C. Site Location and Conditions

1. Site Location and Conditions

The Navarro Groves PUD is an assemblage of two existing parcels under separate ownership (301-26-018B and 301-26-018A). The PUD area, home to multiple farming and agricultural uses, encompasses 24.78 gross acres bordered by 32nd street to the east, the Highline Canal to the South, and single-family residential (R1-14) to the west and north (See **Figure 5, Existing Site Conditions**). The legal description for the PUD is provided in **Appendix A**.

2. Topography and Physical Features

Similar to most terrain in the area, the site gradually slopes away from South Mountain from south to north at approximately 1.5% grade. The Highline Canal, which is a concrete lined irrigation delivery channel owned and managed by Salt River Project, is located adjacent to the southern boundary of the site. This channel is elevated approximately 3 feet above the site. Along the western boundary of the site is an existing subdivision, Highline Groves, with lots constructed near natural grade. Adjacent to the northern boundary of the site is a drainage tract that is part of the adjacent subdivision, Blossom Hills, which was constructed below the predominant grade to accept runoff from the Site. The remainder of the northern boundary is bounded by the Villas at Toscana which is generally slightly lower in elevation than the natural grade of this Site. The site is bounded to the east by 32nd Street, which is generally lower in elevation than the predominant natural grade of the Site. This vertical differential varies along the frontage from 2 to 5 feet.

The Site has been historically farmed and currently consists of a single-family home, associated farmhouse buildings, an orange grove, a palm tree nursery, and an empty agricultural field. There are no jurisdictional washes on the Site.

3. Surrounding Context

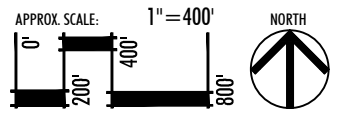
Neighboring properties in the immediate vicinity of the Navarro Groves represent a variety of zoning districts, but are predominantly single-family residential. Highline Groves (R1-14) is located to the west of the site. Blossom II (R1-14) and Villas at Toscana (R1-14) are located to the north. Villas at Toscana (MUA) is located to the east and Openshaw Acres (R1-6) is located to the south of the site (See **Figure 4, Project Context and Vicinity**). The Highline Canal runs along the Site's southern border with a paved pedestrian trail running along the southern edge of the canal.



07.15.2016

NAVARRO GROVES

Figure 3:
Existing
Site
Conditions



07.15.2016

NAVARRO GROVES

Figure 4:
 Project
 Context and
 Vicinity

Subject to engineering and City review and approval. Exhibits are for conceptual purposes only, and are not for construction.

D. Conformance with General Plan Objectives and Core Values

1. Statement of Conformity

The City of Phoenix General Plan designates the Navarro Groves land use as Mixed-Use Agriculture (MUA). The MUA is described as a land use category that helps to preserve the character of agricultural areas while allowing new development, which is consistent with the traditional design and uses of a rural and agricultural area.

The City of Phoenix Planning and Development Department has a policy regarding how staff should determine if an MUA Planned Unit Development (PUD) meets the General Plan intent of the MUA land use designation. The policy outlines standards by which PUD's on property designated MUA on the General Plan Land Use Map would not trigger a General Plan Land Use Map amendment.

The Navarro Groves PUD was reviewed by city staff and was determined to have met these requirements. Therefore, the request does not trigger the requirement for a General Plan Land Use Map amendment.

This PUD is designed to ensure that the Navarro Groves community expresses design elements, which are consistent with the MUA Zoning category and required by the BAOD. These additional efforts as proposed within the Conceptual Development Plan for Navarro Groves help ensure conformance with the MUA General Plan Land Use Map designation, as further advanced by the City's expressed PlanPHX Vision, Community Benefits and Core Values, as follows

Vision

The City's vision of the Connected Oasis is enhanced by the Navarro Groves PUD through:

- A commitment of open space – Navarro Groves is committed to a minimum of 20% active open space. See Appendix G for the Open Space Exhibit.
- Sensitivity to the Phoenix Mountain Preserve System – In an area where 2-story homes are allowed, Navarro Groves will provide a one-story height restriction and increased landscape areas in an effort to recognize and maintain the views of South Mountain.
- A blueprint for a connected City – By utilizing and improving the existing infrastructure, Navarro Groves ensures that the notion of "Creating a Connected Oasis" remains intact. Proposed trails and connections to existing streets and canal pathways will build upon the City's assets while taking advantage of a historic context that has shaped Phoenix into what is today.

Community Benefits

Navarro Groves is a community that promotes prosperity, health and environment. The following components provide a foundation from which the proposed development will begin to address Phoenix's quality of life. Navarro Groves will provide the following community benefits:

- Prosperity – As encouraged by the General Plan, infill development allows residents convenient connectivity to established services, jobs, education and transportation options. In addition, Navarro Groves will provide access to additional high quality housing options while promoting a sense of history, which will recognize the sites agricultural past.
- Health - Navarro Groves will be a new, clean and safe gated neighborhood that provides residents with connectivity to surrounding parks, recreation facilities and trails. Additional internal trails and open spaces will provide alternative opportunities for healthy living.
- Environment – The proximity to South Mountain and the surrounding natural setting is Navarro Grove’s biggest asset. Low building heights will allow residents to have visual connectivity to stunning views while trail connections will provide physical access to the surrounding natural open space and mountains.

Core Values

Each of the following Core Values address Phoenix’s many assets. By building on and ultimately expanding these assets, Navarro Groves employs an asset-based approach to community development.

- Connect People and Places – This community promotes the development of vacant parcels or redevelopment of underutilized parcels within the developed area of the City that is consistent with the character of the area. This will reduce the cost of managing growth due to the fact that primary infrastructure elements have already been developed. Navarro Groves is located along an existing street with water and sewer infrastructure. This existing public infrastructure will accommodate the project’s needs without requiring significant upgrades.

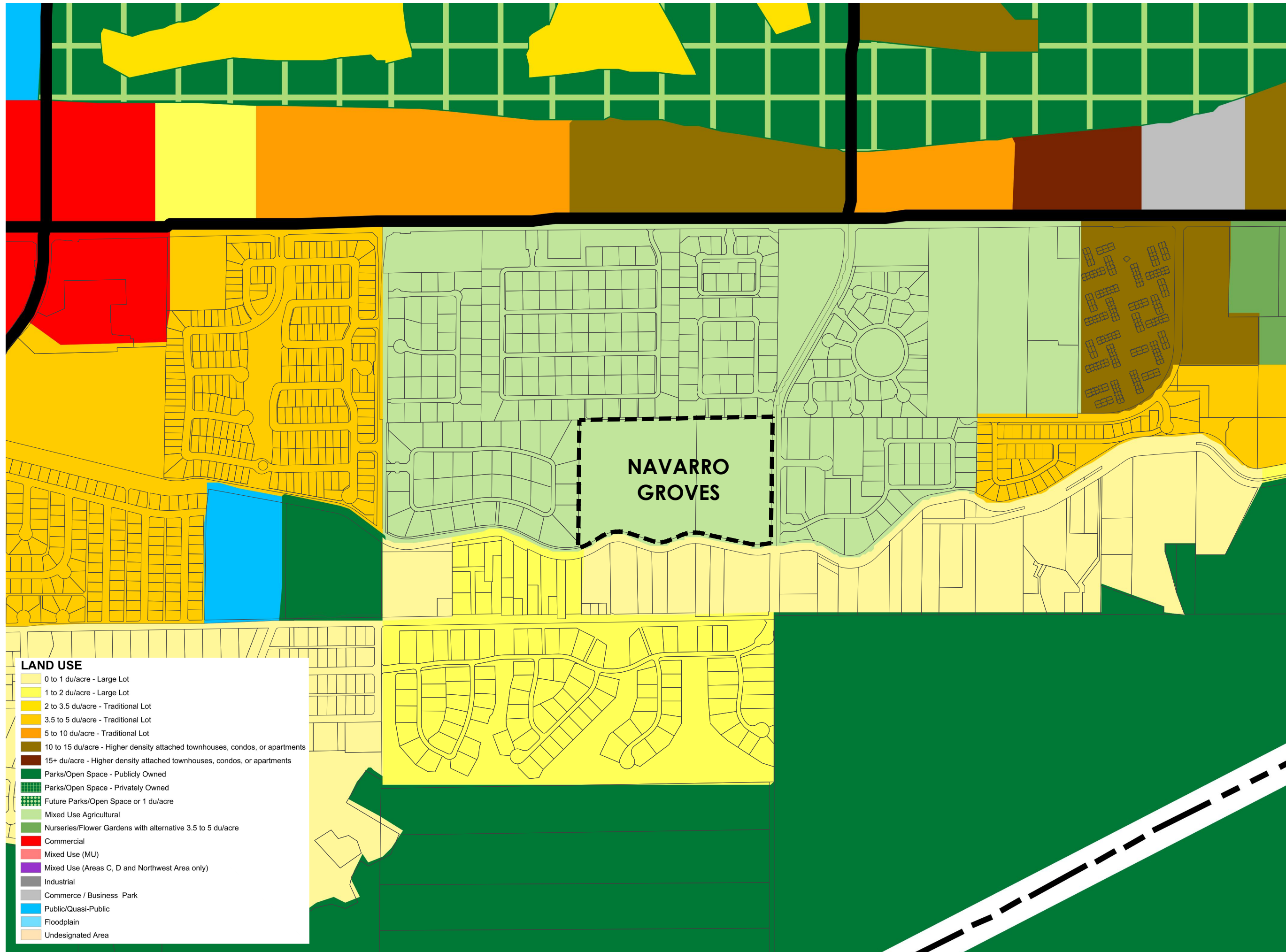
Navarro Groves creates a functional network of shared trails, which are accessible, convenient, and connected to parks, centers, and major open spaces such as the South Mountain Preserve. The Phoenix General Plan recognizes that “Canals and Trails” are an important, historic part of the area’s regional infrastructure which can provide a safe, dedicated system for pedestrians and bicycles to travel throughout the city and region. The proposed conceptual development plan anticipates pedestrian improvements along 32nd Street, including a ten foot multi-use trail, and pedestrian connections from within the site to the Highline Canal trail which affords easy pedestrian access to Francisco Highland Park and the South Mountain Devastator Trail which, in turn, connects to the Mormon Loop Trail offering full access to South Mountain Park.

- Celebrate Our Diverse Community & Neighborhoods – Navarro Groves promotes a “Certainty & Character” through sensitivity to scale, character, quality and carefully designed development edges that ensure redevelopment and infrastructure support and reinforces the character and identity of each unique

surrounding community and neighborhood. The Mixed Use Agriculture General Plan Land Use designation has been defined based upon patterns of historic agricultural use. The Navarro Groves vision realizes a land use evolution, which recognizes the surrounding development patterns. While proposing a density of 2.18 du/ac, the Navarro Groves project will institute large landscape setbacks and open space areas, particularly along 32nd Street, which will create a pleasing visual experience from all sides of the development. These landscape setbacks and open space areas will sustain the unique character of the surrounding area while providing an intimate setting for a quality housing development within the South Mountain Village.

- Build the Sustainable City – Navarro Groves will create a network of “trees and shade” that are integrated within the built environment to conserve ecosystem functions and provide associated benefits to residents. The design intent of the proposed project landscaping is to create an environment that utilizes shade trees both within and surrounding the project. The project will provide a consistent and well-designed shade tree pattern, from the new pedestrian improvements along 32nd Street and the internal private street network to the proposed pedestrian connections from within the Site to the Highline Canal trail, which will provide an abundance of shade throughout the community.

The new structure of the General Plan ensures that proposals are evaluated on how well the project enhances Phoenix residents’ quality of life as related to each of the Core Values. The Navarro Groves PUD, as described above, proposes development standards that embrace the City of Phoenix’s vision as outlined in the General Plan.



07.15.2016

NAVARRO GROVES

Figure 5:
 Existing &
 Proposed
 General Plan
 Land Use

E. Zoning and Land Use Compatibility

1. Surrounding Zoning and Land Use

The existing zoning on the Navarro Groves property is R1-14 (Refer to **Figure 6, Existing & Proposed Zoning**). Properties adjacent to the Navarro Groves PUD are developed as single-family residential at varied densities ranging from 1.5 to 2.17 dwelling units per acre.

Table 1: Surrounding Zoning

Location	General Plan	Zoning	Land Use
North	MUA	R1-14	Single-Family Residential
South	RES. 1-2 & 0-1	R1-6	Single-Family Residential
East	MUA	MUA	Single-Family Residential
West	MUA	R1-14	Single-Family Residential

07.13.2016

NAVARRO GROVES

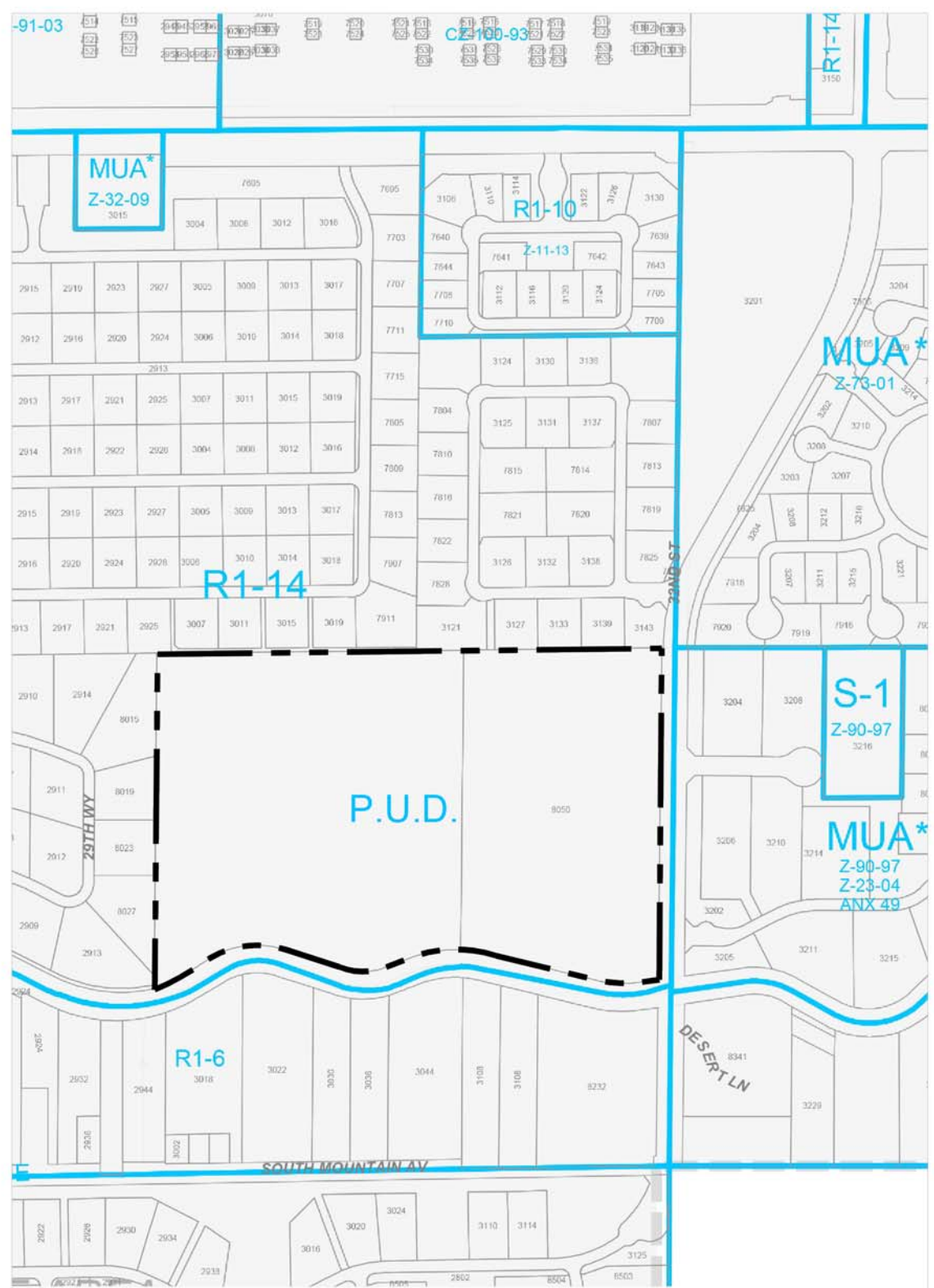
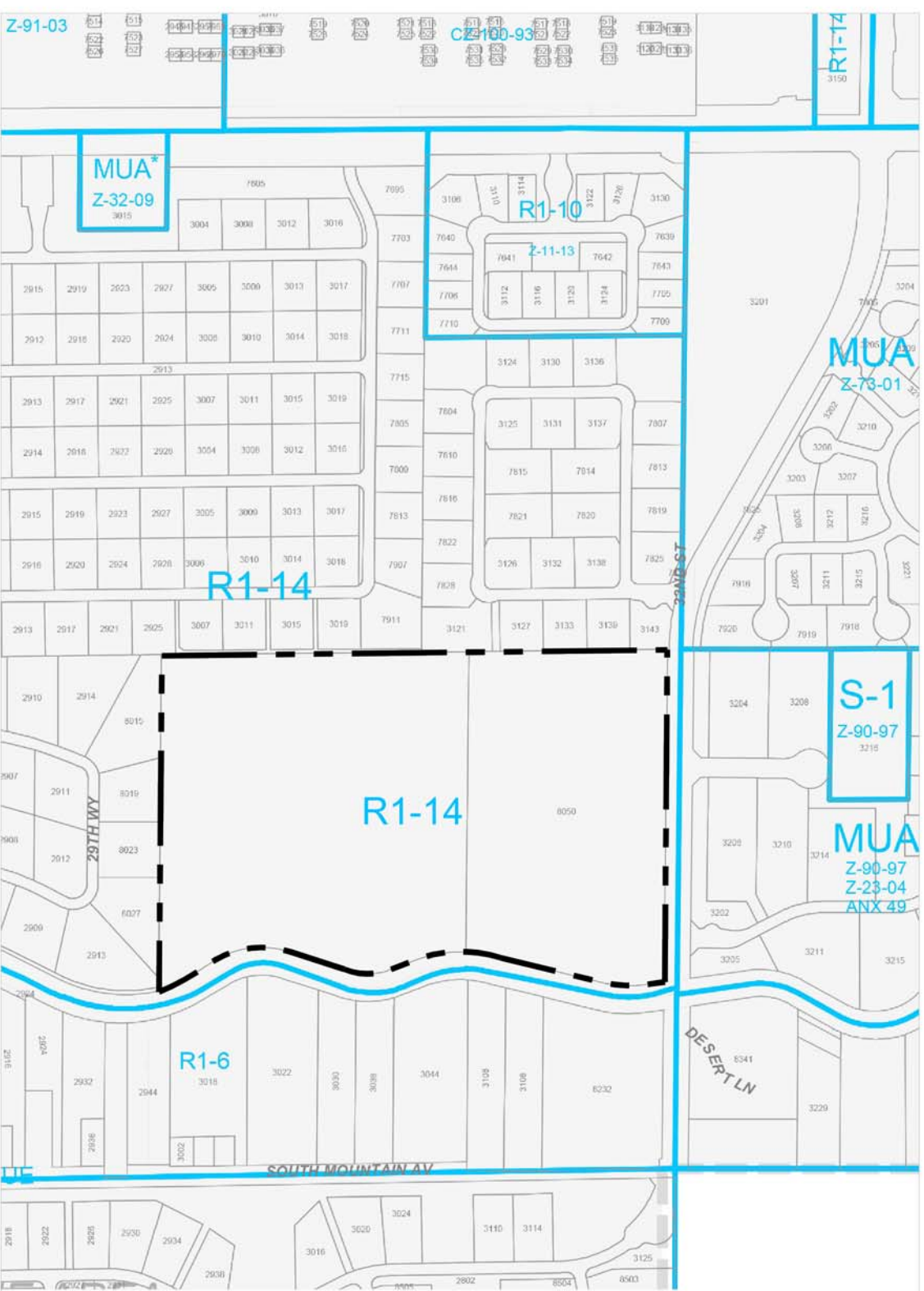


Figure 6:
 Existing &
 Proposed
 Zoning

Subject to engineering and City review and approval. Exhibits are for conceptual purposes only, and are not for construction.

F. Land Uses

The following list of uses defines Permitted Primary Uses, uses permitted as an Accessory Use, and uses subject to Performance Standards allowed within Navarro Groves. The developer(s) or any property owner within the defined limits of the PUD may request an interpretation of analogous use to the defined list below from the City of Phoenix Zoning Administrator. The Zoning Administrator may administratively approve a use analogous to those listed below.

1. Uses

The following uses are permitted in this PUD district in accordance with the regulations and special standards established below.

- a. Residential, Single Family Detached.
- b. Residential Model Home Complex and Sales Office.

2. Permitted Accessory Uses

Land in this PUD District may be used as permitted accessory uses and structures, incidental to and on the same zoning lot as the primary use, for the following uses:

- A. Guesthouse, provided that it does not exceed six hundred square feet or twenty-five percent of the floor area of the principal structure, whichever is larger.
- B. Community Garden. In accordance with Section 608 of the Zoning Ordinance.
- C. Home occupations. In accordance with Section 608 of the Zoning Ordinance.

G. Development Standards

1. Development Standards (Yard, Height, and Area Requirements)

The following standards are herein established for yard, height and area requirements intended to promote sensitivity to the surrounding neighborhoods and provide an appropriate transition between neighboring properties, authorized under this Planned Unit Development. The standards identified herein pertain to density, building setbacks, landscape setbacks, building height, lot coverage, and common open space.

The Navarro Groves PUD shall be governed by the following standards in addition to the regulations, requirements and design guidelines and standards of the Baseline Area Overlay District (BAOD).

DEVELOPMENT STANDARDS	
MAXIMUM BUILDING OR STRUCTURE HEIGHT	
Residential	One-story and twenty-two (22) feet, where not further limited by the BAOD.
BUILDING SETBACKS (EXCLUDING CANAL RIGHT-OF-WAY SETBACKS)	
Front Yard Note: All lots defined on the Conceptual Development Plan front on an internal local street.	
Local Street	Twenty (20) feet
Side Yard	
Interior	Five (5) foot minimum; fifteen (15) feet combined
Street	Ten (10) feet
Rear Yard	
Interior	Twenty-Five (25) feet
LOT COVERAGE	
Maximum Lot Coverage	28% of net Site area distributed to all lots proportionally. Method of calculating maximum residential lot coverage permitted for each lot within the overall development shall be based on the following formula: <u>Gross Site Area - (Perimeter Right-of-Way + Interior Street Tract) = Net Area</u> <u>Net Area (0.28) = X</u> <u>X / # of Lots = Maximum Square Foot Area (Building/Accessory Footprint) Allowed Per Lot.</u>
DENSITY	
Maximum Density	2.18 units per acre

FENCING AND WALLS	
Fencing and Walls	Fencing and walls are permitted per section H.1 and as shown on Figures 7 and 8

2. Landscape Standards

LANDSCAPE SETBACK AND STREETScape ADJACENT TO 32ND STREET	
Landscaped setback	Minimum 60' landscape setback along 32 nd Street
PLANT TYPE	MINIMUM PLANTING SIZE
Trees	Min. 2-inch caliper (50% of required trees) Min. 3-inch caliper or multi-trunk tree (25% of required trees) Min. 4-inch caliper or multi-trunk tree (25% of required trees)
Rows/Spacing	Three rows of trees averaging one tree per fifteen feet (15') on center, per plan
Shrubs	Min. five (5) 5-gallon shrubs per tree
Groundcover	1 gallon
Additional	Flowering vines on trellises along the walls that back to 32 nd Street, per Figure 8, Wall/Fence Elevations
PERIMETER PROPERTY LINES (NOT ADJACENT TO A STREET)	
South	Min. 20-foot landscaped setback adjacent to southern perimeter
North	0 feet (Reference G.3 Open Space Standards for minimum open space requirements)
West	0 feet (Reference G.3 Open Space Standards for minimum open space requirements)

PLANT TYPE	MINIMUM PLANTING SIZE
Trees	40% 1-inch caliper 60% 2-inch caliper
Rows/Spacing	One row of trees averaging twenty feet (20') on center. Planting to be informal.
Shrubs	Min. five (5) 5-gallon shrubs per tree
Groundcover	1 gallon
INTERNAL STREETS	
Internal Streets	Street trees to be planted an average of 25'-0" on center or as approved by the Planning and Development Department

3. Open Space Standards

PERIMETER PROPERTY LINES (NOT ADJACENT TO A STREET)	
North	Minimum forty (40) foot Open Space adjacent to northern perimeter
West	Minimum forty (40) foot Open Space adjacent to western perimeter
South	Minimum twenty (20) foot Open Space adjacent to twenty (20) foot landscape setback on southern perimeter
PLANT TYPE	MINIMUM PLANTING SIZE
Trees	40% 1-inch caliper 60% 2-inch caliper
Rows/Spacing	One row of trees averaging twenty feet (20') on center. Planting to be informal.
Shrubs	Min. five (5) 5-gallon shrubs per tree
Groundcover	1 gallon

4. General Planting Requirements – Applicable to Landscape Setbacks and Open Space

GENERAL PLANTING REQUIREMENTS	
Trees, Shrubs, Accents and Groundcover	<p>Fifty percent (50%) live coverage in all landscape and retention areas includes trees, shrubs, and groundcover, per code.</p> <p>Landscape treatment must be used for entire site exclusive of building(s), pavement for vehicular use, and private lots.</p>
Rock Mulch/Decomposed Granite	<p>Applied dust control products (i.e. decomposed granite, river rock, ground cover, etc.) are to be installed a minimum of two inches (2") thick on all landscape areas. Decomposed granite size should be 1/4" to 3/4" per Zoning Ordinance section 202 and City of Phoenix Supplement to MAG Standards section 430.</p>

5. Signs

Signage shall conform to the single-family residential sign standards outlined in Section 705 of the Zoning Ordinance.

H. Design Guidelines and Standards

The Design Guidelines and standards contained in this section reflect the standards intended for Navarro Groves and are in conformance with the standards outlined and applied within the Baseline Area Overlay District. The intent of the guidelines and standards is to ensure that development is consistent with the character of the context area and to reflect setbacks and transitions as defined through conversations with surrounding residents during the public involvement process and City staff. The City's general design review guidelines (Section 507 Tab A) within the Zoning Ordinance shall apply to the development of Navarro Groves to the extent the design guidelines do not conflict with the following standards. All development in this PUD District is subject to Site Plan Review to ensure appropriate applicability of the development and design standards.

1. Fences and Walls.

The proposed walls and fencing established within Navarro Groves PUD have been thoughtfully designed to create an attractive agricultural character that provides visual interest and promotes a rural atmosphere. Existing perimeter walls exist, on abutting developed properties, along the north and west perimeters of Navarro Groves and will not be replicated along Navarro Groves perimeters. Instead, no additional walls will be added along Navarro Groves north and west perimeters and open fencing will be provided along Navarro Groves east and south perimeters. Landscape setbacks and/or open space areas (that are also used in part for drainage, retention and trails) completely encircle Navarro Groves on the north and west (min. 40' wide), the south (approx.. 40'-60' wide) and the east (min. 60' wide).

The fences and walls will consist of the following types. Refer to Figure 7 – Perimeter Wall/Fence Plan, and Figure 8 – Wall/Fence Elevations for locations and elevations of the wall types intended for the development of Navarro Groves.

- a. Split Rail Fence – The split rail fence will be used along 32nd Street as an accent. It will be made of treated or recycled wood.
- b. Theme Wall – The theme wall will be utilized for the side yards of the homes in the entry area. The wall will be constructed of painted stucco over CMU block with a brick cap, and decorative columns. The theme column design consists of stucco and brick as shown on Detail B of Figure 8 – Wall/Fence Elevations. Theme column locations are shown on Figure 7 – Perimeter Wall/Fence Plan.
- c. Theme Wall with Trellis – The theme wall with trellis will be utilized for the rear (Lots 1-3 and a portion of Lot 4) and side (Lot 31) walls of the homes along 32nd Street. The wall will be constructed of painted stucco over CMU block with a brick cap, and a trellis with an associated vine accent (25% coverage). The theme column design consists of stucco and brick as shown on Detail C of Figure 8 – Wall/Fence Elevations. Theme column locations are shown on Figure 7 – Perimeter Wall/Fence Plan.
- d. Secondary Wall – The secondary wall will be utilized mainly for the side yards of the homes adjacent to open space areas as shown on Figure 7 – Perimeter Wall/Fence Plan. It is a painted stucco wall with a brick cap, similar to the theme wall.
- e. Tube Steel Fence – Full view tube steel fence will be used to both enclose the property along 32nd Street, north of Lot 1, and for the pedestrian gate along the Highline Canal between Lots 13 and 12. In addition this fence will be used at the rear of lots 32 through 54 to provide orientation to open space in accordance with provisions of the Baseline Area Overlay District. Homebuyer optional rear yard pedestrian gates providing access to the linear central open

space will be offered to future residents of Lots 32-54. This fence will be Pool Code Compliant. In addition, the tube steel fence along the Highline Canal will include a pedestrian gate to allow access to the canal.

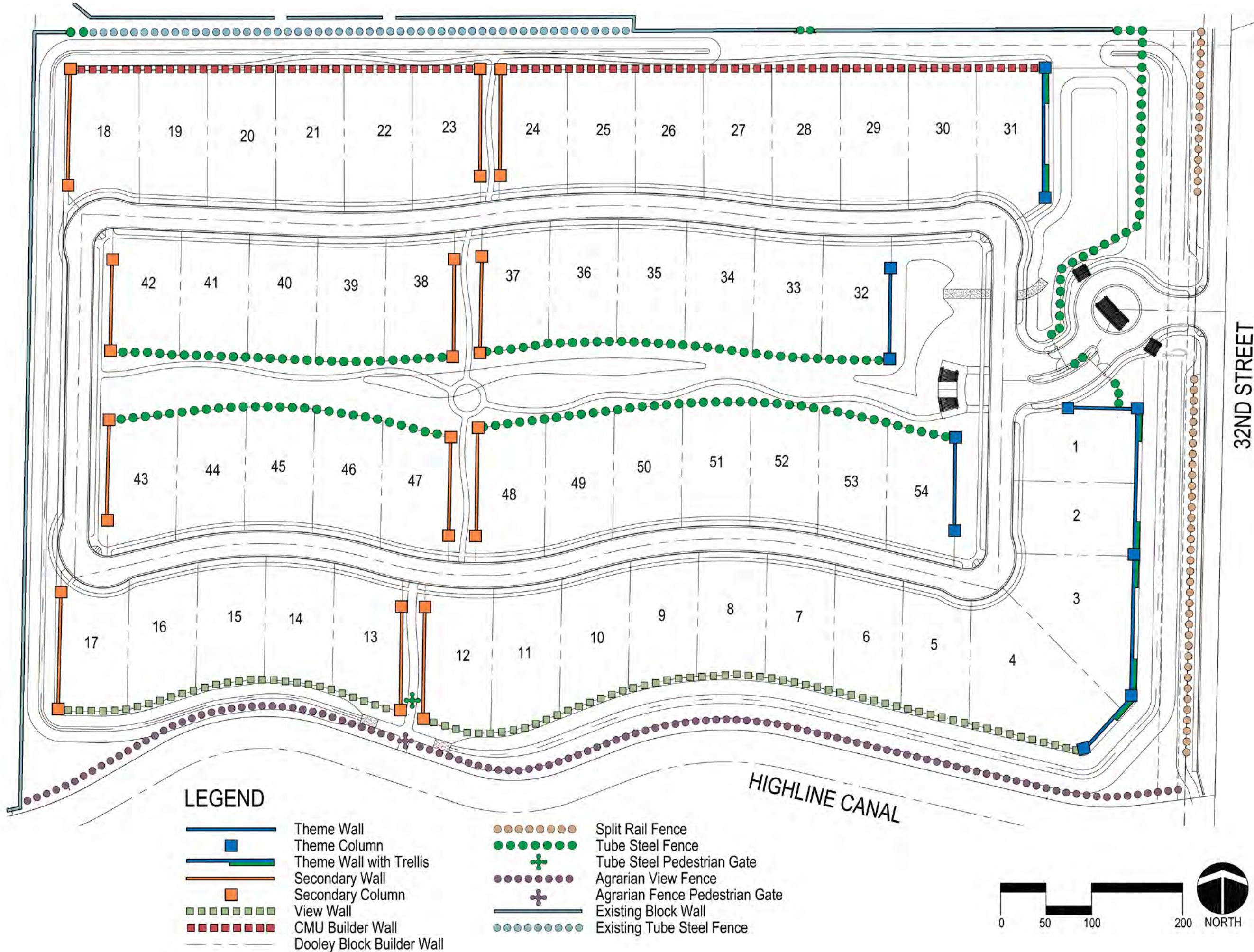
f. Agrarian View Fence - Located within the twenty (20) foot southern perimeter landscape setback, adjacent to the Highline Canal, this open mesh wire fencing will provide separation between the passing pedestrian traffic and the required drainage channel. This agrarian view fence will be constructed of treated or recycled wood posts to match the split rail fence with welded wire mesh, as shown on Detail F of Figure 8 – Wall/Fence Elevations, providing an additional opportunity to enhance the agricultural character along the Navarro Groves southern boundary.

g. CMU Builder Wall – The CMU builder walls will be utilized for the rear lot walls of Lots 18-31. These walls will be either painted or integral color 6x8x16" CMU block and will be setback from the adjacent development by a minimum forty (40) foot open space setback. Homebuyer optional rear yard pedestrian gates providing access to the northern loop trail will be offered to future residents of Lots 18-31.

h. Dooley Block Builder Wall – Dooley block builder walls will be utilized between homes and as returns to the homes. These 4x8x16" block walls will consist of H-Block columns spaced 8-10' apart, and will be either integral color or painted.

i. View Wall – The view walls will be utilized for the rear lot walls of Lots 5-17 and a portion of Lot 4. These lots are adjacent to the Highline Canal along the southern boundary and behind the proposed agrarian view fencing. The bottom four (4) feet will be either painted or integral color 6x8x16" CMU block with the top two (2) feet being made up of tube steel view fencing. These walls will be separated from the southern property line by a minimum forty (40) foot combined open space and landscape setback.

NAVARRO GROVES



32ND STREET

HIGHLINE CANAL

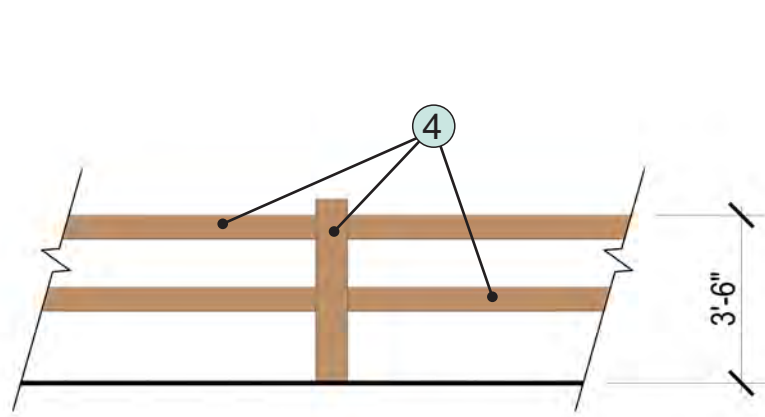
LEGEND

- Theme Wall
- Theme Column
- Theme Wall with Trellis
- Secondary Wall
- Secondary Column
- View Wall
- CMU Builder Wall
- Dooley Block Builder Wall
- Split Rail Fence
- Tube Steel Fence
- Tube Steel Pedestrian Gate
- Agrarian View Fence
- Agrarian Fence Pedestrian Gate
- Existing Block Wall
- Existing Tube Steel Fence

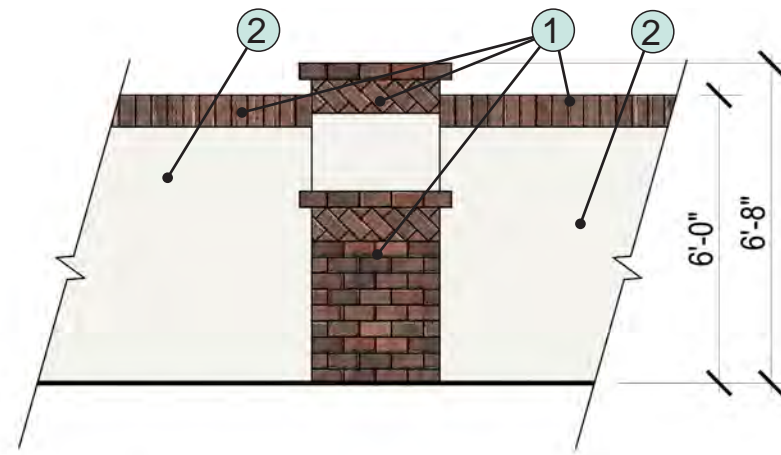


Figure 7:
Perimeter
Wall/ Fence
Plan

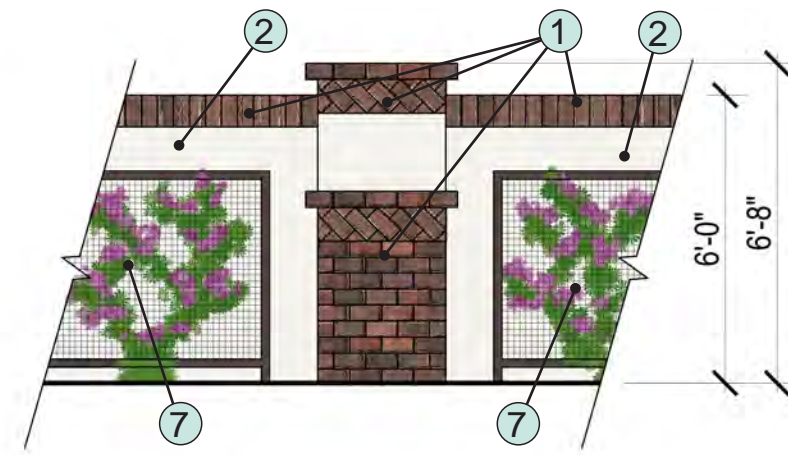
NAVARRO GROVES



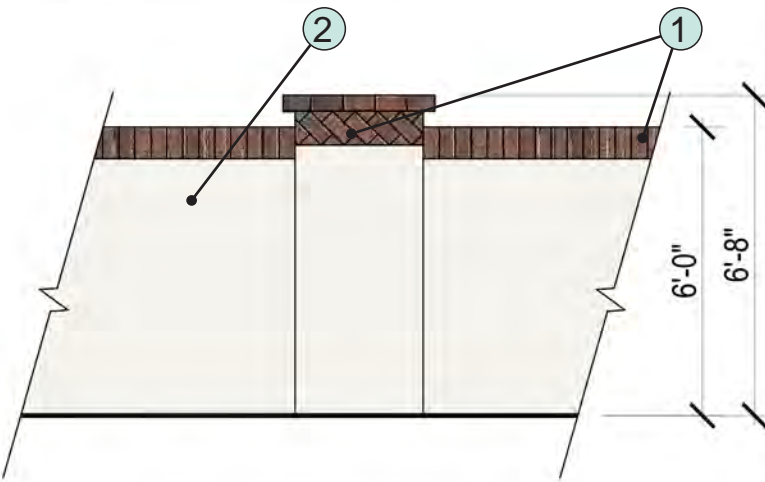
A SPLIT RAIL FENCE
1/4" = 1'-0"



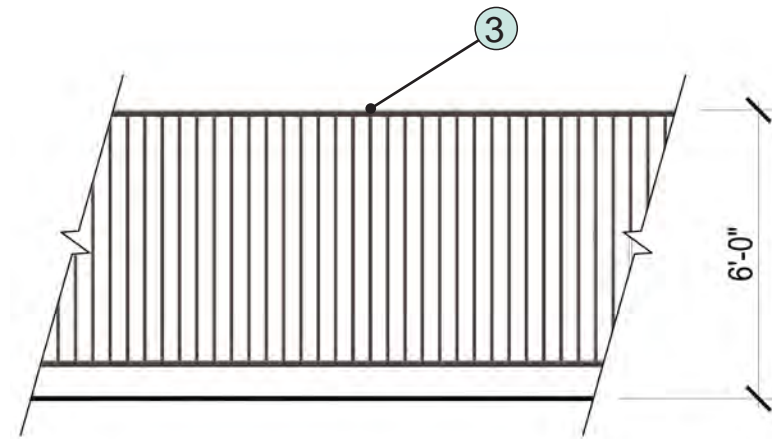
B THEME WALL
1/4" = 1'-0"



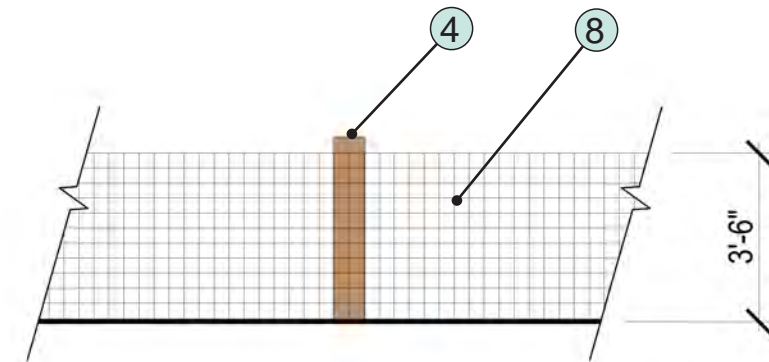
C THEME WALL WITH TRELLIS
1/4" = 1'-0"



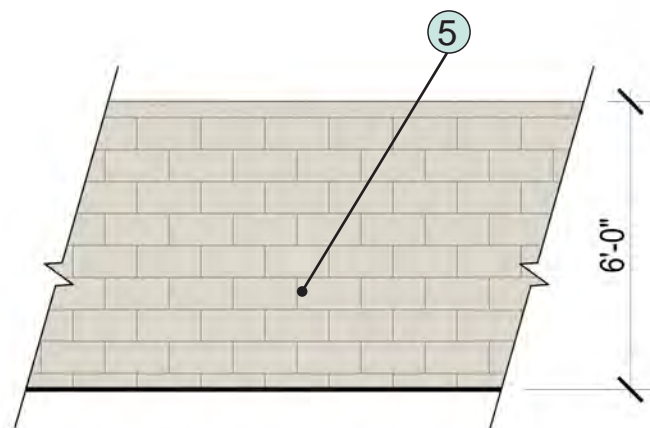
D SECONDARY WALL
1/4" = 1'-0"



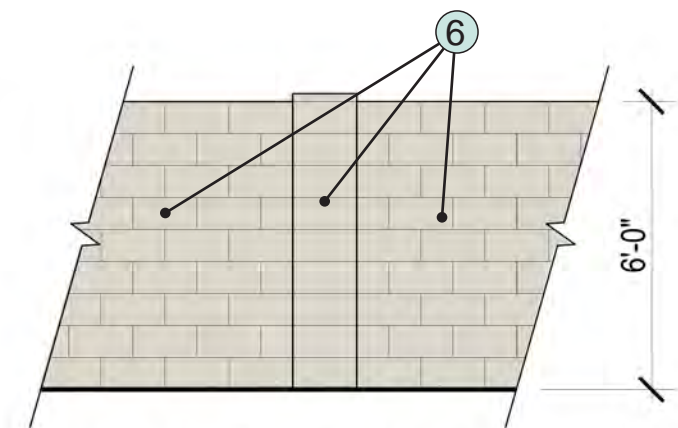
E TUBE STEEL FENCE
1/4" = 1'-0"



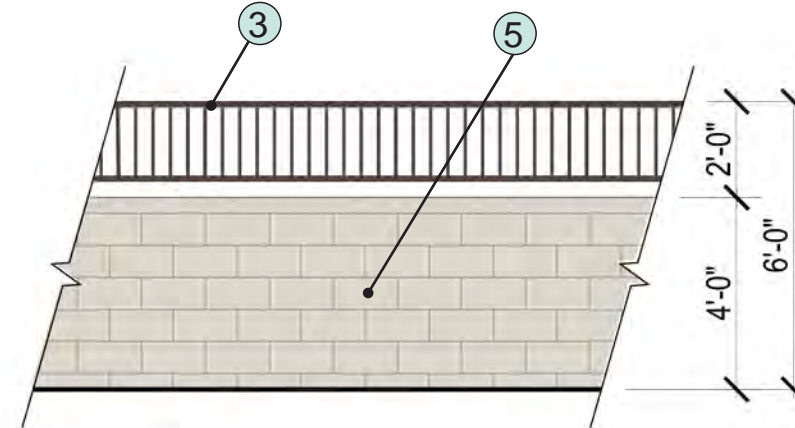
F AGRARIAN VIEW FENCE
1/4" = 1'-0"



G CMU BUILDER WALL
1/4" = 1'-0"



H DOOLEY BLOCK BUILDER WALL
1/4" = 1'-0"



I VIEW WALL
1/4" = 1'-0"

KEYNOTES

- ① Brick
- ② Stucco
- ③ Tube Steel
- ④ Painted or Treated Wood Split Rail
- ⑤ Painted or Integral Color Block
- ⑥ Painted or Integral Color Dooley Block
- ⑦ Tube Steel and Welded Wire Mesh Trellis with Flowering Vine
- ⑧ Welded Wire Mesh

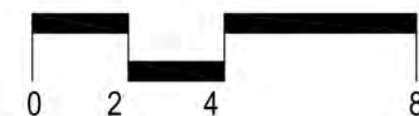


Figure 8:
Wall/ Fence
Elevations

2. Lighting

Any exterior landscape or bollard lighting within Navarro Groves shall be in conformance with the provisions set forth in the City of Phoenix's City Code and Zoning Ordinance

- a. Selected architectural, landscape and hardscape features will be accent lit.
- b. The community's entry sign will be back-lit.
- c. Any on-site lighting will be consistent with the character of the MUA Zoning District through the use of low level uniform lighting fixtures dispersed throughout the site with a lumen rating of 3,000 or less. Said lights shall be fully shielded and directed down.

3. Building Materials

Navarro Groves' architecture will be high quality and consistent with the desired character of the MUA Zoning District.

- a. The following building materials should be utilized. This list is suggestive and may be expanded as approved by the Planning and Development Department:
 - 1) Board and batten;
 - 2) Clapboard siding;
 - 3) Wood/heavy timbers;
 - 4) Adobe;
 - 5) Stone or stone veneer;
 - 6) Stucco.
- b. Roofs.
 - 1) Pitched roof elements should be encouraged.
 - 2) If flat roofs are proposed a false front parapet should be included.
 - 3) Overhanging wooden eaves and exposed rafters should be encouraged.

4. Residential Driveway Standards

Single-family residential driveways shall be constructed of a decorative brick, interlocking concrete paver, or other alternative surface compatible with an agricultural or rural character as approved by Planning and Development Department. Alternative surfaces will comply with City of Phoenix alternative dustproofing regulations.

5. Project Entry Curbing

Ribbon curbing shall be provided along all sides of the driveways in the project entry as depicted in Figure 12.

6. Open Space

- a. All area not accounted for by street tracts, lots, and landscape setbacks shall be open space.
- b. A minimum of twenty percent (20%) of the net site area shall be set aside as active open space accessible to the residents.

- c. Both common open space, with no active uses, and landscape setbacks shall not count toward the 20% requirement, as shown in **Appendix G - Open Space Exhibit**.
- d. Amenities throughout Navarro Groves open spaces should include, but are not limited to, the required direct application of a minimum of six (6) items listed below, as noted by an “(R)”.
 - Community trails (R)
 - Primary ramada with trellises (R)
 - Seating areas (R)
 - Turf lawn (R)
 - Canal access(R)
 - Gathering space (R)
 - Raised planter boxes for residents’ community gardens
 - Serenity garden
- d. Community gathering spaces should be centrally located.
- e. Required open space accessible to the residents may be used for storm water retention. Shall comply with 507 Tab A – II.A.2.
- f. Section 651.E.3.b(6) in the Baseline Area Overlay District (BAOD) describes the following design guideline presumption for single family development:
 - Where a common open space is provided, fifty percent of the homes along the perimeter of the open space should be oriented toward the open space. (P)
 - *Rationale:* Residents should be able to enjoy the view of the open space.

In order to overcome this design presumption, full view fencing will be provided for Lots 32-54. Full view fencing allows visual access to the common open space which is the desired goal of Section 651.E.3.b.(6). In addition, the design presumption seeks open access to the common space. The central common open space for Navarro Groves will have openings/view corridors at the east and west ends, openings at the mid-points (between Lots 37-38 and 47-48), a pedestrian trail circulating to, from and within the open space to promote a sense of openness and allow unrestricted access to the space. By addressing both visual and physical access to the central common open space the design presumption per Section 651.E.3.b(6) is satisfied with the approval of the PUD. A modification to this requirement would require a major or minor amendment to the PUD Narrative per Section 671 depending on the extent of the change.

7. Landscape Standards

The community landscaping will be integrated with the walls, drainage, entry monument, and amenity features, enhancing the overall character of the development. Navarro Groves’ large landscape setbacks, open spaces and plantings will help reinforce the community’s agrarian theme. The proposed landscape design for the open spaces and trails are illustrated in Figures 8-13.

The plant palette for Navarro Groves is a combination of the Mixed Use Agricultural District Plant List and the Baseline Area Master Plan Plant list with additional species selected for their decorative and agrarian character. The majority of plants on the list are drought tolerant, with the citrus tree as the only exception. The community will utilize a small quantity of citrus trees at the entry and ramada in the open space as a reference to the project's history. Refer to Appendix B – PUD Plant List.

a. Permitted Plant Materials

The selection of plant materials which have a historic significance for ornamental or crop use in agricultural areas of Phoenix is a key method to preserve and foster the agricultural character of this district. The plants from the Mixed Use Agricultural District plant list (trees, shrubs, ground covers, accent plants, and vines) are historically used by Phoenicians in farming areas and are drought tolerant plants which have the potential for crop use or have a lush appearance to complement the color, texture, and density of the traditional plants. Further, because this community is located within the Baseline Area Overlay District, plant species will also conform to the Baseline Area Master Plan plant list. The landscape palette enhances agrarian character through its contrast to the plant materials which are used in, and appropriate for, Sonoran desert areas without an agricultural heritage. Annuals shall be used around the entry monument, gate and amenity area within the park to contribute to the beauty of the project.

Any plants listed in the invasive species list in Appendix B of the Sonoran Preserve Edge Treatment Guidelines, Section 507 TAB A3.7 shall be prohibited in Navarro Groves.

b. Streetscape – 32nd Street

The 32nd Street setback and transition will consist of three rows of trees. The double row planted closest to the street will be Red Push Pistache trees. This species was selected to emulate the look of a pecan grove. The row of trees planted behind the pistache trees will be evergreen to assure that the houses are screened in the winter when the pistache trees go dormant. 32nd Street will have a 5'-0" concrete sidewalk located adjacent to the curb. A 10'-0" compacted stabilized multi use trail will be aligned through the eastern landscape setback and within a 30'-0" multi use trail easement. Shrubs will be planted to frame the sidewalk and trail, and the area underneath the pistache trees will be left without shrubs as typically seen in an agricultural grove. Rock Mulch will be applied in the shrub areas, and 3/4" minus decomposed granite underneath the pistache trees. Flowering vines will be located on trellises along the rear lot walls that back to 32nd Street, to landscape approximately 25% of the wall area.

- c. Streetscape – Internal Local Street/Private Accessway Streetscape
The internal streets within Navarro Groves will have a 4'-0" detached sidewalk on both sides of the street. Street trees will be planted at an average of 25'-0" on center, or as approved by the Planning and Development Department.
- d. Canalscape
Navarro Groves will connect to the Highline Canal along 32nd Street, and through a pedestrian gate on the south property line. The setback between the canal and the property will contain an agrarian view fence separating the canal from the onsite drainage channel and will be planted with a mix of drought tolerant low maintenance materials.
- e. Project Entry
The gated project entry is designed to welcome people into the community. The entry monument is oriented north to be easily viewable for those accessing the Site. The entry experience will include agrarian style materials including brick, recycled wood, mesh fencing, split wood rail and stucco. The orange crate logo of the Navarro Family Citrus Farm that operated on this property since the 1940s served as an inspiration and is integrated into the entry gates and character.
- f. Trails
Trails throughout Navarro Groves are designed to provide opportunities for recreation and pedestrian connectivity within the community as well as to adjacent amenities. No single-family residential home shall exceed a maximum walking distance of two hundred and feet (250') to an internal open area or trail connection.

On site trails will be a minimum width of five feet (5'). Trails within the northern and western open space areas will consist of 3/8" minus decomposed granite. Trails within the central active open space area will consist of concrete paths. Trails will be constructed per Figure 2 and Appendix G.

To enhance connectivity throughout the site, minimum thirty foot (30') wide active open space areas containing trails consisting of 3/8" minus decomposed granite will be provided between lots 37-38 and 47-48. These trails will connect the central active open space to both the Highline Canal and the loop trail along the northern boundary of the site.

Connectivity to the Highline Canal will be provided by way of a ten foot (10') compacted stabilized decomposed granite trail along 32nd Street as well as a minimum twenty foot (20') wide active open space area containing a concrete trail between lots 12 and 13.

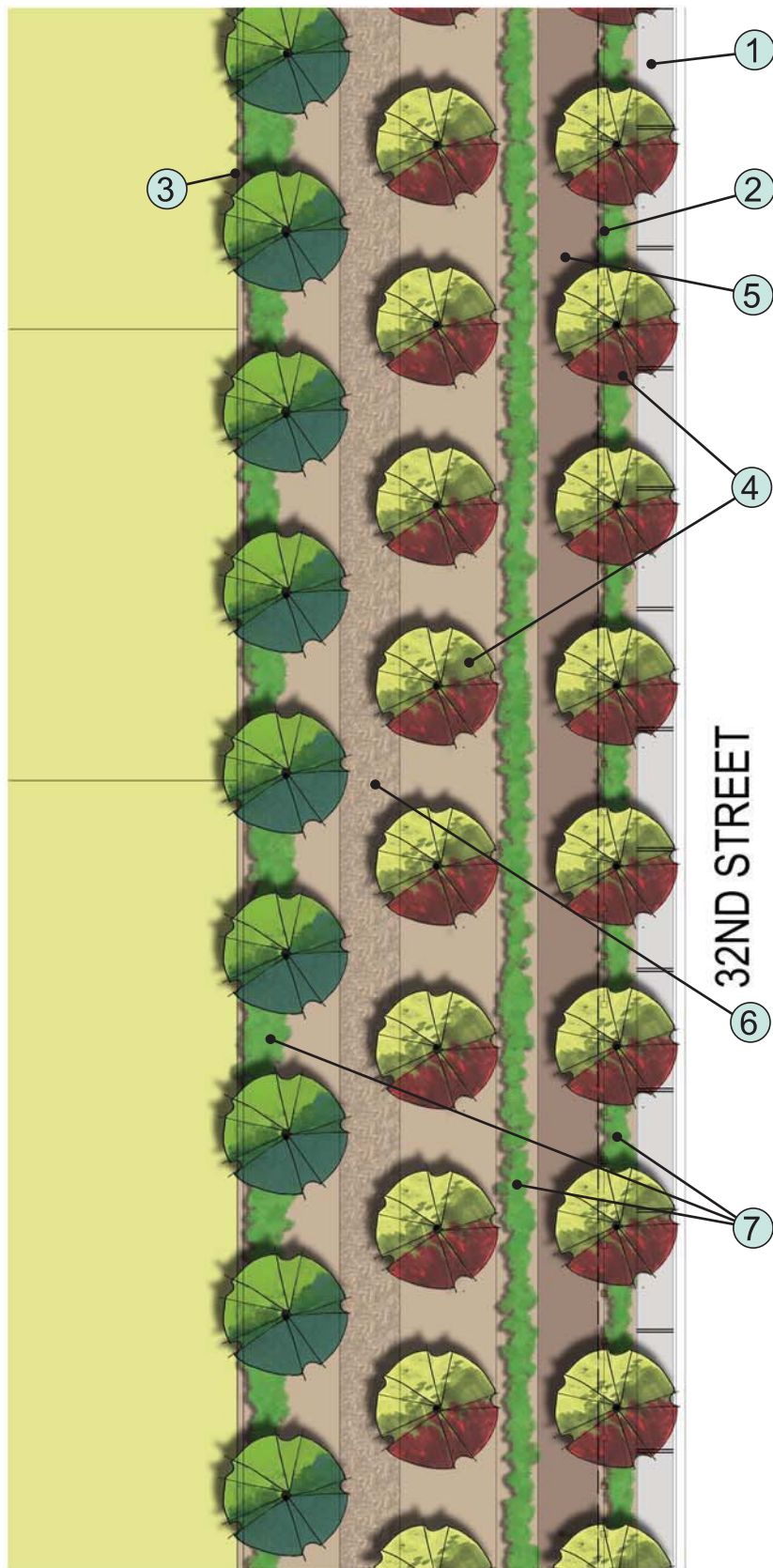
Connectivity to the loop trail along the northern boundary of the site will be provided by way of a minimum twenty foot (20') wide active open space area containing a decomposed granite trail between lots 23 and 24.

Where grading permits, trails are to be designed to meander throughout informal landscape plantings in order to create an engaging pedestrian experience and maximize shade opportunities.

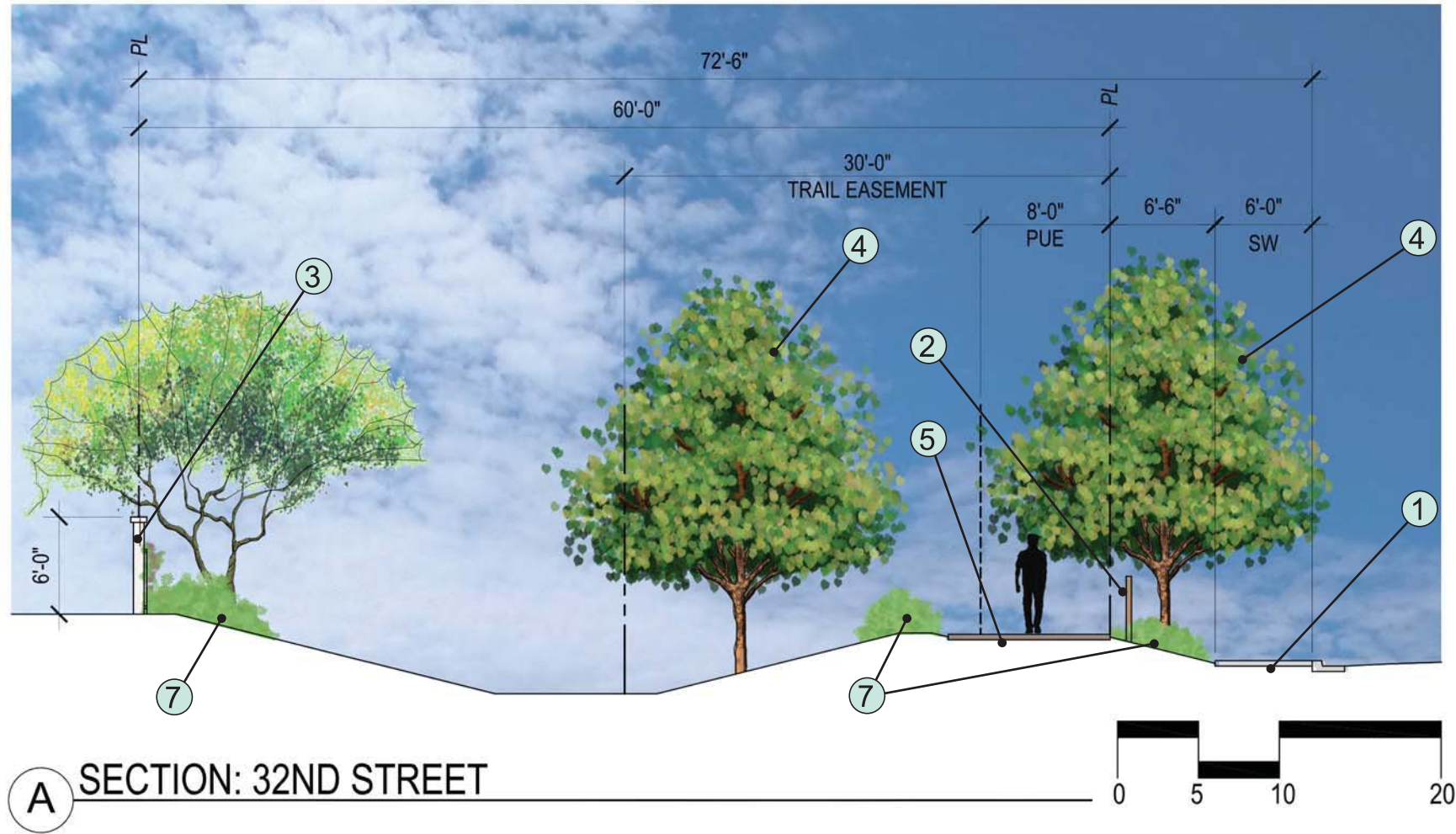
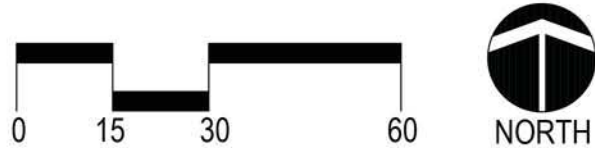
07.15.2016

NAVARRO GROVES

Subject to engineering and City review and approval. Exhibits are for conceptual purposes only, and are not for construction.



A PLAN: 32ND STREET

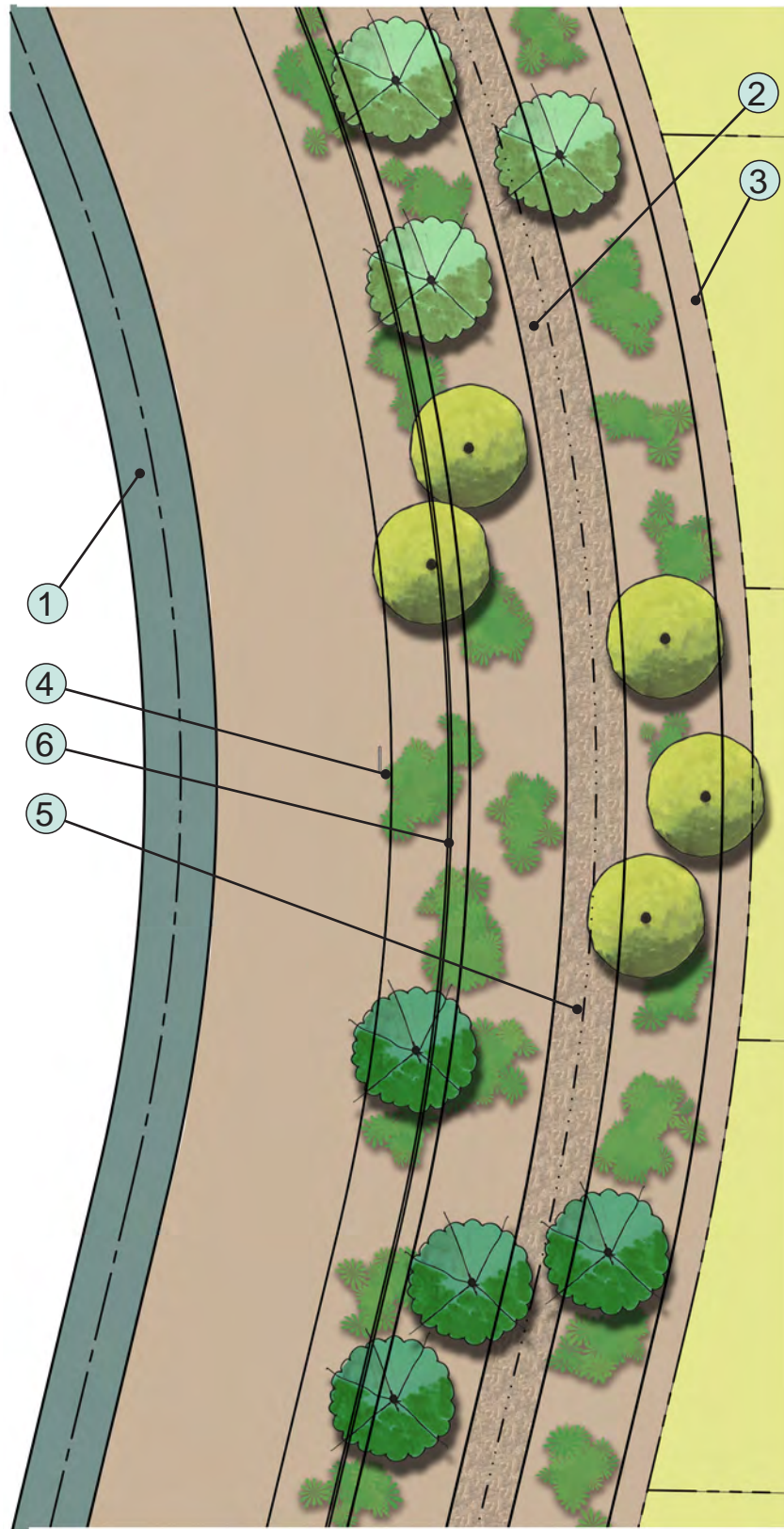


A SECTION: 32ND STREET

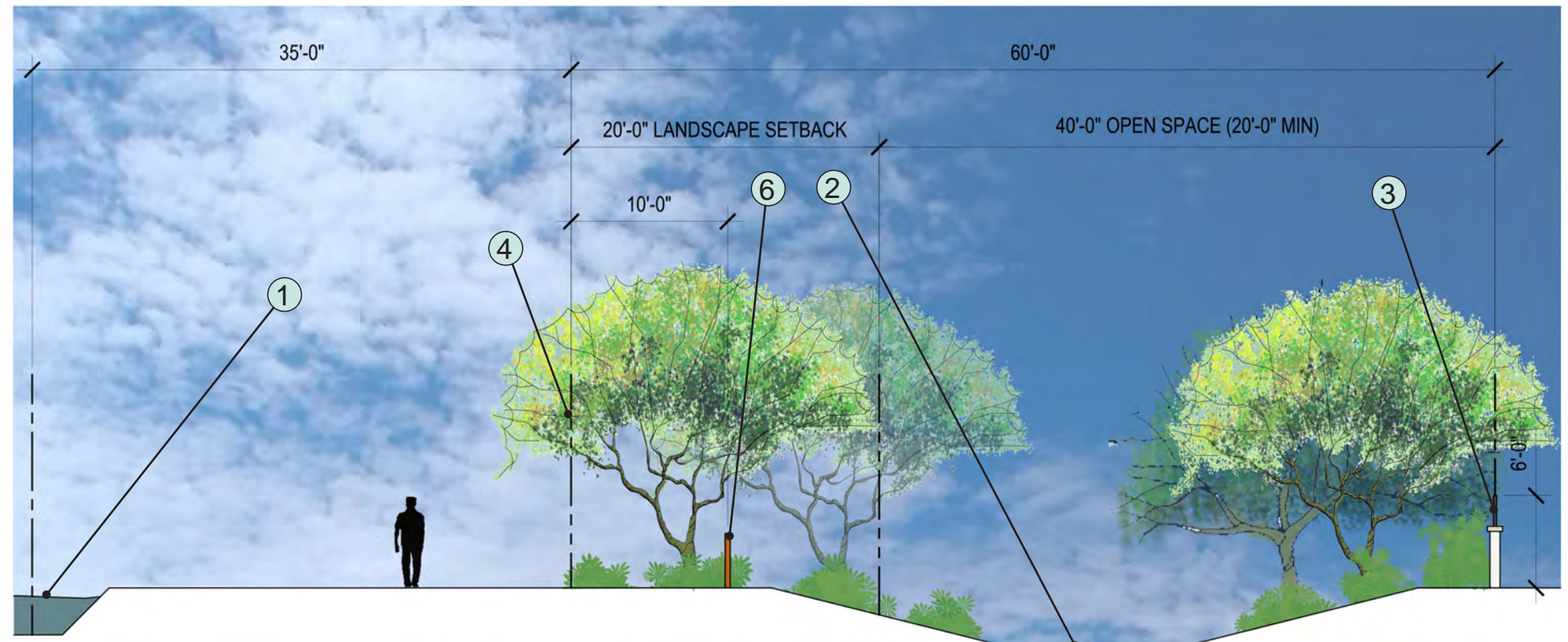
KEYNOTES

- ① Sidewalk
- ② Split Rail Fence
- ③ Theme Wall With Trellis
- ④ Tree Grove
- ⑤ Compacted Stabilized Decomposed Granite Multi Use Trail
- ⑥ Rip Rap Channel Bottom
- ⑦ Shrubs

Figure 9:
 32nd Street
 Details



A PLAN: HIGHLINE CANAL



A SECTION: HIGHLINE CANAL

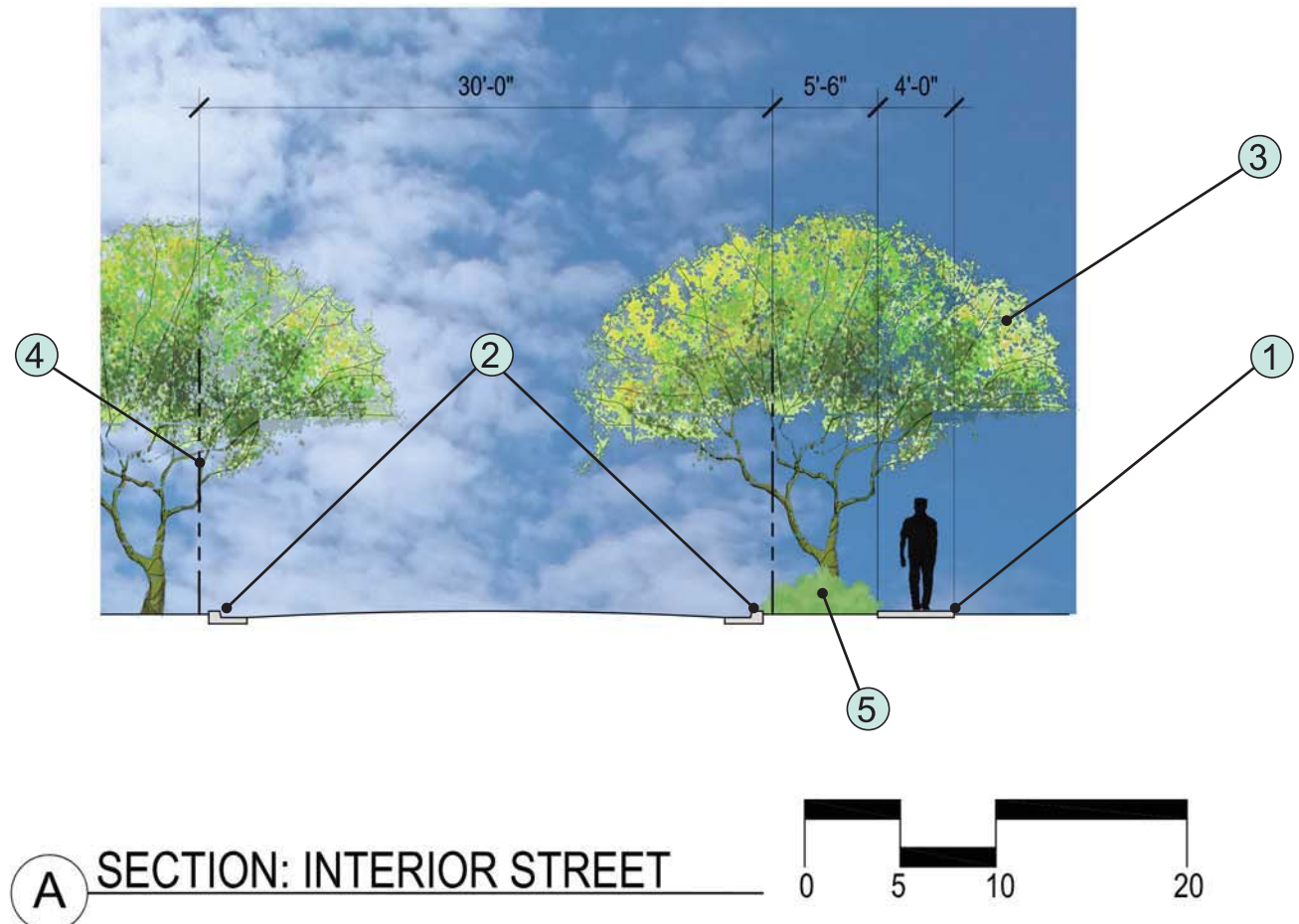


KEYNOTES

- ① Canal
- ② Drainage Channel
- ③ View Wall
- ④ Property Line
- ⑤ Rip Rap Channel Bottom
- ⑥ Agrarian View Fence

NAVARRO GROVES

Figure 10:
Canalscape
Details



A SECTION: INTERIOR STREET

KEYNOTES

- ① Sidewalk
- ② Curb
- ③ Street Tree
- ④ Right of Way
- ⑤ Shrubs
- ⑥ Approximate Driveway Location

NAVARRO GROVES

Figure 11:
Internal
Streets

KEYNOTES

- ① Entry Monument
- ② Trellis
- ③ Gate
- ④ Tube Steel Fence
- ⑤ Drainage Channel
- ⑥ Split Rail Fence
- ⑦ Ramada with Trellis
- ⑧ Steps
- ⑨ Sidewalk
- ⑩ Compacted Stabiized Decomposed Granite Multi-Use Trail
- ⑪ Rip Rap Channel Bottom
- ⑫ Annuals
- ⑬ Turf
- ⑭ Keypad for Gates
- ⑮ Headwall
- ⑯ Orange Tree
- ⑰ Approximate Driveway Location
- ⑱ Ribbon Curb
- ⑲ Theme Wall with Trellis
- ⑳ 3/8" Minus 5'-0" Wide Decomposed Granite Trail



A PLAN: ENTRY

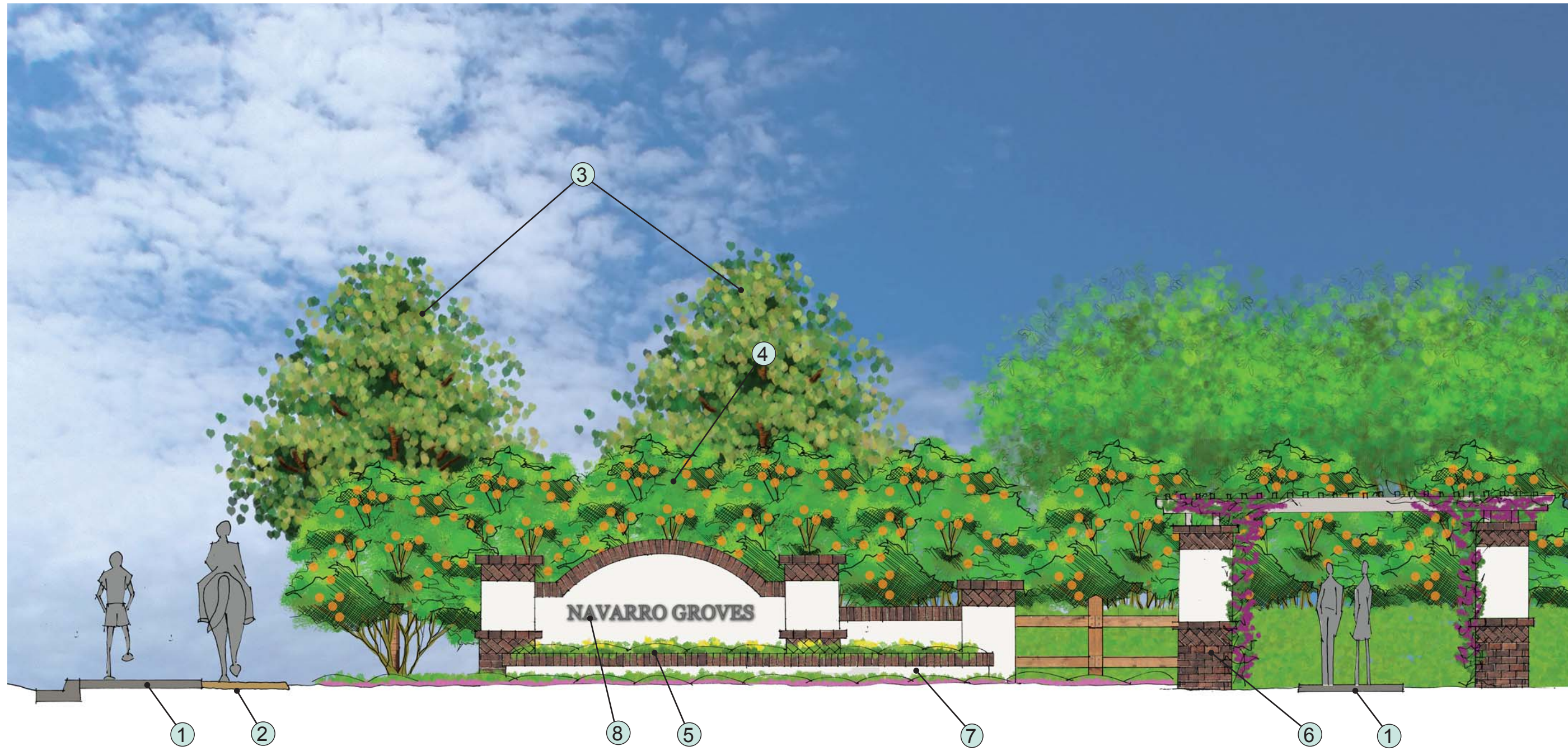


07.15.2016

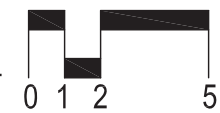
NAVARRO GROVES

Figure 12:
Entry
Plan

NAVARRO GROVES



A ENTRY MONUMENT ELEVATION



KEYNOTES

- ① Sidewalk
- ② Stabilized Compacted Decomposed Granite Trail
- ③ Street Tree
- ④ Orange Tree
- ⑤ Entry Monument
- ⑥ Decorative Trellis
- ⑦ Split Rail Fence
- ⑧ Backlit Letters

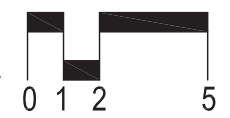
Figure 13a:
 Entry
 Character
 Details

07.15.2016

NAVARRO GROVES



A GROUP RAMADA ELEVATION



KEYNOTES

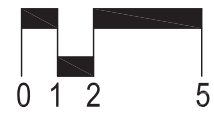
- ① Ramada
- ② Trellis
- ③ Steps Leading to Turf in Park
- ④ Brick
- ⑤ Stucco
- ⑥ Orange Trees

Figure 13b:
Entry
Character
Details

NAVARRO GROVES



A ENTRY GATE ELEVATION

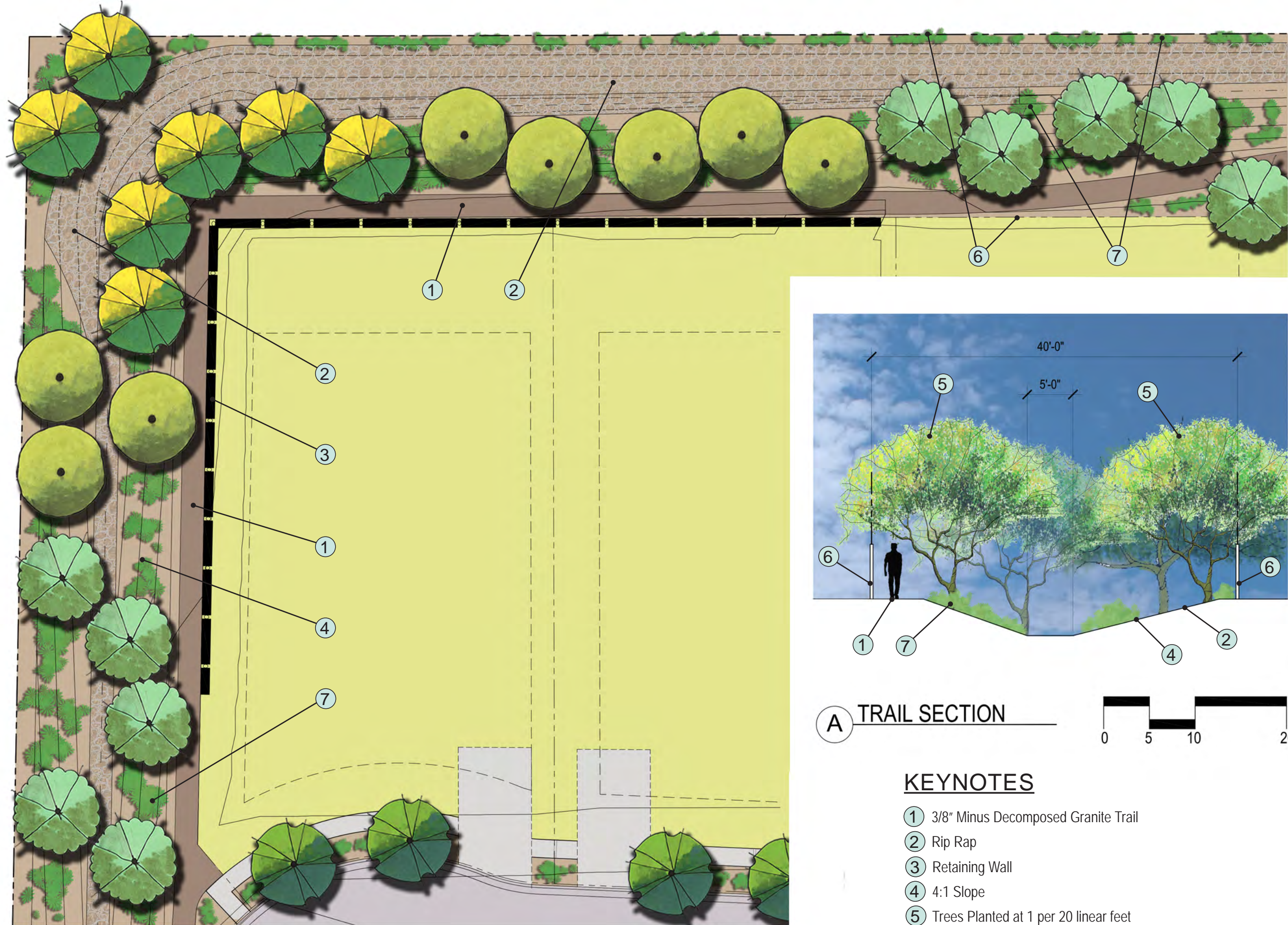


KEYNOTES

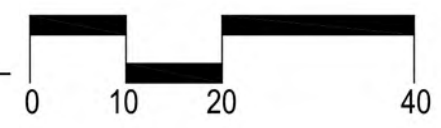
- ① Pedestrian Gate
- ② Reclaimed Wood Panels
- ③ Navarro Fruit Crate Logo
- ④ Brick
- ⑤ Stucco
- ⑥ Gate

Figure 13c:
Entry
Character
Details

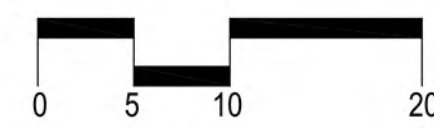
NAVARRO GROVES



A TRAIL PLAN



A TRAIL SECTION



KEYNOTES

- ① 3/8" Minus Decomposed Granite Trail
- ② Rip Rap
- ③ Retaining Wall
- ④ 4:1 Slope
- ⑤ Trees Planted at 1 per 20 linear feet
- ⑥ Wall - Refer to Wall Plan
- ⑦ Shrubs and Groundcover

Figure 13d:
Trail
Details

g. Landscape Sustainability

All but one of the plants on the plant list are drought tolerant and are listed on the Arizona Department of Water Resources Official Regulatory List for the Phoenix Active Management Area. The one species not on the ADWR list is the citrus tree, which will be used sparingly at the entry for its historical and agrarian significance.

Turf areas will be limited to the entry area to provide visibility to the sign and to the larger usable areas within the proposed open spaces.

8. Shade

Trees have been located to provide shade for the sidewalks, trails and gathering spaces to maximize their usability. Pedestrian walkways and gathering areas should be shaded a minimum of fifty percent (50%) at maturity per City of Phoenix Ordinance Section 507 Tab A.II.B.6.1.

9. Sustainability Guidelines

This PUD should establish a community that adheres to sustainable development practices where feasible. The concept of sustainability recognizes that projects should seek to integrate within and conform to the character of the existing community. The South Mountain Village and immediate surrounding neighborhoods have a rich history of agriculture that is still prevalent throughout the area. Navarro Groves incorporates character elements borrowed from historically rural agrarian elements. In addition, more modern sustainability practices can be implemented throughout the project through consideration of the following items with the required direct application of a minimum of four (4) enforceable items listed below, two of which are required as noted by an "(R)".

- a. Utilize LED type light fixtures for common area lighting. To be enforced through review and approval of lighting construction documents and field inspection. (R)
- b. Incorporate "Smart" irrigation control systems into the design and development of community open spaces. To be enforced through review and approval of future site plan and landscape construction documents and field inspection. (R)
- c. Design for effective water usage and conservation methods by using low flow plumbing fixtures using minimal amounts of potable water.
- d. Promote drought tolerant plant materials. To be enforced through review and approval of future site plan and landscape construction documents and field inspection.
- e. Implement a community garden within the PUD which provides fruits, vegetables and/or flowers to be maintained by community members and/or Homeowners Association. To be enforced through review and approval of future site plan and landscape construction documents and field inspection.

- f. Design for effective use of energy efficient appliances and HVAC systems by demonstrating deductions in on-going power consumption of building designs. To be enforced through future review and permitting of building plans and building construction inspecting.
 - g. Use recycled and/or salvaged, non-hazardous construction and demolition materials. Develop and implement a construction waste management plan to identify the materials to be diverted from disposal and whether the materials will be sorted on-site or comingled. To be enforced through future review and permitting of building plans and building construction inspecting.
10. City Administered Design Guidelines
Development within this PUD area will be required to comply with all Design Guidelines as defined within the Development Review section of the Phoenix Zoning Ordinance except as to the extent that such guidelines conflict with this PUD.
11. Infrastructure Standards
- a. Circulation System
The Street Classification of the roadway network adjacent to the Navarro Groves PUD is defined by the City of Phoenix Street Classification Map. 32nd Street is classified as a Minor Collector roadway and is generally constructed to its ultimate improved width. The developer will be responsible for constructing the “finished edge” including a curb, sidewalk and multi-use trail along the property frontage on the west side of the street.
 - b. Stormwater / Grading and Drainage

Offsite Stormwater

According to the Hohokam Drainage Area Master Study, a regional drainage study prepared for Flood Control District of Maricopa County, sheet flow may cross the Highline Canal near the middle of the Site during large storm events. A proposed drainage channel will be provided to intercept and route this runoff through the Site to maintain the existing drainage pattern in the local area. Weir basins will be provided along the northern boundary of the site to return this captured runoff into the existing sheet flow condition.

Onsite Stormwater

Storm runoff that originates on the project Site will be collected by the local street network and routed to on-site retention basins. The basins will be limited to 3’ in depth and sized to store the design storm (100-year 2-hour storm event) consistent with the City of Phoenix Stormwater Policy. These flows will be isolated from the offsite runoff, forming two separate drainage systems. Local streets will be sized to contain the 10-year storm event within the street section, and the 100-year storm event within the private street tracts. All finished floors will be designed to be a

minimum of 14 inches above the low top of curb and 1 foot above all adjacent channel high-water elevations.

c. Water and Wastewater Service

Water

A public, eight inch (8") water main will be installed by the developer in each street within Navarro Groves and will connect to the existing City of Phoenix public water main located in 32nd Street. This water main will be owned by City of Phoenix and will serve as domestic water and supply fire hydrants located within the local street network. Each lot will have a private water meter service located along the lot frontage.

Wastewater

A public, eight inch (8") sewer main will be installed by the developer in each street within the development and will connect to the existing City of Phoenix public sewer located in 32nd Street. Each lot will have a private sewer service with cleanout located along the lot frontage.

d. Dry Utilities

Dry utilities owned and managed by SRP Electric, Southwest Gas, Cox Communications, and Century Link are available to the project within the adjacent 32nd Street right-of-way. It is anticipated that private services for each of these utilities will be installed in underground lines to each lot within the development.

Fire service and refuse collection will be provided to the development by City of Phoenix.

12. Phasing Plan

Navarro Groves will be constructed in one phase.

APPENDIX A: PUD AREA LEGAL DESCRIPTION

THAT PORTION OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 2, TOWNSHIP 1 SOUTH, RANGE 3 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, LYING NORTH OF THE NORTHERLY RIGHT OF WAY LINE OF THE HIGHLINE CANAL AS DESCRIBED IN DEED BOOK 122, PAGE 33 OF MARICOPA COUNTY RECORDS.

SAID PARCEL MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 2, BEING MARKED BY A CITY OF PHOENIX BRASS CAP FLUSH, FROM WHICH THE EAST QUARTER CORNER OF SAID SECTION 2 BEARS SOUTH 01 DEGREE 12 MINUTES 40 SECONDS WEST AT A DISTANCE OF 1315.08 FEET.

THENCE SOUTH 01 DEGREE 12 MINUTES 40 SECONDS WEST, ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 2, 838.90 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF HIGHLINE CANAL AS DESCRIBED IN DEED BOOK 122, PAGE 33 OF MARICOPA COUNTY RECORDS; THENCE THE FOLLOWING COURSES ALONG SAID NORTHERLY RIGHT OF WAY LINE OF HIGHLINE CANAL:

SOUTH 82 DEGREES 34 MINUTES 05 SECONDS WEST 84.22 FEET TO THE BEGINNING OF A CURVE HAVING A RADIUS OF 253.00 FEET;

THENCE ALONG THE ARC OF SAID CURVE 91.97 FEET THROUGH A CENTRAL ANGLE OF 20 DEGREES 49 MINUTES 45 SECONDS;

THENCE NORTH 76 DEGREES 30 MINUTES 55 SECONDS WEST 295.77 FEET TO THE BEGINNING OF A CURVE HAVING A RADIUS OF 323.00 FEET;

THENCE ALONG THE ARC OF SAID CURVE 194.29 FEET THROUGH A CENTRAL ANGLE OF 34 DEGREES 27 MINUTES 54 SECONDS;

THENCE SOUTH 68 DEGREES 52 MINUTES 05 SECONDS WEST 65.15 FEET TO THE BEGINNING OF A CURVE HAVING A RADIUS OF 158.00 FEET;

THENCE ALONG THE ARC OF SAID CURVE 108.10 FEET THROUGH A CENTRAL ANGLE OF 39 DEGREES 12 MINUTES 05 SECONDS;

THENCE NORTH 71 DEGREES 29 MINUTES 55 SECONDS WEST 159.57 FEET TO THE BEGINNING OF A CURVE HAVING A RADIUS OF 228.00 FEET;

THENCE ALONG THE ARC OF SAID CURVE 190.83 FEET THROUGH A CENTRAL ANGLE OF 47 DEGREES 57 MINUTES 14 SECONDS;

THENCE SOUTH 60 DEGREES 07 MINUTES 05 SECONDS WEST 89.24 FEET TO THE BEGINNING OF A CURVE HAVING A RADIUS OF 324.00 FEET;

THENCE ALONG THE ARC OF SAID CURVE 85.49 FEET THROUGH A CENTRAL ANGLE OF 15 DEGREES 07 MINUTES 04 SECONDS TO THE INTERSECTION OF THE WEST LINE OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 2;

THENCE LEAVING SAID NORTHERLY RIGHT OF WAY LINE OF HIGHLINE CANAL, NORTH 01 DEGREES 04 SECONDS 53 MINUTES EAST, ALONG SAID WEST LINE 855.61 FEET TO THE NORTHWEST CORNER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 2;

THENCE ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 2, NORTH 89 DEGREES 51 MINUTES 49 SECONDS EAST 1313.82 FEET TO THE POINT OF BEGINNING.

APPENDIX B: PUD PLANT LIST

Trees	
<u>Latin Name</u>	<u>Common Name</u>
Acacia salicina	Willow-leaf Acacia
Bauhinia congesta	Anacacho Orchid Tree
Brachychiton populneus	Bottle Tree
Butia capitata	Jelly Palm
Caesalpinia calacao	Cascalote
Callistemon viminalis	Weeping Bottlebush
Carya Illinoensis*	Pecan
Causarina cunninghamiana	River She Oak
Celtis reticulate	Netleaf Hackberry
Cercidium microphyllum	Foothills Palo Verde
Cercidium praecox	Sonoran Palo Verde, Palo Brea
Cercis Canadensis v. texensis	Texas Redbud
Cercis Canadensis v. Mexicana	Mexican Redbud
Ceratonia silique	Carbo
Chamaerops humilis	Mediterranean Fan Palm
Chilopsis linearis	Desert-willow
Chitalpa tashkentensis	Chipalta
Cordia boissieri	Texas Olive
Dalbergia sissoo	Sissoo Tree
Eucalyptus ssp	Gum, Ironbark, Mallee
Giejera parviflora	Australian Willow
Gledistia triacanthos	Honey Locust
Olea europaea	Olive
Olneya testota	Ironwood
Phoenix canariensis	Canary Island Date Palm
Phoenix dactylifera	Date Palm
Pinus eldarica*	Afghan PineAleppo Pine
Pinus halepensis	Aleppo Pine
Pinus pinea	Italian Stone Pine
Pinus roxburghii	Chir Pine
Pistacia chinensis	Chinese Pistachio

Pistacia vera	Pistachio
Pithecellobium flexicaule	Texas Ebony
Pittosporum phillyraeoides	Willow Pittosporum
Populous fremontii*	Cottonwood
Prosopis velutina	Mesquite
Quercus virginiana	Southern Live Oak
Rhus lancea	African Sumac
Sophora secundiflora	Mescal Bean
Tipuana tipu	Tipu Tree
Ulmus parviflora	Evergreen Elm
Vitex angus casus	Monk's Pepper, Chaste Tree
Washingtonia Robusta	Mexican Fan Palm
Zizyphus jujuba	Chinese Jujube

Shrubs

<u>Latin Name</u>	<u>Common Name</u>
Abutilon palmeri	Superstition Mallow
Ambrosia trifoliata	Bursage
Anisacanthus quadrifidus	
Artemesia 'Powis Castle'	Powis Castle
Atriplex nummularia	Old Man Salt Bush
Buddleia marrubifolia	Wooly Butterfly Bush
Caesalpinia Mexicana	Mexican Bird of Paradise
Caesalpinia pulcherrima	Red Bird of Paradise
Calliandra californica	Baja Fairy duster
Callistemon viminalis	Dwarf Bottlebrush
Cassia nemophilla	Desert Cassia
Chrysactinia Mexicana	Damianita
Celtis pallida	Desert Hackberry
Convolvulus cnerorum	Bush Morning Glory
Cordia boissieri	Anachuita
Cordia parviflora	Little Leaf Cordia
Dodonaea viscosa	Hopbush
Encelia farenosa	Brittlebush
Ericameria laricidolia	Turpentine Bush

<i>Forestiera neomexicana</i>	Desert Olive
<i>Fraxinus greggii</i>	Little leaf Ash
<i>Fraxinus Uhdei</i>	Shamel Ash
<i>Fraxinus Velutina</i>	Arizona Ash
<i>Fraxinus Velutina "Modesto"</i>	Modesto Ash
<i>Hamelia patens</i>	Fire Brush
<i>Jasminum mesneyi</i>	Primrose Jasmine
<i>Justicia candicans</i>	Red Justicia
<i>Justicia spicigera</i>	Mexican Honeysuckle
<i>Lantana camara</i>	Bush Lantana
<i>Larrea tridentate</i>	Creosote Bush
<i>Leucophyllum laevigatum</i>	Chihuahuan Sage
<i>Lonicera sempervirens</i>	Trumpet Honeysuckle
<i>Nerium oleander</i>	Oleander
<i>Myrtus communis</i>	True Myrtle, Roman Myrtle
<i>Myrtus communis cv. Boetica</i>	Twisted Myrtle
<i>Myrtus communis cv. Compacta</i>	Dwarf Myrtle
<i>Plumbago scandens</i>	Plumbago
<i>Punica granatum</i>	Pomegranate
<i>Pracantha coccinea</i>	Pyracantha
<i>Rhus ovata</i>	Sugarbrush
<i>Rosemarinus officinalis</i>	Rosemary
<i>Rosmarinus spp.</i>	Brush Rosemary
<i>Ruellia peninsularis</i>	Ruellia
<i>Ruellia brittoniana</i>	Britton's Ruellia
<i>Ruellia spp.</i>	Ruellia
<i>Salvia greggii</i>	Autumn Sage
<i>Salvia leucantha</i>	Mexican Bush Sage
<i>Salvia clevelandii</i>	Chapparal Sage
<i>Simmondsia chinensis</i>	Jojoba
<i>Tagetes palmeri</i>	Bush Marigold
<i>Tecoma sp. Orange jubilee</i>	
<i>Tecoma stans</i>	Yellow Bells
<i>Tecomaria capensis</i>	Cape Honeysuckle
<i>Thevetia peruviana</i>	Yellow Oleander

Groundcovers	
<u>Latin Name</u>	<u>Common Name</u>
Asparagus densiflorus	Sprenger Asparagus
Baccharis 'Centennial'	
Ephorbia rigida	
Gazania rigens csv.	
Lantana spp.	Lantana
Verbena regida, tenera	Verbena
Dalea capitata	
Oenothera sp.	Primroses
	Ice Plants
Oenothera berlandieri	Mexican Evening Primrose
Oenothera stubbei	Saltillo Primrose
Rosmarinus officianalis cv. Prostrates	Dwarf Rosemary
Salvia chamaedryoides	Blue Sage
Salvia farinacea	Mealy Cup Sage
Teucrium chamaedrys cv. Prostratum	Germander
Hymenoxys acaulis	Angelita Daisy
Ruellia brittoniana prostrata	
Verbena peruviana	Peruvian Verbena
Wedelia trilobata	Yellow Dot
Vines	
<u>Latin Name</u>	<u>Common Name</u>
Antigonon leptopus	Coral Vine, Queen's Wreath
Bougainvillea cvs.	Bougainvillea
Campsis radicans	Common Trumpet Creeper
Mascagnia macroptera	Yellow Orchid Vine
Podranea ricasoliana	Pink Trumpet Vine
Rosa banksiae Alba Plena, Lutea	Lady Bank's Rose
Hardenbergia comptiana	Lilac Vine, Wild Wisteria
Accents/Perennial Wildflowers	
<u>Latin Name</u>	<u>Common Name</u>

Aloes	Aloe
Berlandiera lyrata	Chocolate Flower
Gaura lindheimeri	Desert Orchid
Opuntia ficus indica	Indian Fig
Penstemon spp.	Penstemon
Psilostrophe tagetina	Paperflower
Muhlenbergia sp	Deer Grass
Penstemons	
Sphaeralcea spp.	Globe-mallow
Tagetes palmeri (lemmonii)	Mt. Lemmon Marigold
Zephyranthes	Rain Lily

APPENDIX C: RESERVED - CITIZEN PARTICIPATION EFFORTS AND SUMMARY

APPENDIX D: RESERVED - PHOENIX CITY COUNCIL MEETING HEARING MINUTES

APPENDIX E: RESERVED - PUD – CONDITIONS OF ZONING APPROVAL

APPENDIX F: COMPARATIVE ZONING TABLE

1. Development Standards

DEVELOPMENT STANDARDS			
	NAVARRO GROVES PUD	MUA	BAOD
MAXIMUM BUILDING OR STRUCTURE HEIGHT			
Residential	One-story and twenty-two (22) feet, where not further limited by the BAOD.	Thirty (30) feet	Two-story and thirty (30) feet, 50% One-story or fifteen (15') feet along Western or Highline Canal
BUILDING SETBACKS (EXCLUDING CANAL RIGHT-OF-WAY SETBACKS)			
Front Yard			
Note: All lots defined on the Conceptual Development Plan front on an internal local street.			
Local Street	Twenty (20) feet	Thirty (30) feet	NA
Side Yard			
Interior	Five (5) foot minimum; fifteen (15) feet combined	Fifteen (15) feet	Min. 10' between buildings
Street	Ten (10) feet	Twenty (20) feet	NA

Rear Yard			
Interior	Twenty-Five (25) feet	Twenty (20) feet	NA
LOT COVERAGE			
Maximum Lot Coverage	<p>28% of net Site area distributed to all lots proportionally.</p> <p>Method of calculating maximum residential lot coverage permitted for each lot within the overall development shall be based on the following formula: <u>Gross Site Area – (Perimeter Right-of-Way + Interior Street Tract) = Net Area</u> <u>Net Area (0.28) = X</u> <u>X / # of Lots = Maximum Square Foot Area (Building/Accessory Footprint) Allowed Per Lot.</u></p>	<p>35% - Shade structures accessory to agricultural or plant nursery uses which are fabric or plastic film covered and which do not exceed twelve feet in height shall not be included in lot coverage calculations.</p>	NA
DENSITY			
Maximum Density	2.18 units per acre	2 units per acre	NA
FENCING AND WALLS			
Fencing and Walls	Fencing and Walls are permitted per Section H.1 and as shown on figures 7 and 8	Varies	Varies

2. Landscape Standards

LANDSCAPE TRACTS AND STREETScape ADJACENT TO 32ND STREET			
Landscaped setback	Minimum 60' landscape tract along 32 nd Street	Average 35' along arterial/collector streets, minimum 30' permitted for up to 50% of the frontage	NA
PLANT TYPE	MINIMUM PLANTING SIZE		
Trees	Min. 2-inch caliper (50% of required trees)	Min. 2-inch caliper (50% of required trees)	NA
	Min. 3-inch caliper or multi-trunk tree (25% of required trees)	Min. 3-inch caliper or multi-trunk tree (25% of required trees)	
	Min. 4-inch caliper or multi-trunk tree (25% of required trees)	Min. 4-inch caliper or multi-trunk tree (25% of required trees)	
Rows/Spacing	Three rows of trees averaging one tree per fifteen feet (15') on center, per plan	NA	NA
Shrubs	Min. five (5) 5-gallon shrubs per tree	Min. five (5) 5-gallon shrubs per tree	NA
Groundcover	1 gallon	NA	NA
Additional	Flowering vines on trellises along the walls that back to 32 nd Street, per Figure 8, Wall/Fence Elevations	NA	NA
PERIMETER PROPERTY LINES (NOT ADJACENT TO A STREET)			
South	Min. twenty foot (20') landscaped setback adjacent to southern perimeter	Min. 10-foot landscaped setback	NA

North	0 feet (Reference G.3 Open Space Standards for minimum open space requirements)	Min. 10-foot landscaped setback	NA
West	0 feet (Reference G.3 Open Space Standards for minimum open space requirements)	Min. 10-foot landscaped setback	NA
PLANT TYPE	MINIMUM PLANTING SIZE		
Trees	Min. 2-inch caliper (60% of required trees)	Min. 2-inch caliper (60% of required trees)	NA
	Min. 1-inch caliper (40% of required trees)	Min. 1-inch caliper (40% of required trees)	
Rows/Spacing	One row of trees averaging twenty feet (20') on center. Planting to be informal.	NA	NA
Shrubs	Min. five (5) 5-gallon shrubs per tree	Min. five (5) 5-gallon shrubs per tree	NA
Groundcover	1 gallon	NA	NA
INTERNAL STREETS			
Internal Streets	Street trees to be planted an average of 25'-0" on center or as approved by the Planning and Development Department	NA	Street trees to be planted an average of 25'-0" on center

3. Open Space Standards

PERIMETER PROPERTY LINES (NOT ADJACENT TO A STREET)			
North	Minimum forty (40) foot Open Space adjacent to northern perimeter	NA	NA
West	Minimum forty (40) foot Open Space adjacent to western perimeter	NA	NA
South	Minimum twenty (20) foot Open Space adjacent to twenty (20) foot landscape setback on southern perimeter	NA	NA

PLANT TYPE	MINIMUM PLANTING SIZE		
Trees	40% 1-inch caliper	NA	NA
	60% 2-inch caliper	NA	NA
Rows/Spacing	One row of trees averaging twenty feet (20') on center. Planting to be informal.	NA	NA
Shrubs	Min. five (5) 5-gallon shrubs per tree	NA	NA
Groundcover	1 gallon	NA	NA

4. General Planting Requirements – Applicable to Landscape Setbacks and Open Space

GENERAL PLANTING REQUIREMENTS - APPLICABLE TO LANDSCAPE SETBACKS AND OPEN SPACE			
Trees, Shrubs, Accents and Groundcover	Fifty percent (50%) live coverage in all landscape and retention areas includes trees, shrubs, and groundcover, per code. Landscape treatment must be used for entire site exclusive of building(s), pavement for vehicular use, and private lots.	NA	NA
Rock Mulch/ Decomposed Granite	Applied dust control products (i.e. decomposed granite, river rock, ground cover, etc.) are to be installed a minimum of two inches (2") thick on all landscape areas. Decomposed granite size should be 1/4" to 3/4" per Zoning Ordinance section 202 and City of Phoenix Supplement to MAG Standards section 430.	NA	NA



APPROX. SCALE: NTS

7.15.2016

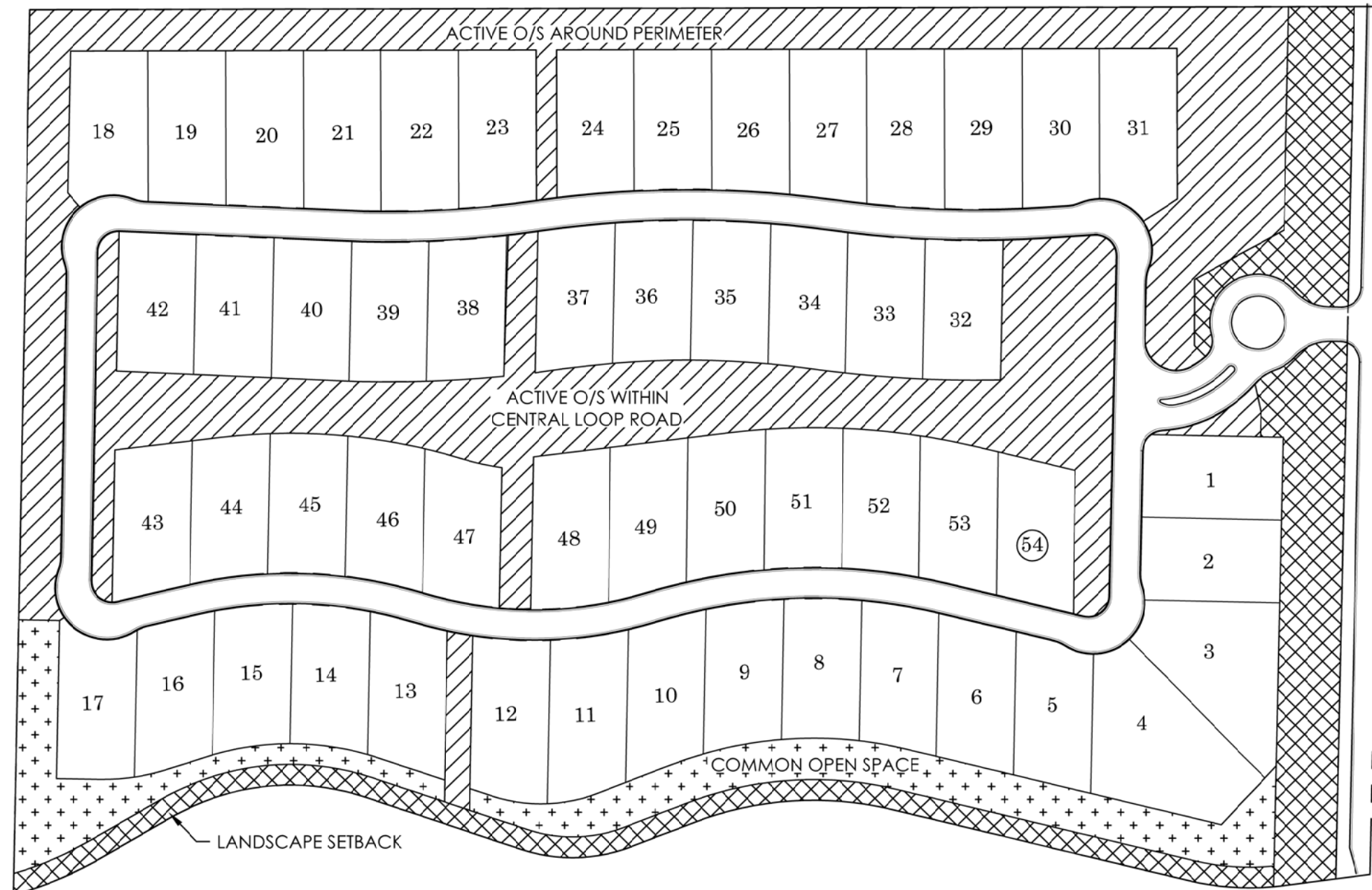
OPEN SPACE ANALYSIS

NET SITE AREA: 1,023,211 SF, 23.4 AC
 REQUIRED INTERNAL O/S: 204,642 SF, 4.69 AC (20% OF NET)
 REQUIRED O/S WITHIN R1-14 AND MUA ZONING DISTRICTS: NONE

ACTIVE OPEN SPACE WITHIN CENTRAL LOOP ROAD: 101,490 SF, 2.32 AC (9.9% OF NET)
 ACTIVE OPEN SPACE AROUND PERIMETER: 107,296 SF, 2.46 AC (10.5% OF NET)
TOTAL ACTIVE OPEN SPACE: 207,461 SF, 4.76 AC (20.3% OF NET)

LEGEND

-  ACTIVE OPEN SPACE
-  COMMON OPEN SPACE
(NOT COUNTED TOWARD 20% OPEN SPACE REQUIREMENT)
-  LANDSCAPE SETBACK
(NOT COUNTED TOWARD 20% OPEN SPACE REQUIREMENT)



NAVARRO GROVES

Appendix G:
 Open Space
 Exhibit