

Laveen Spectrum

Planned Unit Development

Approximate 71.75-gross acre project located
at the northwest corner of Baseline Road
and 59th Avenue along the Congressman Ed
Pastor / Loop 202 Freeway



City of Phoenix Rezoning Case Number: Z-12-20-7

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CITY OF PHOENIX

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TABLE OF CONTENTS

1. PURPOSE AND INTENT	4
1a. Planned Unit Development	4
1b. Project Overview and Goals	4
1c. Overall Design Concept	6
2. EXISTING SITE CONDITIONS	7
3. DEVELOPMENT PLAN	9
3a. Development Sub-Areas	9
3b. Phasing	11
4. LAND USES	12
5. DEVELOPMENT STANDARDS	16
5a. Land Use Development Standards	16
5b. Landscape Zones	18
5c. Landscape Development Standards	25
5d. Parking Standards	28
5e. Walls & Fences	28
5f. Amenities	29
5g. Pedestrian Circulation	30
5h. Bike Amenities	32
5i. Screening	32
5j. Lighting	33
6. DESIGN GUIDELINES	34
6a. Design Expectations	34
6b. Perimeter Design Corridor	37
7. SOUTHWEST GROWTH STUDY/LAVEEN GUIDE FOR DEVELOPMENT	38
8. SIGNS	40
9. SUSTAINABILITY	42
9a. Encouraged Sustainability Practices	42
9b. Existing Sustainability Practices	45
10. INFRASTRUCTURE	48
10a. Circulation	48
10b. Grading & Drainage	49
10c. Water & Wastewater	49

1. PURPOSE & INTENT

1a. Planned Unit Development

The Planned Unit Development (“PUD”) zoning district is authorized by Chapter 6, Section 671 of the Zoning Ordinance of the City of Phoenix (“Phoenix Zoning Ordinance”). A PUD is intended to be a stand-a-lone document that sets forth the regulatory framework, including permitted uses, development standards and design guidelines, for a particular project (“PUD Regulations”). The PUD may only modify provisions within the Phoenix Zoning Ordinance and does not modify other City of Phoenix codes, regulations or requirements. A PUD may include substantial background information and narrative discussion, including purpose and intent statements, which are intended to illustrate the overall character and vision for the development. Such statements are not regulatory and are not requirements to be enforced by the City of Phoenix.

The PUD regulations apply to all property within the PUD project boundary. The PUD regulations supersede and replace all applicable Phoenix Zoning Ordinance requirements. If there is a conflict between PUD regulations and the Phoenix Zoning Ordinance, including the design guidelines within the Phoenix Zoning Ordinance, the terms of this PUD shall apply. If a provision is not addressed by the PUD, then the Phoenix Zoning Ordinance controls.

1b. Project Overview and Goals

The Laveen Spectrum PUD application seeks to rezone approximately 71.75 gross acres of land located at the northwest corner of 59th Avenue and Baseline Road. See **Figure 1 (Vicinity Map)**. The Applicant proposes a mixed-use development consisting primarily of commercial, employment and high-density residential uses.

The primary goal of the Laveen Spectrum PUD is to accommodate the development of a master planned project that will complement the development and growth occurring along the Laveen Village’s Congressman Ed Pastor / Loop 202 Freeway corridor. The Laveen Spectrum PUD will incorporate land uses and design principles that create a cohesive mixed-use development environment.

The goals and objectives of the Laveen Spectrum PUD are to:

- Master plan and create a multi-phased development consisting of a mix of uses and development options that will complement the area’s existing and planned development.
- Capitalize on development opportunities along the recently opened Congressman Ed Pastor / Loop 202 Freeway.
- Incorporate land use standards and design guidelines that create a cohesive place to live/stay, work and shop/play.

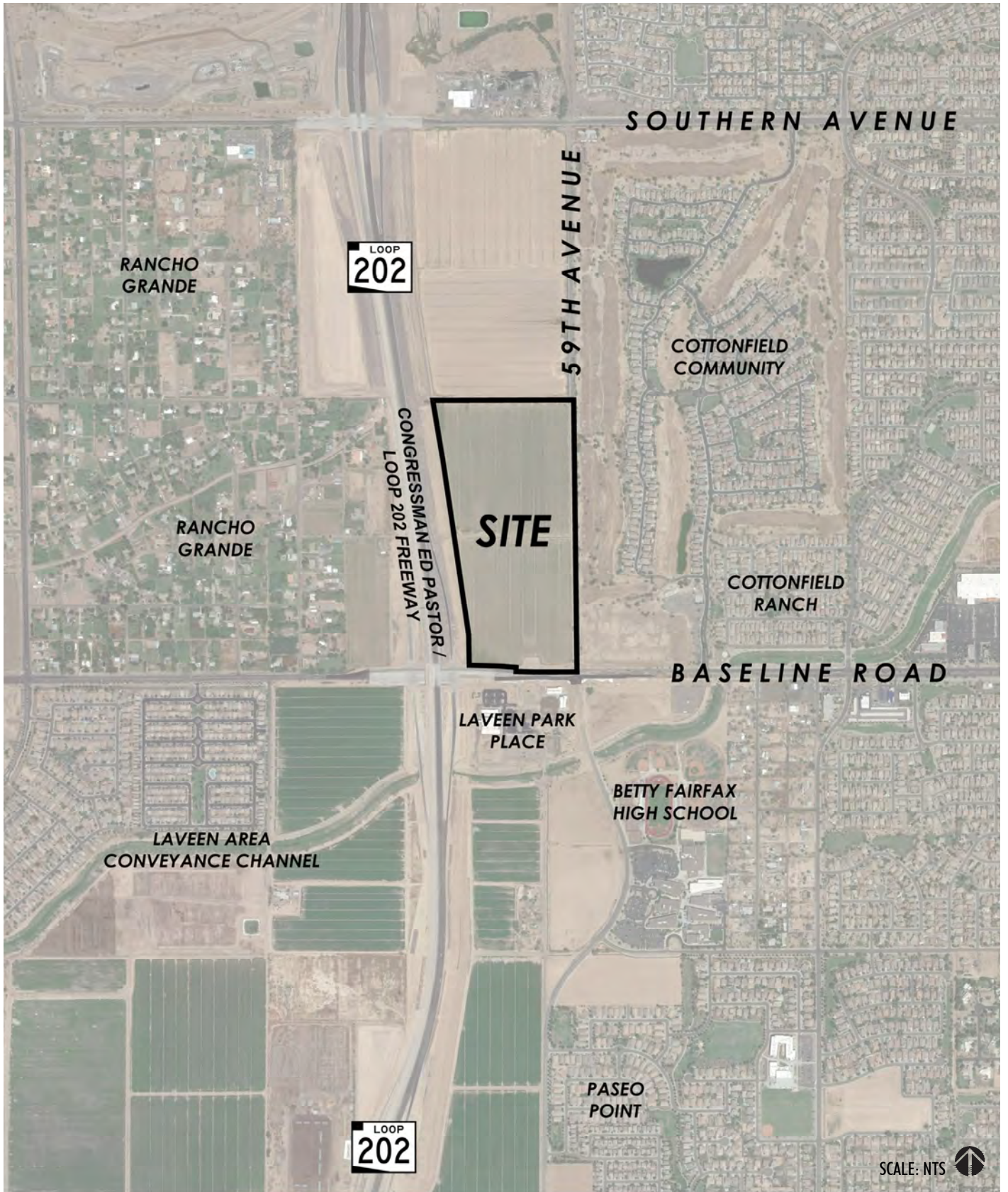


Figure 1: Vicinity Map

1c. Overall Design Concept

The Laveen Spectrum PUD provides the framework for a well-planned, cohesive mixed-use project that integrates commercial, employment, and residential uses into a connected and aesthetically unified development. The Laveen Spectrum site is currently zoned for a mix of commercial (C-2 HGT/WVR and C-1) and multifamily residential (R3-A) uses. The goal of this PUD request is to generally maintain these zoning districts and allowed uses while providing additional locational flexibility for commercial, employment and high-density residential uses across the site. Per **Figure 2 (Conceptual Development Plan)**, the southern 18.35 acres of the site (Development Sub-Area 1) is planned exclusively for C-2 uses. The northern 17.95 acres of the site (Development Sub-Area 3) is planned exclusively for R3-A uses. This is generally consistent with the site's existing zoning entitlements. The remaining 39.45 acres located in the center of the site (Development Sub-Area 2) is planned to allow for both C-2 and R3-A uses. This flexibility will generally allow for a transition of intensity from the commercial and retail uses at the south end of the site to the residential uses at the north end of the site. The additional flexibility within the central development sub-area will allow the site to develop based on evolving market needs within this area with uses that are compatible with the site's location adjacent to the freeway corridor. All three development sub-areas will be linked via multi-modal circulation routes along 59th Avenue and Baseline Road. Streetscapes for these frontages will be enhanced with street trees, shaded sidewalks, pedestrian nodes and enhanced project gateways.



2. EXISTING SITE CONDITIONS

Laveen Spectrum consists of approximately 71.75 gross acres of property located at the northwest corner of Baseline Road and 59th Avenue in the Laveen Village, within the municipal boundary of the City of Phoenix. The site is comprised of two parcels, Maricopa County Assessor’s parcel numbers 104-86-001U and 104-86-007A. See **Appendix A (Legal Description)**. The site, which is generally flat and does not include any significant topographical or natural features, currently accommodates the production of field crops.

To the west of the proposed development is the newly opened Congressman Ed Pastor / Loop 202 Freeway. The freeway directly abuts the Laveen Spectrum site, with a full interchange at Baseline Road. The primary travel lanes of the freeway are located approximately 200 feet from the site’s western property line providing an adequate buffer for the project.

Uses and features adjoining or located in proximity to the Laveen Spectrum PUD property include:

- The Laveen Park Place regional center, including Sprouts Farmers Market and Harkins Theatre, located immediately to the south across Baseline Road;
- A future 11-acre commercial development located at the northeast corner of Baseline Road and the 59th Avenue alignment is planned to accommodate commercial uses and a church campus;
- The currently closed Southern Ridge Golf Club located immediately to the east of the subject property across the 59th Avenue alignment;
- The site of a future 43-acre Maricopa County Community College campus located immediately to the north;
- Field crops, single-family residences and unimproved properties located in unincorporated Maricopa County to the west across the Congressman Ed Pastor / Loop 202 Freeway;
- The Cottonfields residential neighborhood located east of the Southern Ridge Golf Club;
- The Laveen Conveyance Channel located approximately 850 feet to the south and approximately 1,300 feet to the east; and,
- Betty H. Fairfax High School located approximately 1,000 feet to the southeast.

Table 1 (Surrounding Existing Uses) identifies the existing land uses surrounding the site.

TABLE 1: SURROUNDING EXISTING USES

Location	General Plan	Zoning	Land Use
Site	Commercial and 10-15 du/acre – Higher density attached townhouses, condos or apartments	C-2, HGT/WVR, C-1 and R-3A	Agricultural (field crops)
North	3.5 to 5 du/acre - Traditional Lot	S-1 (Approved R3-A and R1-8)	Agricultural (field crops)
East and Northeast (across 59th Avenue alignment)	Parks/Open Space	C-1 and GC	Southern Ridge Golf Club (closed) and unimproved
Southeast (across 59th Avenue and Baseline Road)	10 to 15 DU/Acre – Higher Attached Townhouses, Condos, or Apartments	S-1 (approved C-2)	Unimproved
South (across Baseline Road)	Commercial – Commerce/ Business Park	Mixed Use (Commercial/ Commerce/Business Park)	Laveen Park Place regional center, including Sprouts Farmers Market and Harkins Theatre
Southwest (across Baseline Road and Loop 202 Freeway)	Mixed Use (Commercial/ Commerce/Business Park)	CP/GCP	Agricultural (field crops)
West (across Loop 202 Freeway)	0-1 Du/Acre – Large Lot Residential	Maricopa County RU-43 & C-2	Agricultural (field crops), single family residences and unimproved
Northwest (across Loop 202 Freeway)	0-1 Du/Acre – Large Lot Residential	Maricopa County RU-43	Single-family residences

3. DEVELOPMENT PLAN

The conceptual design framework for Laveen Spectrum incorporates three (3) development sub-areas. See **Figure 2 (Conceptual Development Plan)**. Development standards and uses have been identified for each sub-area to establish a cohesive design approach for the property while providing flexibility in land use within each development district. The specific uses developed within each sub-area will be determined by future market demand. The more intense, retail-oriented uses are planned adjacent to Baseline Road and in proximity to the Congressman Ed Pastor / Loop 202 Freeway on-ramp with uses generally transitioning in intensity from commercial and retail uses to higher density residential uses as the project moves north away from these thoroughfares. While the Conceptual Development Plan identifies the boundaries of each planned development sub-area, uses may be developed across sub-area boundaries so long as the use is allowed in both sub-areas.

3a. Development Sub Areas

DEVELOPMENT SUB-AREA 1

Development Sub-Area 1 is approximately 18.35 gross acres in size and is located adjacent to Baseline Road at the southern edge of the property. Given its location along this major thoroughfare and its proximity to the Congressman Ed Pastor / Loop 202 Freeway on-ramp, this sub-area is a prime location for commercial retail uses. Vehicular access to this sub-area will be from both Baseline Road utilizing existing driveway improvements, and from 59th Avenue. The development standards and allowed uses designated for this parcel support a range of commercial development typically aligned with the City of Phoenix's C-2 zoning category.

DEVELOPMENT SUB-AREA 2

Development Sub-Area 2 is approximately 35.54 gross acres in size, located at the center of the property and is planned to support a mix of commercial and residential uses. This sub-area takes direct access from 59th Avenue and may include internal pedestrian connections between commercial uses in Sub-Areas 1 and 2. Due to the centralized location of Sub-Area 2 and the lack of exposure to Baseline Road, planned uses within this sub-area may be more diversified than the retail-intensive commercial planned for Sub-Area 1. Examples of uses envisioned for Development Sub-Area 2 include a hotel, park and ride facility, medical offices, self-storage, general office uses, and a mix of multifamily or single family housing as generally allowed under the current C-2 zoning, including but not limited to: detached single-family homes, detached built-to-rent units, townhomes, condominiums, apartments, independent senior living and assisted living units.

DEVELOPMENT SUB-AREA 3

Development Sub-Area 3 is approximately 17.95 gross acres in size and is planned to support a variety of residential development types. This sub-area is likely to be developed in phases with a mix of residential housing. Examples of types of housing that could develop within Sub-Area 3 include but are not limited to detached single-family homes, detached build-to-rent units, townhomes, condominium, apartments, independent senior living, and assisted living units.

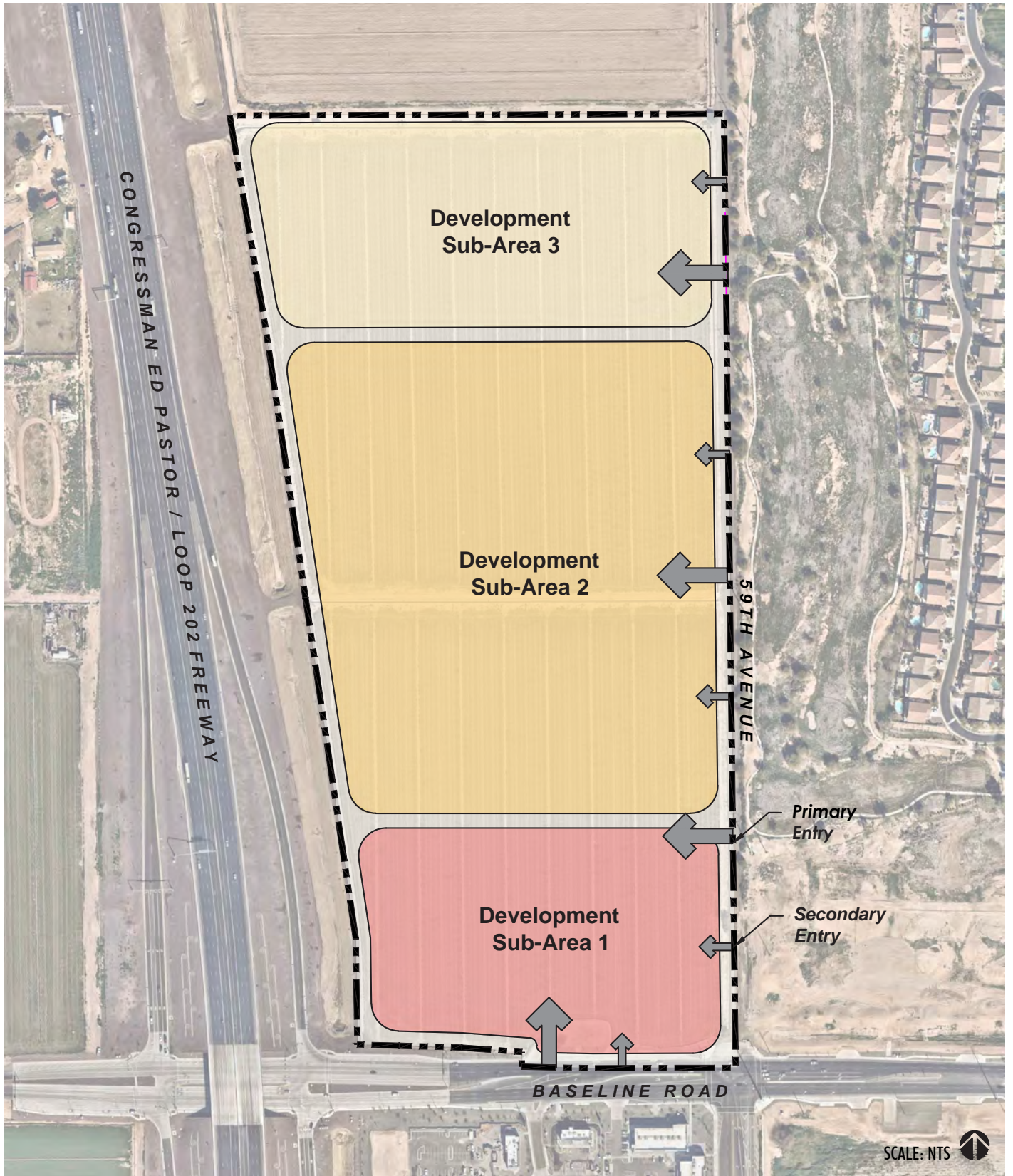


Figure 2: Conceptual Development Plan

Note: Figures are provided for conceptual purposes only. Project details, including access point locations, will be solidified during the Preliminary Site Plan Review process.

3b. Phasing

Laveen Spectrum is a multi-phase development. Development of Sub-Area 1 and its associated infrastructure is anticipated as the first phase of development, with Development Sub-Areas 2 and 3 anticipated to follow subject to market conditions. See **Figure 3 (Conceptual Phasing Plan)**.

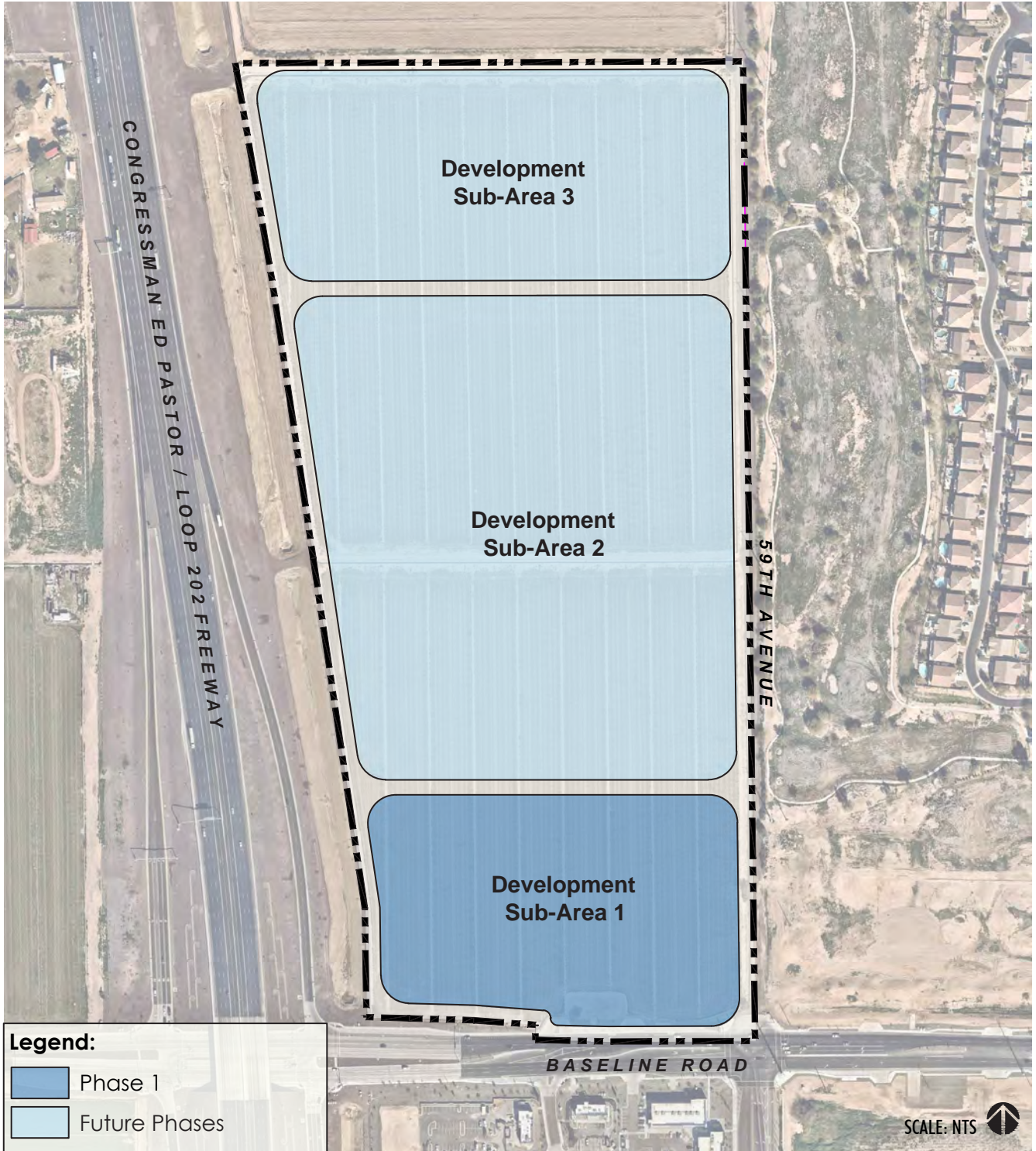


Figure 3: Conceptual Phasing Plan

Note: Figures are provided for conceptual purposes only. Project details, including access point locations, will be solidified during the Preliminary Site Plan Review process.

4. LAND USES

This section defines the land uses allowed within the Laveen Spectrum PUD. Land uses have been specifically identified for each of the PUD's three development sub-areas and are subject to the specified requirements and development standards. A developer or any property owner within the defined limits of the PUD may request an interpretation of a use analogous to those listed in this section from the City of Phoenix Zoning Administrator. The Zoning Administrator may administratively approve a use analogous to those listed in this section subject to standard and customary City of Phoenix procedures. Temporary uses are permitted within the Laveen Spectrum PUD in accordance with Zoning Ordinance Section 708.

DEVELOPMENT SUB-AREA 1

(SOUTHERN SUB-AREA)

Uses allowed within Development Sub-Area 1 include:

- All uses permitted in the C-2 (Intermediate Commercial) District per Zoning Ordinance Section 623, except that multi-family dwellings and single-family dwellings, attached and detached, are prohibited.

The following additional uses are allowed by right within Development Sub-Area 1:

- Community Garden
- Farmer's Market
- Agricultural Crops: raising, harvesting and indoor/outdoor retail sales
- Private commercial fishing ponds

The following accessory uses are allowed by right within Development Sub-Area 1:



- Outdoor recreation uses, outdoor dining and/or outdoor alcoholic beverage consumption as an accessory use to a restaurant, subject to the following conditions when the above-mentioned use is located within 150-feet of existing residential development (measured from property lines):
 - Seating areas are oriented away from existing residential development or screened by a minimum 30-foot wide landscape area.
- Drive-through facilities as an accessory use to a restaurant, subject to location and design requirements specified by Zoning Ordinance Section 702.B.6. In addition to the location and design requirements specified by Zoning Ordinance Section 702.B.6, drive-through facilities as an accessory use to a restaurant are also subject to the following when located within 150-feet of existing residential development (measured from property lines):
 - Menu boards and speakers are to be oriented away from existing residential development or screened by a minimum 30-foot wide landscape area.
 - Outdoor lighting shall be shielded to reduce light spillage onto adjacent residential properties
 - Hours of operation for the drive-through service shall be limited from 7:00 a.m. to 11:00 p.m. daily. If the use is located greater than one hundred fifty (150' 0") feet from an existing residential development, then there are no restrictions on the hours of operation. The designated approving authority may grant exceptions through a use permit.

DEVELOPMENT SUB-AREA 2

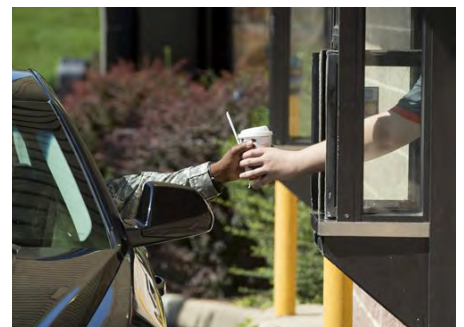
(CENTRAL SUB-AREA)

Uses allowed within Development Sub-Area 2 include the following:

- All uses permitted in the C-2 (Intermediate Commercial) District per Zoning Ordinance Section 623
- All uses permitted in the R-3A (Multifamily Residence) District per Zoning Ordinance Section 616

The following additional uses are allowed by right within Development Sub-Area 2:

- Self-Service Storage Warehouses, subject to the following conditions:
 - The Self-Storage Warehouse use area shall not exceed five (5) net acres in size;
 - All storage shall be within a closed building except that boats, trailers and motor vehicles may be placed in outdoor storage areas which are separate from the buildings and screened from view from adjacent streets and property by walls, fences or landscaping; and,
 - Outdoor storage areas shall not exceed 10% of the gross site area.



- Park and Ride Facility, subject to the following condition:
 - Shall not exceed five (5) net acres in size
- Community Garden
- Farmer’s Market
- Agricultural Crops: raising, harvesting and indoor/outdoor retail sales
- Private commercial fishing ponds

The following accessory uses are allowed by right within Development Sub-Area 2:

- Outdoor recreation uses, outdoor dining and/or outdoor alcoholic beverage consumption as an accessory use to a restaurant, subject to the following conditions when the above-mentioned use is located within 150-feet of existing residential development (measured from property lines):
 - Seating areas are oriented away from existing residential development or screened by a minimum 30-foot wide landscape area.
- Drive-through facilities as an accessory use to a restaurant, subject to location and design requirements specified by Zoning Ordinance Section 702.B.6, subject to the following conditions when the above-mentioned use is located within 150-feet of existing residential development (measured from property lines):
 - Menu boards and speakers are to be oriented away from existing residential development or screened by a minimum 30-foot wide landscape area.
 - Outdoor lighting shall be shielded to reduce light spillage onto adjacent residential properties
 - Hours of operation for the drive-through service shall be limited from 7:00 a.m. to 11:00 p.m. daily. If the use is located greater than one hundred fifty (150' 0") feet from an existing residential development, then there are no restrictions on the hours of operation. The designated approving authority may grant exceptions through a conditional use permit after preparation of a qualified noise study.

DEVELOPMENT SUB-AREA 3

(NORTHERN SUB-AREA)

Uses allowed within Development Sub-Area 3 include the following:

- All uses permitted in the R-3A (Multifamily Residence) District per Zoning Ordinance Section 616
- Assisted living center, as defined by Section 36-401 of the Arizona Revised Statutes
- Community Garden
- Farmer's Market
- Agricultural Crops: raising, harvesting and indoor/outdoor retail sales
- Private commercial fishing ponds



5. DEVELOPMENT STANDARDS

5a. Land Use Development Standards

Development Standards guide development and protect surrounding neighborhoods and preserve the public welfare. The development standards for each of the three development sub-areas within Laveen Spectrum generally adhere to the development standards outlined within the City of Phoenix Zoning Ordinance. The following identifies the development standards that apply to each of the three development sub-areas.

Table 2 (Development Standards) identifies the minimum Development Standards prescribed for Laveen Spectrum’s three Sub-Areas. Within Development Sub-Area 1 and for commercial uses within Development Sub-Area 2, C-2 (Intermediate Commercial - Zoning Ordinance Section 603) District standards shall apply except for as noted within Table 2 below. Within Development Sub-Area 3 and for residential uses within Development Sub-Area 2, R3-A (Multifamily Residence – Zoning Ordinance Section 616) District standards shall apply except for as noted within **Table 2 (Development Standards)**.



TABLE 2: DEVELOPMENT STANDARDS

	Development Sub-Area 1	Development Sub-Area 2		Development Sub-Area 3
Applicability	<i>All Permitted Uses</i>	<i>All Uses Permitted in C-2 Zoning District, Excluding Residential Uses</i>	<i>All Residential Uses Permitted in R-3A Zoning District</i>	<i>All Permitted Uses</i>
Building Setbacks				
Adjacent to Baseline Road:	50-feet	N/A	N/A	N/A
Adjacent to 59th Ave.:	30-feet	30-feet	20-feet	20-feet
Adjacent to freeway frontage:	15-feet	15-feet	20-feet	20-feet
Not Adjacent to a public Street:	10-feet	10-feet	20-feet	20-feet
Perimeter Landscape Setbacks				
Adjacent to Baseline Road:	Avg. 50-feet, Min. 30-feet	N/A	N/A	N/A
Adjacent to 59th Ave.:	20-feet	20-feet	20-feet	20-feet
Adjacent to freeway frontage:	15-feet	15-feet	15-feet	15-feet
Not Adjacent to a public Street:	10-feet	10-feet	10-feet*	10-feet*
Max. Building Height:	56-feet	56-feet	48-feet	48-feet
Min. Open Space:	<u>Dev. Sub-Area - 10% of net area</u> <u>Dev. Parcel** - 7% of net area</u>	<u>Dev. Sub-Area - 10% of net area</u> <u>Dev. Parcel** - 7% of net area</u>	<u>Dev. Sub-Area - 10% of net area</u> <u>Dev. Parcel** - 7% of net area***</u>	<u>Dev. Sub-Area - 10% of net area</u> <u>Dev. Parcel** - 7% of net area***</u>

*No perimeter landscape setback is required where private yards within a detached multi-family development (such as single-family for rent) are located adjacent to a perimeter property line provided that a minimum 10' depth for a private yard must be provided.

**For the purpose of determining open space requirements for any individual development project within a Development Sub-Area, a Development Parcel shall be considered the limits of an individual development project as shown by the boundaries included on a Preliminary Site Plan.

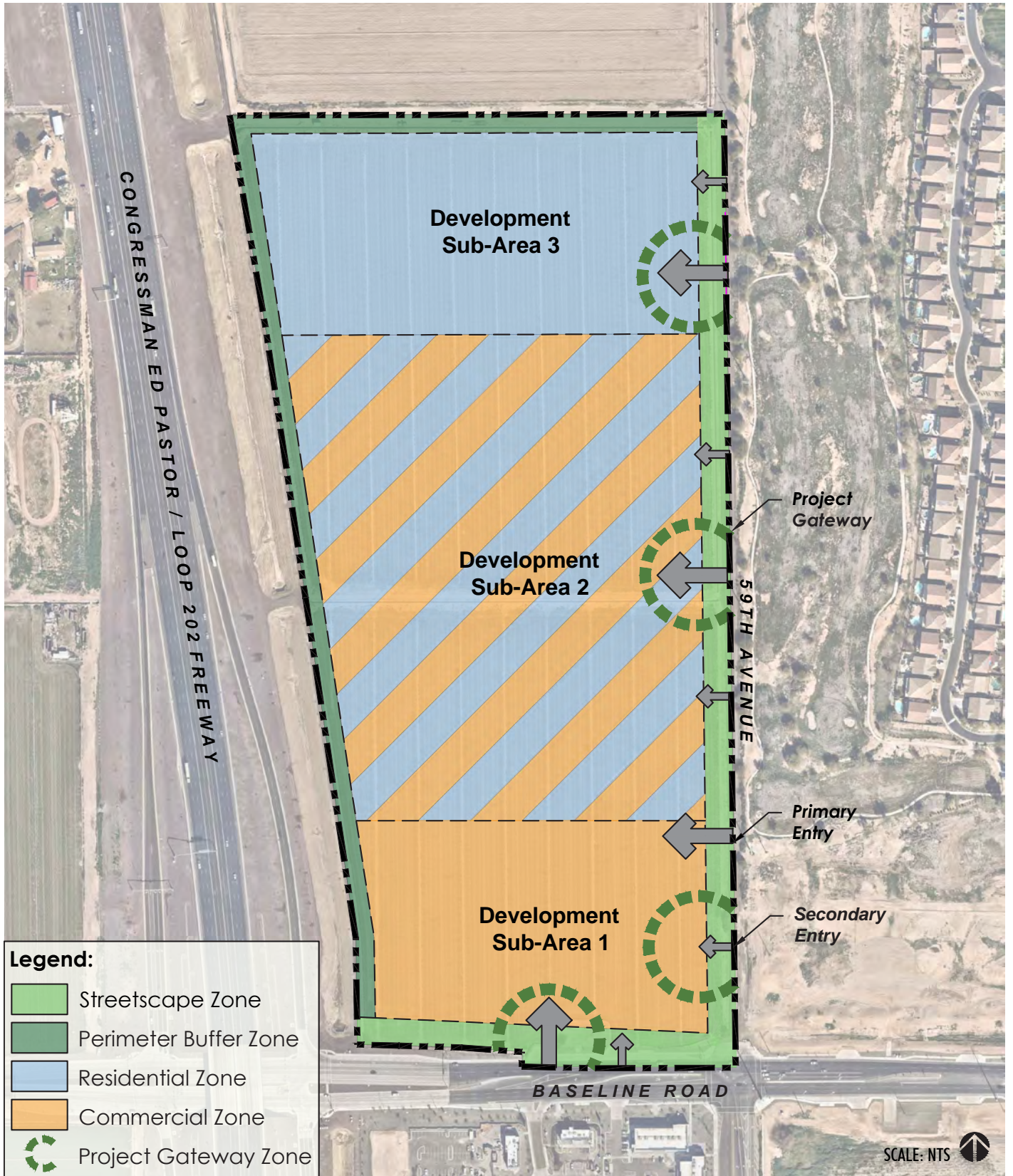
*** Residential uses with densities not exceeding 14 units per gross acre shall have a minimum of 15% open space based on net site area.

5b. Landscape Zones

The Laveen Spectrum PUD encompasses a variety of zones and uses, each with unique landscape needs. Landscape zones have been designated for each area of the site and are defined by their individual landscape development standards, theming and plant palettes to establish a cohesive visual language among all areas of the site. **Figure 4 (Landscape Zones Plan)** identifies the general location of each landscape zone. The five landscape zones employed across the Laveen Spectrum development include:

- Streetscape Zone
- Perimeter Buffer Zone
- Residential Zone
- Commercial Zone
- Project Gateways





STREETSCAPE ZONE

Baseline Road and 59th Avenue will be identified by their thematic streetscape treatment. This area consists of an average 50-foot, minimum 30-foot wide landscape buffer along Baseline Road, in conformance with the Baseline Road Scenic Drive standards contained in the Laveen Southwest Growth Study, and a minimum 20-foot wide landscape buffer along 59th Avenue. These streetscape areas will be landscaped to provide an attractive softened project edge. Enhanced planting densities and caliper sizes will promote an attractive visual experience along the site's perimeter street frontage. Trees are required to be planted on both sides of all detached pedestrian pathways to create an interesting, comfortable and shaded pedestrian environment. Enhanced pedestrian amenities, as defined within **Table 3 (Landscape Development Standards)**, are required to be provided at a rate of one (1) per development sub-area arterial frontage.

Streetscape Zones should have themed street trees and a tailored landscape appearance. To emphasize and tie into the agrarian nature of the surrounding area, landscape and hardscape elements should use an agrarian vernacular in the form of linear and green planting elements. **Figure 5 (Streetscape Details)** provides graphic representations of these thematic streetscape areas.



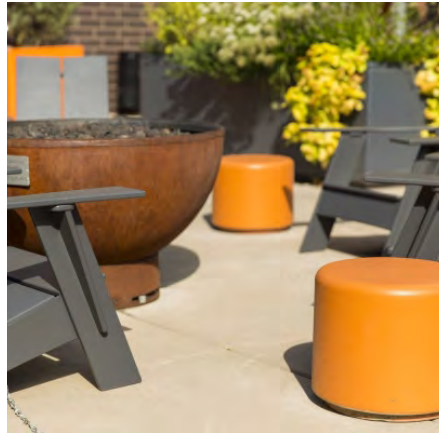
PERIMETER BUFFER ZONE

Perimeter buffers are located along the project's north and west perimeter property lines. These areas are less visible from surrounding properties. Plantings in these areas will be low maintenance and drought tolerant. Plant species with large forms should be provided along the freeway frontage / west perimeter to ensure that species are highly visible as to soften the project edge.



RESIDENTIAL ZONE

Residential areas should feature high-density plantings with enhanced landscaping along the perimeter of buildings and around amenity areas. Landscaping for residential areas should be colorful and include a variety of plants that create seasonal interest. The focus should be on drought-tolerant plants that are adapted to the Arizona climate, but turf, palms and other higher-water use plant materials may be used in moderation particularly at entries and within amenity areas.



COMMERCIAL ZONE

Commercial development within the site shall include low maintenance, drought-tolerant plants. Planting patterns around the building perimeter will reinforce a structured agrarian theme and be placed in geometric orientations. Raised planter pots, trellising systems, and/or other landscape and hardscape enhancements may be utilized as well. Building entries will feature more dense, lush planting. Plant materials should not cover tenant signage and should reflect the character of the architecture. Plants selected for parking lot landscape are to be heat adapted and well-maintained to promote upright growth patterns and shade provision.



PROJECT GATEWAYS

While the Laveen Spectrum development will have multiple access points off Baseline Road and 59th Avenue, select entries have been conceptually identified on **Figure 4 (Landscape Zones Plan)** to serve as project gateways and receive enhanced landscape treatments. These enhanced project gateways will be the primary access points to the site and will announce key arrival points throughout the project showcasing Laveen Spectrum’s aesthetic language. The specific location of Project Gateways will be determined during the Preliminary Site Plan review and approval process; however, at a minimum, Sub-Area 1 will have one Project Gateway each along Baseline Road and 59th Avenue and Sub-Areas 2 and 3 will have one Project Gateway each. Project gateways shall be clearly identified as project entrances through the use of enhanced landscape and hardscape treatments. These shall include increased plant densities, themed plant species, as well as architecturally themed monument signage and site walls and fences. Landscape plantings shall consist of specimen trees, mass plantings of evergreen and flowering shrubs, groundcover, and accent plantings. Vertical accents, such as Date Palms, monument signage, decorative light fixtures or other vertical landscape elements, should be used for wayfinding and to highlight these key gateways and entries. Enhanced surfacing materials (e.g. stamped or colored concrete) and other textural or tactile improvements such as, but not limited to, the use of seating nodes, enhanced signage, and elevated landscape materials shall be used to signify project entries and to promote safe pedestrian circulation within these busy areas.



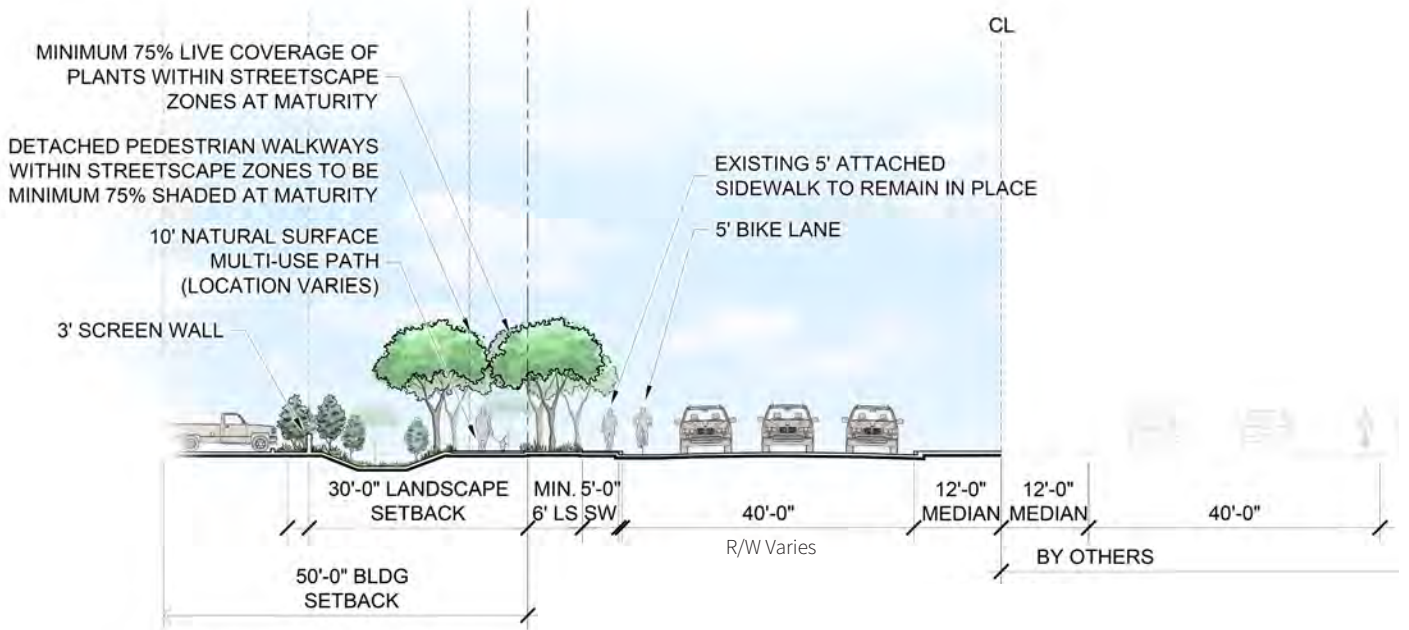


Figure 5a: Conceptual Streetscape Exhibit - Baseline Road, Section View



Figure 5b: Conceptual Streetscape Exhibit - Baseline Road, Plan View

Note: Figures are provided for conceptual purposes only. Project details, including access point locations, will be solidified during the Preliminary Site Plan Review process.

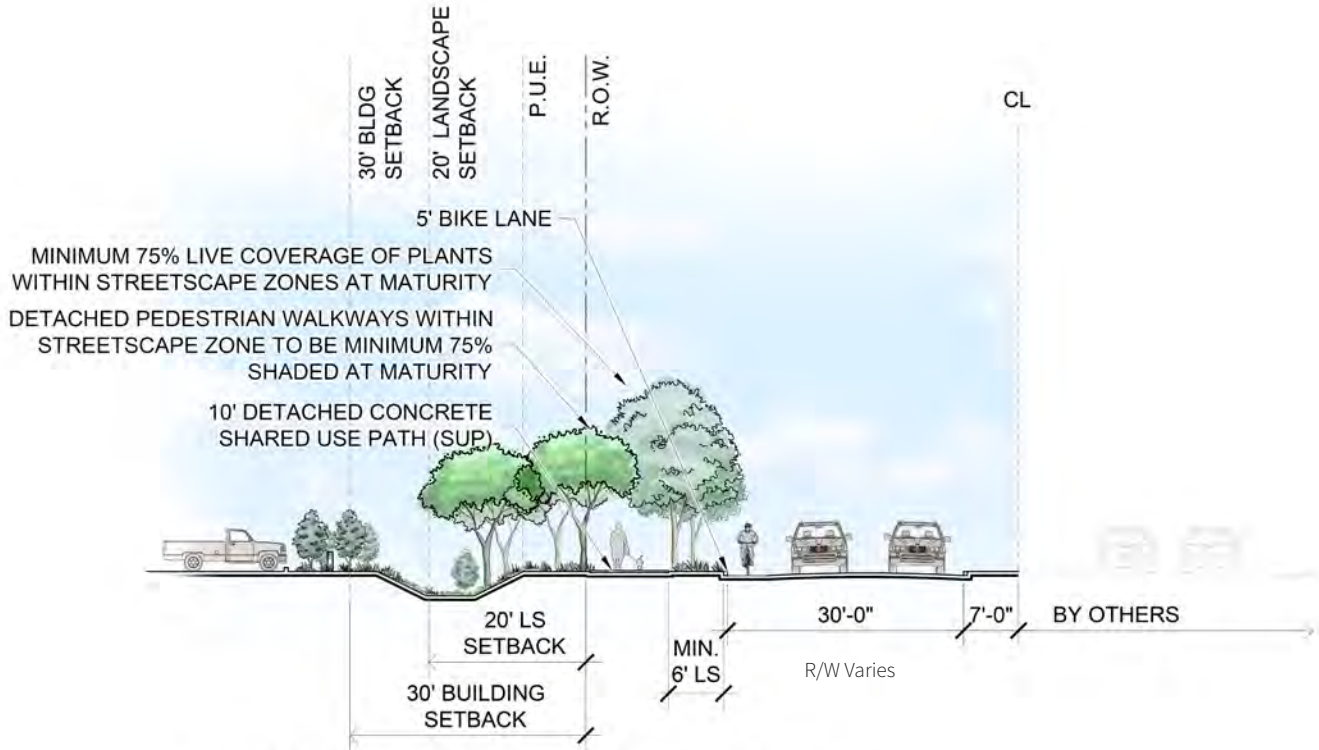


Figure 5c: Conceptual Streetscape Exhibit - 59th Avenue, Section View



Figure 5d: Conceptual Streetscape Exhibit - 59th Avenue, Plan View

Note: Figures are provided for conceptual purposes only. Project details, including access point locations, will be solidified during the Preliminary Site Plan Review process.

5c. Landscape Development Standards

The landscape standards for Laveen Spectrum establish minimum standards for the integration of the built environment into the site’s landscape while providing a comfortable, accessible and aesthetically pleasing community. The standards listed in **Table 3 (Landscape Development Standards)**, below, define planting quantities and sizes for streetscapes, perimeter buffers, parking areas and plantings. Standards not specifically addressed in **Table 3** below shall default back to the City of Pheonix zoning ordinance.

TABLE 3: LANDSCAPE DEVELOPMENT STANDARDS		
Streetscape Zone - Baseline Road & 59th Avenue		
<i>Streetscape Zone landscape standards apply to perimeter landscape setback areas along Baseline Road and 59th Avenue, as specified within Table 2 (Development Standards) and as identified on Figure 4 (Landscape Zones Plan).</i>		
Trees	<p>Minimum of one (1) tree per twenty (20) linear feet, or in equivalent groupings on both sides of detached pedestrian pathways;</p> <p>Minimum of one (1) tree per twenty (20) linear feet, or in equivalent groupings on one side of attached pedestrian pathways.</p>	<p>Baseline Road: Min. 2-inch caliper size (50% of required trees);</p> <p>Min. 3-inch caliper size (25% of required trees);</p> <p>Min. 4-inch caliper size (25% of required trees)</p> <p>59th Avenue: Min. 2-inch caliper size</p>
Shrubs	Minimum of five (5) shrubs per tree	Minimum 5-gallon size
Ground Cover	Minimum 75% coverage of living plants with 2” depth decomposed granite topdressing	Minimum 1-gallon size
Shade	<p>75% of public detached sidewalks and trails to shaded at maturity</p> <p>50% of attached sidewalk along Baseline Road to be shaded at maturity</p>	
Pedestrian Amenities	One (1) fixed shade structure, twenty (20) linear feet of enhanced surfacing (e.g. stamped or colored concrete) and one (1) waste receptacle shall be provided at a minimum interval of one (1) per development sub-area arterial frontage	
Bike Infrastructure	Bike lanes to be provided along Baseline Road and 59th Avenue in accordance with City of Phoenix standard cross sections	
	Bike parking shall be provided per Section 1307.H of the Phoenix Zoning Ordinance	
Landscape strips between detached pedestrian pathways and curbs	<p>Minimum Width = 6'</p> <p>Trees = Minimum of one (1) tree per twenty (20) linear feet, or in equivalent groupings, Minimum 2" caliper size min.</p> <p>Note: landscape strips may be reduced in the event of a utility conflict and/or to comply with ADA requirements.</p>	

Project Gateways

*Project Gateways are required at major site entrances identified on **Figure 4 (Landscape Zones Plan)**. Where Project Gateway landscape and shade standards conflict with Streetscape Zone standards specified within this table, Project Gateway standards shall prevail.*

Trees	Minimum of one (1) tree per twenty (20) linear feet, or in equivalent groupings on both sides of detached pedestrian pathways Minimum of one (1) tree per twenty (20) linear feet, or in equivalent groupings on one side of attached pedestrian pathways	Min. 2" caliper size – 25%, Min. 3" caliper size – 50%, Min. 4" caliper size - 25%
Shrubs	Minimum six (6) shrubs per tree	Minimum 5-gallon size
Ground Cover	Minimum 75% coverage of living plants with 2" depth decomposed granite topdressing	Minimum 1-gallon size
Area	Minimum 500 square feet of open space at both corners of project gateway entry roads	
Enhanced Elements	Utilize tall plant species, such as Date Palms, to highlight enhanced entries and to promote wayfinding.	
	Employ enhanced lighting, signage, and art elements to emphasize entry features	
	Provide hitching posts at Project Gateway along Baseline Road	
Shade	Min. 75% of detached pedestrian walkways to be shaded at maturity Min. 50% of the existing attached sidewalk along Baseline Road to be shaded at maturity.	
Landscape strips between detached pedestrian pathways and curbs	Minimum Width = 6' Trees = Minimum of one (1) tree per twenty (20) linear feet, or in equivalent groupings, Minimum 2" caliper size min. Note: landscape strips may be reduced in the event of a utility conflict and/or to comply with ADA requirements.	

Perimeter Buffer Zone - North & West

*Perimeter Buffer Zone standards apply to perimeter landscape setback areas along the freeway frontage and northern perimeter property line (not adjacent to a public street), as specified within **Table 2 (Development Standards)** and as identified on **Figure 4 (Landscape Zones Plan)**.*

Trees	Minimum of one (1) tree per twenty (20) linear feet, or in equivalent groupings	Min. 1" caliper size – 25% Min. 2" caliper size – 75%
Shrubs	Minimum of five (5) shrubs per tree	Minimum 5-gallon size
Ground Cover	Minimum 50% coverage of living plants with 2" depth decomposed granite topdressing	Minimum 1-gallon size

Residential Zone

Residential Zone standards apply to landscape areas and pedestrian walkways associated with residential development within the portions of Development Sub-Areas 2 and 3 not within the Streetscape Zone and the Perimeter Buffer Zone.

Landscape Standards for the Residential Zone to be in conformance with Section 507 Tab A and Section 703.

Shade	50% of pedestrian walkways to be shaded at maturity
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Commercial Zone

Commercial Zone standards apply to landscape areas and pedestrian walkways associated with non-residential development within the portions of Development Sub-Areas 1 and 2 not within the Streetscape Zone along 59th Avenue and Baseline Road and the Perimeter Buffer Zone.

Landscape Standards for the Commercial Zone to be in conformance with Section 623.E.4.e.

Shade	50% of pedestrian walkways to be shaded at maturity
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Bus Stops

Shade	50% of bus stop pads to be shaded at maturity
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5d. Parking Standards

Parking areas should be designed to promote an appropriate distribution of parking throughout each development parcel. Where appropriate, buildings should have prominence adjacent to streets with a majority of parking to the side or rear. Where parking is provided adjacent to streets, appropriate screening should be employed using screen walls to a minimum height of 36” inches.

5e. Walls & Fences

Walls and fences will provide security, screening, and character for commercial and residential developments within Laveen Spectrum. Residential communities within Development Sub-Areas 1 and 2 may be gated. Walls along Baseline Road and 59th Avenue shall be constructed in accordance with the wall details provided in **Appendix K: Perimeter Design Corridor Supplement to the PUD Narrative**. All walls and fences shall comply with the Phoenix Zoning Ordinance Section 703 (Landscaping, Fences and Walls), except as noted below:

PERIMETER WALLS AND FENCES

Perimeter walls refer to walls at the perimeter of the overall PUD and shall include elements of open fencing, other than chain link, to help maintain Laveen’s open character. Walls visible from arterial streets must have breaks to avoid a long blank face. Any blank walls adjacent to arterial streets shall be limited to a maximum length of 40-feet along a continuous plane, at which the wall shall be articulated with a setback, change of materials, use of artwork, or other design features. A maximum of 75% of each development sub-area’s arterial frontage may be screened with a solid wall greater than 36” high. The remaining 25% shall be comprised of open fencing (view fence) elements or no fence.

The maximum height allowed by right for perimeter walls along the site’s Congressman Ed Pastor / Loop 202 Freeway frontage constructed as part of a residential use development (includes assisted living center and nursing home uses) is 10-feet. Pursuant to Zoning Ordinance Section 307.A.7, perimeter walls exceeding 10 feet in height along the site’s Congressman Ed Pastor / Loop 202 Freeway frontage constructed as part of a residential use development shall require the approval of a use permit.

PARKING AREA SCREEN WALLS

Parking areas within all development sub-areas are to be screened from adjacent streets. Screening for parking areas must include screen walls with the option for additional landscape screening. Parking area screen walls shall be between 36” and 40" in height.



5f. Amenities

Outdoor amenity areas are essential to cultivating health, community interaction, and an enjoyment of the outdoors. Amenity improvements will occur in conjunction with construction of each phase of the development.

Each residential development is to include a minimum of one (1) primary community amenity and one (1) secondary community amenity. An additional secondary community amenity is required to be provided for every 300 additional residential units in excess of the initial 300 units. Primary amenities are intended to spur active recreational opportunities and community gathering. Primary amenities may include features such as, but not limited to the following: community center, fitness facility, pool and/or spa, yard games, sport courts, fire pits, shaded picnic areas, outdoor kitchens and grills, community gardens, tot lots and similar active amenity features. Secondary amenities are intended to facilitate more passive enjoyment of the outdoor environment. Secondary amenities may include features such as, but not limited to the following: fire pits, dog park, seating area, ramadas, picnic tables and community gardens. Minimum of one (1) primary community amenity and one (1) secondary community amenity shall be provided with an additional one (1) secondary amenity provided for each additional 300 residential units in excess of the initial 300 units.

- Primary community amenities to have a minimum of one (1) ramada or shade structure.
- Primary community amenities to have a minimum of two (2) trash and/or recycling receptacles.
- Secondary community amenities to have a minimum of one (1) trash and/or recycling receptacle.
- Secondary community amenities to include seating for a minimum of four (4) individuals. Minimum 50% of seating areas to be shaded.
- Primary and secondary community amenities to include appropriate lighting to facilitate visibility and safety after dark.

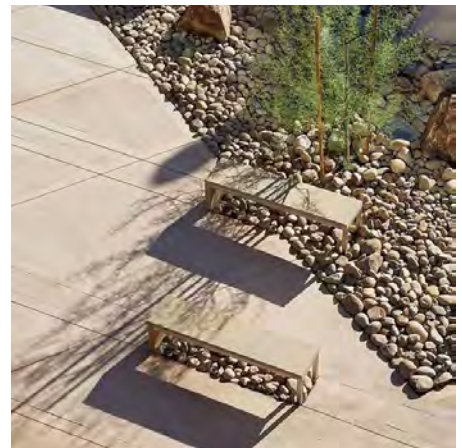
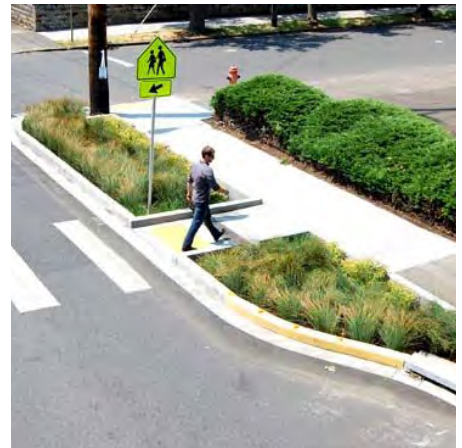


5g. Pedestrian Circulation

Pedestrian circulation and connectivity are essential components of the Laveen Spectrum PUD. The pedestrian circulation system has been designed to direct pedestrians to the pedestrian circulation spines along Baseline Road and 59th Avenue. These corridors will serve as the primary circulation route connecting the three development sub-areas and the development parcels within them. As noted in Section 5c (*Landscape Zones*) above, Baseline Road and 59th Avenue feature enhanced landscape setbacks, landscaping, streetscape treatments, and shading all designed to maximize the pedestrian experience. Additional pedestrian connections between compatible commercial uses within Development Sub-Areas 1 and 2 are to be evaluated as the project develops. See **Figure 6 (Conceptual Circulation Plan)**.

GENERAL PEDESTRIAN CIRCULATION

- A system of clearly defined, accessible pathways shall be provided within each development sub-areas.
- Enhanced surfacing materials, such as stamped or colored concrete or other pavement treatments, that visually contrast with the adjacent parking and drive aisle surfaces shall be provided to delineate all areas where pedestrian paths cross drive aisles.
- The pathway systems shall provide direct connections between the following site elements: sidewalks, primary and secondary amenities, all non-residential building entrances and exits, where pedestrian paths cross drive aisles, bicycle facilities, bus stops, and project gateways.
- All pedestrian pathways shall be shaded at a minimum of 50% at maturity.
- Detached sidewalks and trails within the Baseline Road and 59th Avenue Streetscape Zones and Project Gateways are to be shaded at a minimum of 75% at maturity.
- Pedestrian circulation is to be directed toward the enhanced pedestrian routes adjacent to the Baseline Road and 59th Avenue arterials. A minimum of two pedestrian connections to these arterials are required per development sub-area arterial frontage as identified on **Figure 6: Conceptual Circulation Plan**.



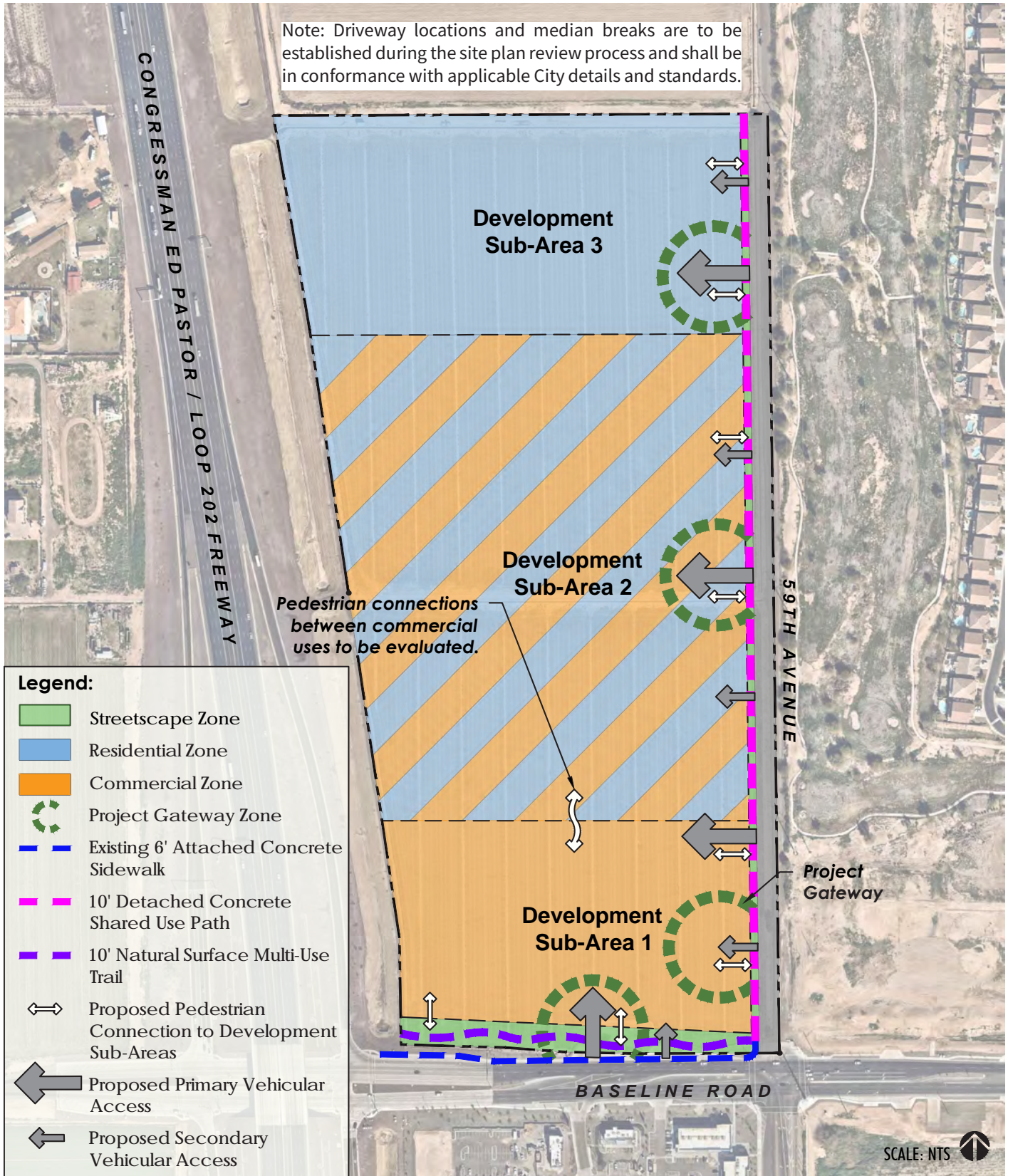


Figure 6: Conceptual Circulation Plan

Note: Figures are provided for conceptual purposes only. Project details, including access point locations, will be solidified during the Preliminary Site Plan Review process.

MULTI USE TRAILS

- A 10-foot wide detached, natural surface trail is required along Baseline Road.
- The sidewalk along 59th Avenue will be widened to a 10-foot wide detached concrete shared use path.
- Multi-use trails and shared use paths must be designed and constructed in accordance with City of Phoenix standard details.
- Provide a minimum of two (2) clear and accessible pedestrian connections from each development sub-area to and from the pedestrian spines provided as part of the Streetscape Zones along Baseline Road and 59th Avenue.



5h. Bicycle Amenities

- Bicycle parking shall be provided per Section 1307.H of the Phoenix Zoning Ordinance.
- Artistic style racks (in adherence to City of Phoenix Preferred Designs in Appendix K of the Comprehensive Bicycle Master Plan) or “Outdoor/Covered Facilities” for guests and employees shall be encouraged. These facilities shall be located near building entrances, installed per the requirements of Section 1307.H of the Zoning Ordinance and as approved by the Planning and Development Department.

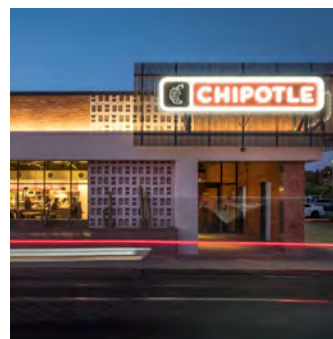
5i. Screening

Screening for any unsightly site elements such as ground mounted mechanical equipment and parking must be screened by a solid wall, with the option of additional landscape screening. Plants as primary screening shall not be permitted. Trash compactors and dumpsters shall be screened with a masonry wall architecturally compatible with surrounding structures with a minimum of six (6) feet height, not to exceed eight (8) feet height.

5j. Lighting

Given the dynamic mix of uses planned for the site, lighting must respond to both daytime and nighttime needs to create a welcoming environment that prioritizes safety and security as well as aesthetics. Architectural lighting is an essential component of building and landscape elements. Exterior lighting throughout the site will meet or exceed the provisions set forth in Section 507.Tab A.II.A.8: Site Lighting of the Phoenix Zoning Ordinance and Phoenix City Code Section 23-100: Outdoor Lighting. Exterior lighting shall comply with the following provisions:

- Walkways and open space areas shall be lighted to promote safety and to allow for nighttime use where appropriate.
- Dramatic lighting should enhance primary architectural features.
- Accent lighting should be incorporated on secondary building elements such as blank walls to highlight their texture or on columns to reveal their cadence on a façade.
- Special consideration should be given to creating an ambiance with mood lighting, such as overhead string lights or up lighting/down lighting on walls.
- Lighting shall almost exclusively use warmer temperatures. Cool temperature lighting is discouraged.
- No luminaries should have any blinking, flashing or fluttering lights or other illuminating device which has a changing light intensity, brightness or color, nor is any beacon light permitted except those required for fire alarm and/or emergency systems.
- Lighting on exterior wall in proximity to storefront area is encouraged to help increase tenant identity and to provide an appropriate level of comfort and rhythm for the pedestrian.
- Lighting should enhance or be an extension of the design intent of the architecture.
- Utilize full cut-off or fully shielded fixtures and set mounting heights as required to effectively control glare, light trespass, and maintain dark skies.
- Pole mounted light fixtures shall not exceed a height of 18-feet, including lamp, pole and base, as measured from the adjacent grade Use automatic controls systems to eliminate excessive light during non-active hours of site and building operation.



6. DESIGN GUIDELINES

The Laveen Spectrum development plan will promote flexibility in uses and site design while providing consistent design standards and guidelines to direct development of the individual parcels within the site. The design guidelines serve as a critical tool to ensure ongoing compatibility between uses as the project develops. Phoenix Zoning Ordinance design guidelines for sustainability, architectural design, site plan design and landscape design, as specified as requirements, presumptions and considerations by Section 507 Tab A, apply to all development within Laveen Spectrum. In addition, all development within the Laveen Spectrum PUD will adhere to the following PUD Design Expectations.

6a. Design Expectations

SUSTAINABILITY

OBJECTIVE – PROVIDE THERMAL COMFORT FOR ALL USERS

- Minimum 50% shading of all publicly accessible sidewalks and walkways by means of vegetation at maturity and/or shade structures.
- Minimum 75% shading of all publicly accessible sidewalks and trails within the Streetscape Zone along Baseline Road and 59th Avenue and within Project Gateways by means of vegetation at maturity and/or shade structures.
- Minimum 50% shading of all open space areas by means of vegetation at maturity and/or shade structures.

OBJECTIVE – SUSTAINABLE NEIGHBORHOODS THAT PROVIDE A VARIETY OF HOUSING OPPORTUNITIES WITHIN THE SAME COMMUNITY

- This PUD allows for residential housing developments of varied product types, such as apartments, townhomes, detached and attached single-family residential, auto courts, green courts, and other residential types.

ARCHITECTURAL DESIGN

OBJECTIVE – VISUAL INTEREST WITH UNIFIED ELEMENTS TO ESTABLISH A SENSE OF PLACE

- **Manipulation of massing – vertical and horizontal changes in plane:** The proposed building orientations should respect the orientation of surrounding buildings and streets by maintaining continuity of pedestrian routes and promoting opportunities for pedestrian interaction at street-level.
- **Building articulation:** Building facades facing public streets that exceed 100 feet in length should contain architectural embellishments and detailing such as textural changes, pilasters, offsets, recesses, window fenestration, shadow boxes and overhead/canopies.
- **Incorporating innovative textures, materials, colors:** Building facades facing Baseline Road or 59th Avenue shall incorporate a minimum of three (3) different materials.
- **Building offsets, reveals, recesses, building projections, masonry piers, or other architectural treatment:** Building offsets, reveals and recesses to be a minimum of three (3) feet in depth.
- **Distinct Entry Features:** Entry features are to be clearly identifiable and shall incorporate functional shade elements such as awnings and canopies to create a comfortable entry experience while addressing pedestrian scale.
- **Decorative Site Lighting:** Section 5I (**Lighting**) prescribes lighting standards and guidelines to be deployed throughout Laveen Spectrum.



SITE DESIGN / DEVELOPMENT

OBJECTIVE – INNOVATIVE DESIGN OF ACCESS, CIRCULATION, PRIVACY, SECURITY, SHELTER, AND OTHER FACTORS TO CREATE A UNIQUE LOCATION THAT COMPLEMENTS THE SURROUNDING CONTEXT

- **Identifiable building streetscape: Section 5c (Landscape Zones)** prescribes Streetscape Zone enhancements for Laveen Spectrum’s arterial frontages.
- **Mitigation of adverse effects (screening, landscape buffers, wall heights, etc.):** Enhanced landscape buffers will be provided along the site’s arterial frontages. A minimum 50-foot building setback will be provided along Baseline Road and a minimum 30-foot building setback will be provided along 59th Avenue. These setback areas include enhanced streetscape landscaping, and parking areas will be screened by minimum 36-inch high solid screen walls. Additional discussion of screening and walls is provided in Section 5g (*Walls & Fences*) and Section 5h (*Screening*).



OPEN SPACE DESIGN

OBJECTIVE – PROVIDE DIVERSIFIED AMENITIES FOR OPTIMUM RECREATIONAL USE AND GATHERING PLACES FOR COMMUNITY INTERACTION

- **Improved plazas, courtyards, break areas:** A minimum of one (1) enhanced pedestrian plaza and/or promenade shall be provided within commercial parcels that exceed five (5) acres in size. The plaza and/or promenade shall be a minimum of 500 square feet and shall include shading and seating elements as well as landscaping elements including enhanced surfacing materials (e.g. stamped or colored concrete), specimen plantings, and lighting. A minimum of 50% of improved plazas, courtyards, and break areas are to be shaded and a minimum of two seating elements are required to be provided.
- **Shading through structures such as ramadas, canopies, covered rest areas, and functional landscaping:** Minimum 50% shading of all open space areas to be provided.
- **Active and passive recreation such as tot lots, ramadas, splash pads, benches, barbecues, and other appropriate**



amenities: Residential parcels to provide a minimum of one (1) primary amenity and one (1) secondary amenity plus an additional one (1) secondary amenity for every additional three hundred (300) residential units.

- **Trail connections:** a 10' wide natural surface multi-use trail to be provided along Baseline Road and a 10' wide concrete shared use path to be provided along 59th Avenue. A minimum of two (2) pedestrian pathways to be provided from each development sub-area connecting to pedestrian circulation spines along Baseline Road or 59th Avenue.



LANDSCAPING ENHANCEMENTS

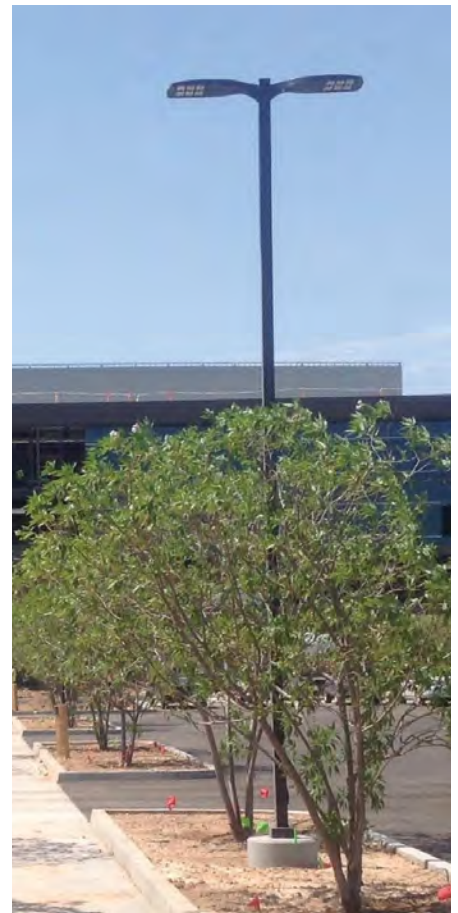
OBJECTIVE – PROVIDE SHADE AND SOFTEN THE LOOK OF THE DEVELOPMENT TO CREATE A MORE NATURAL ENVIRONMENT

- **Maturity of trees:** Trees provided within Streetscape and Perimeter Buffer Zones and Project Gateways are to exceed City of Phoenix minimum required caliper sizes in accordance with **Table 3 (Landscape Development Standards)**.
- **Low water use plants:** Except for decorative planters or seasonal interest planting beds, plants utilized are to be from the AMWUA low water plant list. Decorative planters or seasonal interest planting beds are not to exceed 2,000 square feet in size per each area.



6b. Perimeter Design Corridor

In addition to the design guidelines listed above, specific Perimeter Corridor Design Standards have been defined to apply to closed buildings with perimeter-facing building facades and landscape areas located within 100-feet of adjacent arterial roadways (Baseline Road and 59th Avenue) as measured from the perimeter property boundary. The Perimeter Design Corridor design guidelines are outlined in **Appendix K: Perimeter Design Corridor Supplement to the PUD Narrative** and are intended to provide for elevated architectural and thematic design assurances in addition to the above design guidelines and perimeter landscape and pedestrian circulation standards provided elsewhere within this PUD.



7. CONFORMANCE WITH THE SOUTHWEST GROWTH STUDY/LAVEEN GUIDE FOR DEVELOPMENT

The Laveen / Southwest Growth Study was adopted to guide development within the Laveen Village. The document provides standards and guidelines related to land use, design, and plan implementation. Development of this PUD narrative was heavily informed by the principles outlined within the Laveen / Southwest Growth Study. The following principles related to commercial development design, residential development design, multi-use trails, and selected design policies and standards have been identified to ensure Laveen Spectrum's conformance with this important document.

COMMERCIAL DEVELOPMENT DESIGN

To emphasize Laveen's agricultural character and heritage, commercial development should include the use of generous perimeter landscape setbacks between arterial streets and buildings and parking. Building design should incorporate a variety of forms and materials.

RESIDENTIAL DEVELOPMENT DESIGN

Residential areas will use screen walls to separate parking from the street. Residential developments should have usable common open spaces provided in central locations to serve residents.

MULTI-USE TRAILS

Multi-use trails are key components of the Laveen area plan. They provide key alternative transportation routes throughout the community. An east/west multi-use trail segment will be provided as part of the Baseline Road cross section. This trail will help facilitate linkages to existing connections to the pedestrian pathway along the Laveen Area Conveyance Channel located approximately 850 feet south of the site at 59th Avenue and approximately 1,300 feet east of the site at 57th Avenue. Furthermore, as development occurs, the multi-use trail along Baseline Road is planned to extend to the Laveen Conveyance Channel access connection at 75th Avenue. The pedestrian path along 59th Avenue will be developed as a 10-foot wide detached shared use path ("SUP"). The SUP, which will be aligned with an existing 10-foot wide SUP along 59th Avenue, south of Baseline Road connecting to the pedestrian pathway along the Laveen Area Conveyance Channel, will further support non-vehicular transportation within the area.

SELECTED DESIGN POLICIES & STANDARDS

The following design policies and standards from the Laveen / Southwest Growth Study are applicable to development throughout the Laveen Spectrum PUD.

Development within Laveen Spectrum is encouraged to use:

- Durable, permanent, high quality materials.
- Building materials of textured brick, wood (when shaded by deep recesses), slump block, ceramic tile, concrete tile, stucco, and exposed aggregate concrete.
- Natural and subdued desert colors and tones.
- Trim and accent colors that complement the main building.
- Scuppers and downspouts that are integrated into the building design.

Commercial sites are subject to the following design and use standards:

- Pad buildings should complement the architectural character of major buildings on-site while allowing for the use of corporate architectural elements.
- Arcades and overhangs should be incorporated into building design along pedestrian thoroughfares. Patios, trellises, and recesses provide other ways of breaking the building mass and providing shade.
- Mechanical equipment and refuse containers must be screened on all four sides, with the screening treatment being an integral part of the elevations and constructed of the same or compatible materials as the primary building. Electrical and other service boxes should be painted to match the building and/or screened from view.

Residential developments are subject to the following design and use standards:

- Recommended fencing materials are concrete block, stucco, decorative concrete, wrought iron, wood, split rail, metal corral or pasture fencing, or a combination of these materials with block-stucco walls.
- Garages, carports and canopies should be compatible with the main building in color, texture, and detailing. Garage and carport roofing should be prefinished non-reflective material.
- All mechanical equipment should be located away from any front and street-side yards and/or screened from view.
- Gated entries shall be set back from the street with landscaped edges and a landscaped median to soften its appearance.

8. SIGNS

The following standards are designed to promote proper and efficient signage that is compatible with the character and environment of the Laveen Spectrum development. Signs should enhance the visual environment, protect against visual clutter, promote general safety, ensure compatibility with the character of the area, and provide the essential identity of, and direction to the site.

Signage at Laveen Spectrum should convey a sense of quality, sustainability and style. Signage should be legible and well-crafted. Creativity is encouraged and some signage regulations may be exceeded in certain circumstances via a zoning adjustment or comprehensive sign plan for signs that are well designed and have a high degree of character and inventiveness. Architecturally, building signage should utilize and/or enhance the architectural elements of the building and be placed in a logical relation to the overall composition of the building's façade. Signs should not cover any key architectural features or details of the building they attach to. Signage should not obscure nor block key architectural features, the normal flow of pedestrian or vehicular traffic, or sight lines to adjacent properties.

With the exception of the standards for multi-occupant freeway signs, as set forth below, signs are allowed pursuant to the provisions of the Section 705 of the Phoenix Zoning Ordinance, including that a Comprehensive Sign Plan, in accordance with Section 705.E.2 of the Phoenix Zoning Ordinance, may be requested for individual developments within a Development Sub-Area or for the project as a whole.

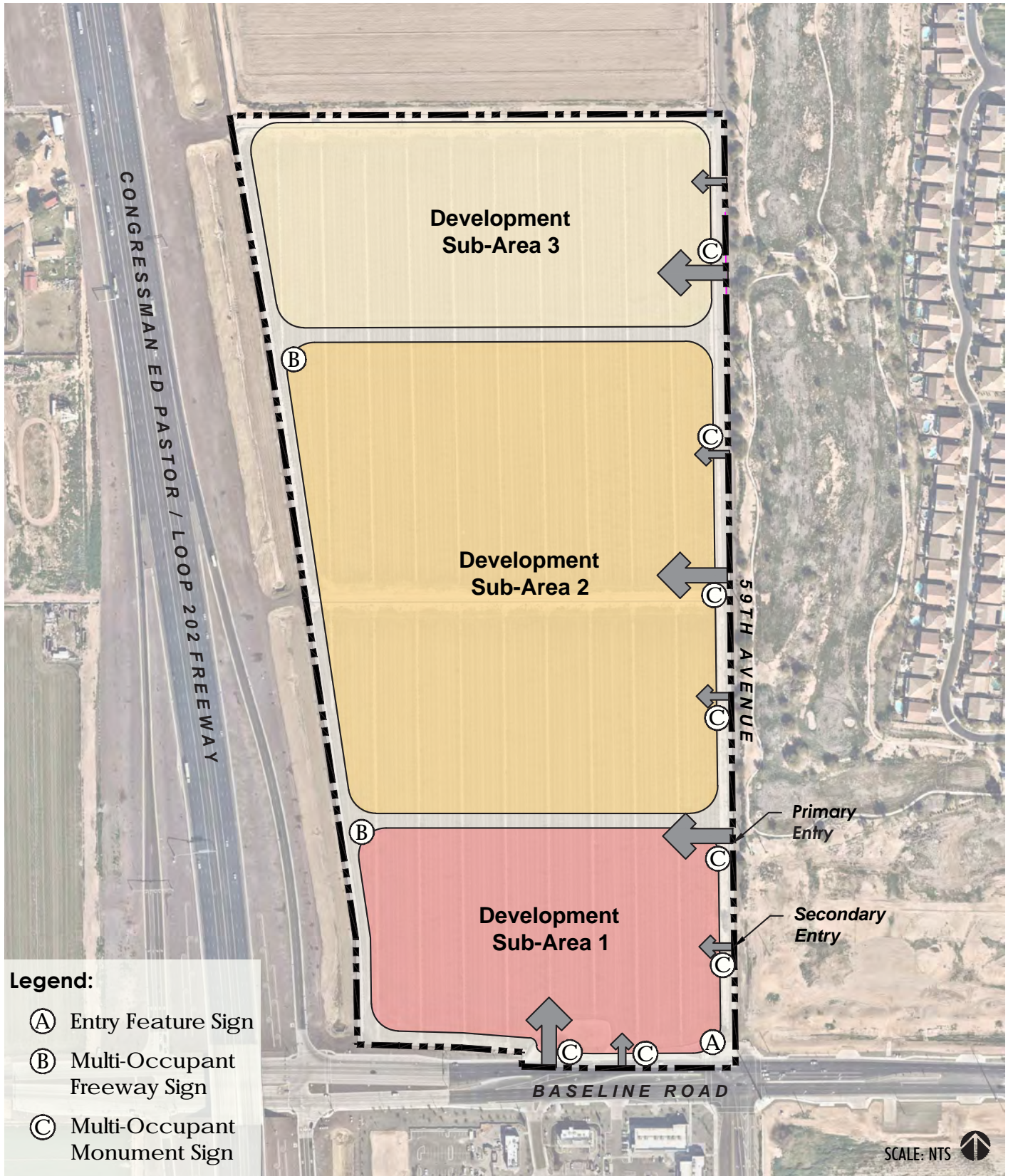
Figure 7 (Conceptual Sign Plan) depicts conceptual, anticipated future locations and types of Laveen Spectrum monument signage. This includes an Entry Feature Sign at the intersection of 59th Avenue and Baseline Road, Multi-Occupant Monument Signage, as appropriate for each development project, along 59th Avenue and Baseline Road, and Multi-Occupant Freeway Signage along the Congressman Ed Pastor / Loop 202 Freeway, which is elevated above the site. To ensure visibility for development projects and tenants within Laveen Spectrum the following standards apply to the Multi-Occupant Freeway Signage.



Multi-Occupant Freeway Signage – Sign B

- A maximum of two Multi-Occupant Freeway Signs with the following standards may be developed:
 - Minimum spacing between signs of 1,000 feet
 - Maximum height of 65-feet
 - Maximum sign area of 662 square feet
- Additional Freeway Signs may be constructed pursuant to the requirements of Section 705.D.1 of the Phoenix Zoning Ordinance or as modified by a Comprehensive Sign Plan use permit.





9. SUSTAINABILITY

9a. Encouraged Sustainability Practices

The following are sustainability practices that are encouraged for development throughout the Laveen Spectrum PUD. Development parcels must incorporate a minimum of five (5) of the following sustainability principles as approved by the Planning and Development Department. Items shown in italics will be measurable and enforceable by the City.

- Use low-flow water fixtures to reduce water usage.
- Incorporate LED and energy efficient lighting technology into all lighting constructed on the site, including parking lots and streets.
- Use roofing materials that specify a high Solar Reflectance Index for a minimum of 75% of the roof surface area.
- Provide locations for secure bike parking such as visible public bike racks and/or bike lockers.
- Landscape and stormwater management that seek to retain storm runoff where appropriate and allow it to provide water for landscaping and improve groundwater conditions.
- Incorporate public art that is a permanent installation and that is visually or physically accessible by the general public.
- Utilize “Smart” irrigation control systems.
- Utilize efficient drip irrigation technology.
- All landscape lighting to be on timer controls.
- Provide a sustainable recycling program for residential use development.
- Shade surface parking spaces using vegetation, low-sloped structural shading with a minimum SRI of 29, or a similar material that achieved shading with high reflectivity.

- Encourage shared/reciprocal parking to reduce the overall number of parking spaces required. Use and implementation of shared parking strategies should be considered wherever possible following the requirements provided in Zoning Ordinance Section 702.E.2 (Shared Parking Model).
- Building designs should respond to the southwest climate by incorporating materials and design methods suitable for the region.
- Select building materials and colors to reduce overall heat gain.
- The orientation of buildings and fenestration design should maximize solar benefits while minimizing the negative impacts of heat gain.
- Design to reduce energy loads by addressing passive design elements (i.e. daylight, natural ventilation, solar mass) and active design elements (i.e. environmental conditioning methods, radiant heating and cooling, shared building systems).
- Encourage pre-wiring of parking areas to allow electric vehicle charging.
- Encourage pre-wiring of rooftops to allow for solar panels.
- Incorporate solar collection technologies for providing and storing energy, as well as heated water systems for individual buildings.
- Provide high performance windows, insulation and HVAC systems.
- Enforce a "no-smoking" policy in all common residential buildings.



- Provide slope stabilizing plant material where appropriate to limit erosion.
- Where possible, locate shade trees along western building facades to reduce solar heat gain.
- Encourage water conservation by incorporating grey water and/or black water re-use systems.
- Provide energy star appliances.
- Provide building insulation with R-values that exceed the minimum building code standard.
- Incorporate dual-pane, energy efficient windows.
- Install enhanced HVAC systems with 14 SEER or higher.
- Provide a HERS Index of 65 or higher.
- Support enhanced indoor air quality and fresh airflow.
- Develop and implement a plan for recycling and materials management during construction.
- Eliminate turf or use of artificial turf.
- Implement new post COVID-19 design features to promote healthy communities.

9b. Summary of Existing Sustainability Practices within the Laveen Spectrum PUD

In addition to the above list outlining recommended sustainability principles to be incorporated as part of the future development, the Laveen Spectrum PUD project as a whole is interlaced with guidelines and requirements that promote sustainability across the entire development. A summary of the sustainability elements already discussed and required within the Laveen Spectrum PUD is provided below.

PEDESTRIAN CIRCULATION

The pedestrian circulation network within Laveen Spectrum will promote non-vehicular travel within the development. This PUD includes specific pedestrian circulation standards regarding sidewalks and trails, connectivity, enhanced crosswalk surfacing materials (e.g. stamped or colored concrete or asphalt), lighting and shade. Together, these standards will result in a robust pedestrian circulation network that prioritizes connectivity and pedestrian comfort, and safety across the development.

BIKE INFRASTRUCTURE

Bike Infrastructure, provided in the form of bike lanes on Baseline Road and 59th Avenue and bike racks throughout the development, promote alternate modes of transit and support healthy lifestyles.

ENHANCED SHADE

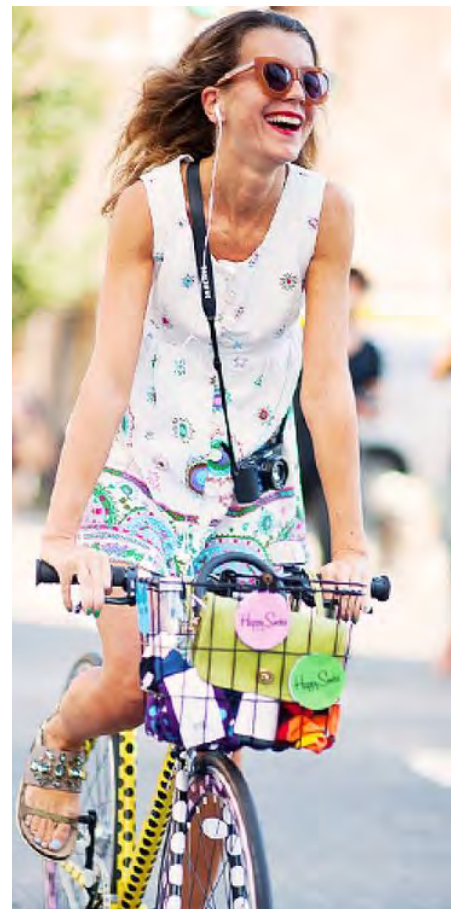
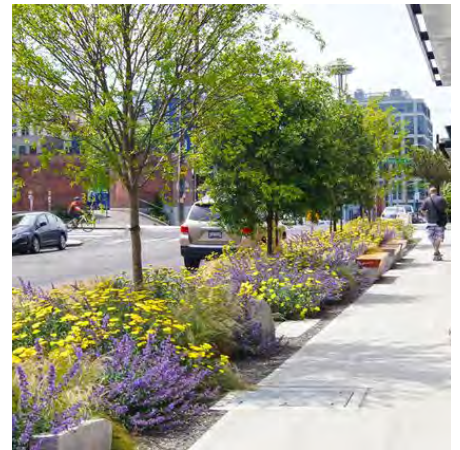
In the desert climate, shade is an essential component of thermal comfort and sustainability. Enhanced shade requirements throughout Laveen Spectrum, including the requirement that 50% of all pedestrian paths will be shaded, that 50% of all common open space areas will be shaded, and that 75% of all detached pedestrian pathways within the Streetscape Zones and Project Gateways will be shaded, demonstrate this project's commitment to promoting comfortable outdoor environments.



COMPLETE STREETS

In 2018 the City of Phoenix adopted Complete Streets Design Guidelines with the goal promoting health and safety through active streetscapes. Streets within Laveen Spectrum are required to conform to the following elements of the Complete Streets Design Guidelines:

- The unique character of neighborhoods shall be considered during the design of street projects. See **Section 7: Conformance with the Southwest Grown Study/ LaveenGuide for Development**, " Multi-use trails are key components of the Laveen area plan."
- Streets shall be designed to promote safety for all users, particularly children, the elderly, those with disabilities, transit users and more vulnerable modes (walking, bicycling, transit). See **Section 5g: Pedestrian Circulation**, "Enhanced surfacing materials, such as stamped or colored concrete or other pavement treatments, that visually contrast with the adjacent parking and drive aisle surfaces shall be provided to delineate all areas where pedestrian paths cross drive aisles".
- Shade shall be a primary technique to reduce ambient temperatures and to reduce direct sunlight exposure for pedestrians and cyclists. See **Section 6: Design Guidelines**, "Objective - Provide Thermal Comfort for all Users".
- Streetscape designs shall include pedestrian infrastructure with pedestrian through zones free of impediments. See **Table 3: Landscape Development Standards - Streetscape Zones**, "Enhanced pedestrian amenities are required to be provided at a rate of one (1) per development sub-area arterial frontage".



2025 FOOD ACTION PLAN

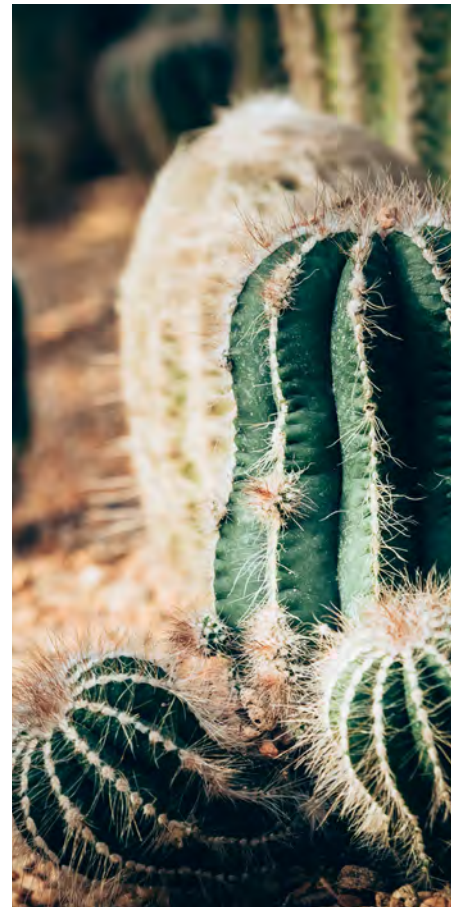
The 2025 Food Action Plan promotes the growth of a healthy, secure and sustainable food system that makes healthy food available to all Phoenix residents. The Laveen Spectrum PUD supports this goal by including the following food-system-related uses as allowed uses within all development sub-areas:

- Community Garden
- Farmer’s Market
- Agricultural Crops: raising, harvesting and indoor/outdoor retail sales
- Private commercial fishing ponds



DESERT ADAPTED LANDSCAPE

Landscaping has a significant impact on a project’s sustainability. Laveen Spectrum includes enhanced requirements regarding plant densities and tree spacing. To offset this potentially increased water draw, specific landscape provisions have been included within the PUD regarding landscape sustainability. These provisions include the requirement for low-water-use plant materials and “smart”, water-efficient irrigation technologies. These sustainable landscape standards are essential elements of the project’s overall sustainability.



10. INFRASTRUCTURE

10a. Circulation

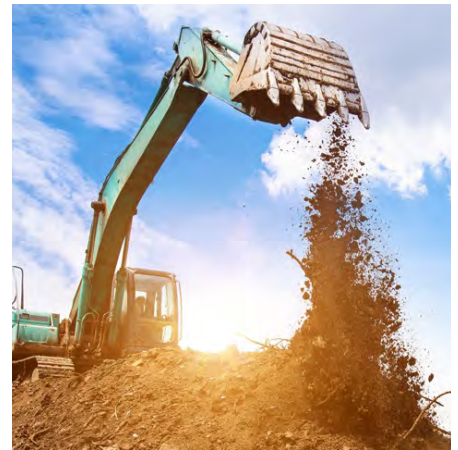
BASELINE ROAD

Baseline Road has recently been improved as part of the City funded CIP project in association with the opening of the Congressman Ed Pastor / Loop 202 Freeway & Baseline Road interchange. The improvements have generally been built to the Section A arterial standard, with additional right-of-way provided to facilitate the westbound freeway on-ramp approaches. The overall roadway includes six through travel lanes, and additional deceleration lanes. Curb, gutters and a 5-foot wide attached sidewalk have been installed. Median breaks on Baseline Road have been defined to establish current and future access to properties on the north and south sides of the roadway.

Proposed north half improvements that remain to be completed include landscaping, street lighting and construction of a natural surface multi-use path. The Laveen Spectrum PUD does not propose any new access driveways in addition to the two existing locations located approximately 330 feet and 660 feet west of the 59th Avenue intersection. The driveway located approximately 330 feet west of the intersection does not allow for left-in or left-out movements (no median break). The primary driveway located approximately 660 feet west of the intersection allows for left-in to the site but no left (eastbound) out of the site due to directional median improvements. A transit stop pad has also been provided west of the 59th Avenue intersection.

59TH AVENUE

59th Avenue is classified on the City of Phoenix's Streets Classification Map as a C-M (4-Lane Arterial with median) roadway type. Dedications and improvements to 59th Avenue will include half street right-of-way dedications that may exceed the typical half street dedication of 55-feet due to an existing overhead powerline corridor located along the east edge of 59th Avenue. Half street roadway improvements will include two travel lanes and a southbound bike lane. Additional right-of-way may be necessary to accommodate future deceleration lanes. Improvements beyond the travel lanes include curb and gutter, sidewalk and landscape treatments. Multiple access driveways are anticipated along 59th Avenue and will be coordinated with the City as individual development projects within the Development Sub-Areas move forward. Traffic signalization at the 59th Avenue and Baseline



Road intersection has been installed on all corners. Any modification of the traffic signal at 59th Avenue and Baseline Road will be provided as necessary and warranted for the development. Improvements to 59th Avenue will be phased concurrent with sub-area development timing. Phased developments must follow City policy for lot splits or as defined in the ordinance for land division.

10b. Grading & Drainage

On-site storm water retention will be integrated into the plan per city standards. Surface retention will be implemented in the site design and landscaping around the perimeter landscape buffers of the site. Private access, drainage and public water and sewer easements will be dedicated as necessary for the infrastructure. An 8-foot wide public utility easement will also be dedicated along the perimeter per city standards.

Retention for the site will be provided by surface retention and underground retention as appropriate to meet the 100-year 2-hour rainfall runoff storm. Currently, storm water for the site drains from north to south to Baseline Road. For the proposed development, the ultimate outfall for emergency overflow from the site will discharge into Baseline Road.

10c. Water & Wastewater

Existing water and sanitary wastewater mains are located adjacent to the site within Baseline Road. As development of the Laveen Spectrum site occurs, it is anticipated that these mains will be extended into the site and/or within 59th Avenue north of Baseline Road to serve the project. All water and sanitary wastewater improvements will be constructed and permitted in accordance with City standards.

APPENDIX A:

Architecture Character Imagery for Development Sub-Area 1



APPENDIX B:

Architecture Character Imagery for Development Sub-Area 2



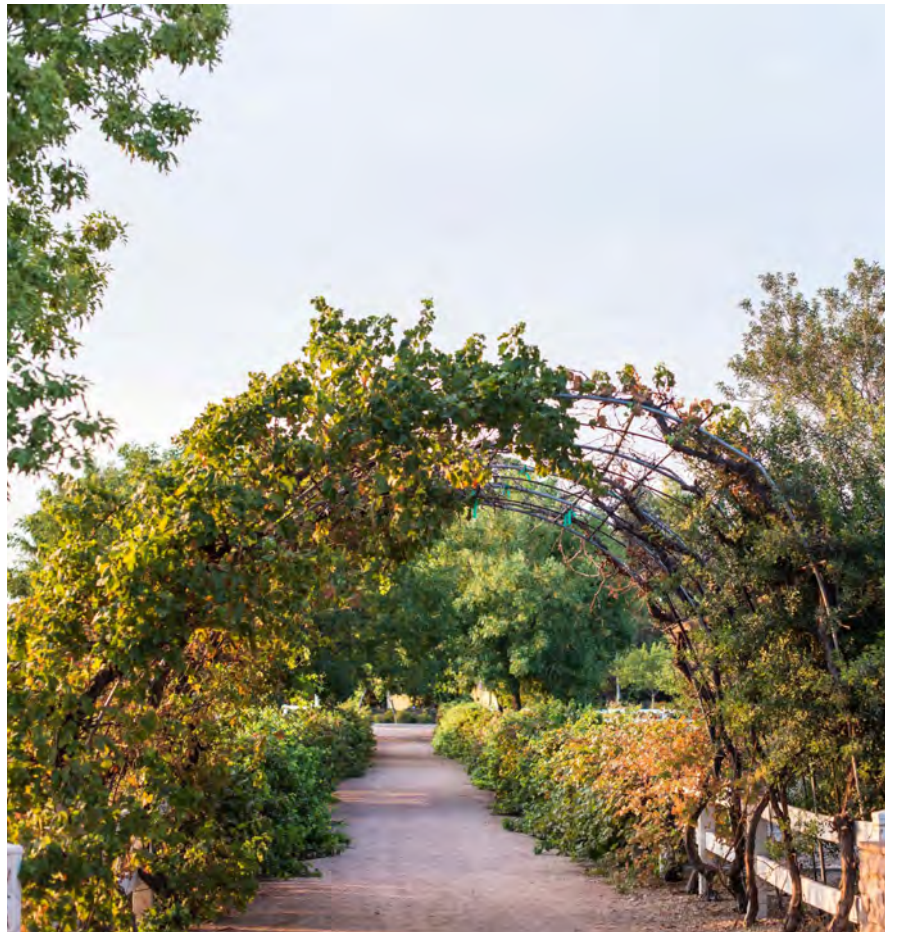
APPENDIX C:

Architecture Character Imagery for Development Sub-Area 3



APPENDIX D:

Landscape Character Imagery for Laveen Spectrum



APPENDIX E:

Comparative Zoning Table for Commercial Uses

DEVELOPMENT STANDARDS	PROPOSED PUD ZONING STANDARDS	EXISTING ZONING STANDARDS	
	C-2 USES W/IN SUB-AREAS 1 AND 2	C-2 WITH HEIGHT WAIVER	
DEVELOPMENT STANDARDS			
Max. Density (Units / Gross Acre)	0	15.23; 17.4 with bonus	15.23; 17.4 with bonus
Min. Building Setback Adjacent to Street	50'-0" adjacent to Baseline Road. 30'-0" adjacent to 59th Avenue. 15'-0" adjacent to freeway frontage.	<p>For structures not exceeding 2-stories or 30-feet: average 25-feet, minimum 20-feet permitted for up to 50% of structure including projections.</p> <p>For structures exceeding 2-stories or 30-feet: average 30-feet, minimum 20-feet permitted for up to 50% of structure including projections.</p>	<p>For structures not exceeding 2-stories or 30-feet: average 25-feet, minimum 20-feet permitted for up to 50% of structure including projections.</p> <p>For structures exceeding 2-stories or 30-feet: average 30-feet, minimum 20-feet permitted for up to 50% of structure including projections.</p>
Min. Building Setback Not Adjacent to Street	10'-0"	<p>When adjacent zoning is R1-8 : 1-story (or 15') = 25' setback, 2 story (or 30') = 50' setback, 3-story (or 42') = 100' setback, 4 story (or 56') = 150' setback.</p> <p>When adjacent zoning is R-3A:1-story (or 15') = 10' setback, 2 story (or 30') = 15' setback, 3-story (or 42') = 30' setback, 4 story (or 56') = 45' setback.</p>	<p>When adjacent zoning is R1-8 : 1-story (or 15') = 25' setback, 2 story (or 30') = 50' setback, 3-story (or 42') = 100' setback, 4 story (or 56') = 150' setback.</p> <p>When adjacent zoning is R-3A, :1-story (or 15') = 10' setback, 2 story (or 30') = 15' setback, 3-story (or 42') = 30' setback, 4 story (or 56') = 45' setback.</p>

DEVELOPMENT STANDARDS	PROPOSED PUD ZONING STANDARDS	EXISTING ZONING STANDARDS	
	C-2 USES W/IN SUB-AREAS 1 AND 2	C-2 WITH HEIGHT WAIVER	
Max. Lot Coverage	Per Code - 50% of net lot area exclusive of the first 6-feet of roof overhang, open carports, covered patios or covered walkways	50% of net lot area exclusive of the first 6-feet of roof overhang, open carports, covered patios or covered walkways	50% of net lot area exclusive of the first 6-feet of roof overhang, open carports, covered patios or covered walkways
Max. Building Height	56'	56', 4-stories	30', 2-stories
Signage	Per Zoning Ordinance Section 705, except Sign B - Multi-Occupant Freeway Sign may have maximum height of 65' feet and maximum area of 662 square feet.	Multi-Occupant Freeway Sign - Maximum height = 35' (48'), maximum area = 200 sf. With CSP maximum height = 72', maximum area = 250 sf.	Multi-Occupant Freeway Sign - Maximum height = 35' (48'), maximum area = 200 sf. With CSP maximum height = 72', maximum area = 250 sf.
Min. Open Space	Dev. Sub-Area - 10% of net area, Dev. Parcel** – 7% of net area **For the purposes of determining open space requirements for any individual development project within a Development Sub-Area, a Development Parcel shall be considered the limits of an individual development project as shown by the boundaries included on a preliminary site plan.	No requirement	No requirement

DEVELOPMENT STANDARDS	PROPOSED PUD ZONING STANDARDS	EXISTING ZONING STANDARDS	
	C-2 USES W/IN SUB-AREAS 1 AND 2	C-2 WITH HEIGHT WAIVER	
LANDSCAPE STANDARDS			
<i>STREETSCAPE LANDSCAPE SETBACK (BASELINE ROAD & 59TH AVENUE)</i>			
Min. Landscape Setback	Minimum 30'-0", Average 50'-0"	Average 25' for structures not exceeding two stories or 30', minimum 20' permitted for up to 50% of the frontage. Average 30' for structures exceeding two stories or 30' for structures exceeding two stories of 30', minimum 20' for up to 50% of the frontage	Average 25' for structures not exceeding two stories or 30', minimum 20' permitted for up to 50% of the frontage. Average 30' for structures exceeding two stories or 30' for structures exceeding two stories of 30', minimum 20' for up to 50% of the frontage
Trees - Minimum Planting Size	Minimum of one (1) tree per twenty (20) linear feet, or in equivalent groupings on both sides of detached pedestrian pathways; Minimum of one (1) tree per twenty (20) linear feet, or in equivalent groupings on one side of attached pedestrian pathways. Baseline Road: Min. 2-inch caliper size (50% of required trees); Min. 3-inch caliper size (25% of required trees); Min. 4-inch caliper size (25% of required trees). 59th Avenue: Min. 2-inch caliper size.	1 tree per 20 feet on center or equivalent grouping, minimum 2-inch caliper (50% of required trees), min. 3-inch caliper (25% of required trees), min. 4-inch caliper (25% of required trees).	1 tree per 20 feet on center or equivalent grouping, minimum 2-inch caliper (50% of required trees), min. 3-inch caliper (25% of required trees), min. 4-inch caliper (25% of required trees).
Shrubs - Minimum Planting Size	Minimum 5 shrubs per tree, minimum 5-gallon size.	Minimum 5 shrubs per tree, minimum 5-gallon size.	Minimum 5 shrubs per tree, minimum 5-gallon size.
Ground Cover	Minimum 75% coverage of living plants at maturity with 2" depth decomposed granite topdressing.	No requirement	No requirement

DEVELOPMENT STANDARDS	PROPOSED PUD ZONING STANDARDS	EXISTING ZONING STANDARDS	
	C-2 USES W/IN SUB-AREAS 1 AND 2	C-2 WITH HEIGHT WAIVER	
<i>PERIMETER PROPERTY LINES (NORTH & WEST BOUNDARIES)</i>			
Min. Landscape Setback	Adjacent to freeway frontage: 10'-0" (west boundary). Not adjacent to a public street: 10'-0" (north boundary).	Freeway frontage: Average 25' for structures not exceeding two stories or 30', minimum 20' permitted for up to 50% of the frontage. Average 30' for structures exceeding two stories or 30' for structures exceeding two stories of 30', minimum 20' for up to 50% of the frontage Not adjacent to public street: 10'-0" (north boundary)	Freeway frontage: Average 25' for structures not exceeding two stories or 30', minimum 20' permitted for up to 50% of the frontage. Average 30' for structures exceeding two stories or 30' for structures exceeding two stories of 30', minimum 20' for up to 50% of the frontage Not adjacent to public street: 10'-0" (north boundary)
Trees - Minimum Number and Planting Size	1 tree per 20 linear feet or equivalent groupings, minimum 2-inch caliper.	1 tree per 20 feet on center or equivalent grouping, minimum 1-inch caliper (40% of required trees), minimum 2-inch caliper (60% of required trees).	1 tree per 20 feet on center or equivalent grouping, minimum 1-inch caliper (40% of required trees), minimum 2-inch caliper (60% of required trees).
Shrubs - Minimum Number and Planting Size	Minimum 5 shrubs per tree, minimum 5-gallon size.	Minimum 5 shrubs per tree, minimum 5-gallon size.	Minimum 5 shrubs per tree, minimum 5-gallon size.
Min. Ground Cover	Minimum 50% coverage of living plants at maturity with 2" depth decomposed granite topdressing.	No requirement	No requirement

APPENDIX F:

Comparative Zoning Table for Residential Uses

	PROPOSED PUD ZONING STANDARDS	EXISTING ZONING STANDARDS
	R3-A USES W/IN SUB-AREAS 2 AND 3	R3-A
DEVELOPMENT STANDARDS		
Max. Density	Per Code - 23.1; 26.4 with bonus	23.1; 26.4 with bonus
Min. Building Setback Adjacent to Public Street	20'-0"	20'-0"; area to be in common ownership unless lots front on the perimeter public street.
Min. Building Setback to Property Line	20'-0"	15'-0"
Max. Lot Coverage	Per Code - 45%	45%
Max. Building Height	48'-0"	3 Stories or 40' for 150'; 1' in 5' increase to 48', 4-story maximum. 15'-0" maximum height within 10'-0" of single-family zoned district, which height may be increased one foot for each additional one foot of building setback to maximum permitted height.
Signage	Per Zoning Ordinance Section 705	Per Zoning Ordinance Section 705

	PROPOSED PUD ZONING STANDARDS	EXISTING ZONING STANDARDS
	R3-A USES W/IN SUB-AREAS 2 AND 3	R3-A
Min. Open Space / Common Areas	<p>Dev. Sub-Area - 10% of net area, Dev. Parcel** – 7% of net area***.</p> <p>**For the purposes of determining open space requirements for any individual development project within a Development Sub-Area, a Development Parcel shall be considered the limits of an individual development project as shown by the boundaries included on a preliminary site plan.</p> <p>***Residential uses with densities not exceeding 14 units per gross acre shall have a minimum of 15% open space based on net site area.</p>	Minimum 5% of gross area
LANDSCAPE STANDARDS		
<i>STREETSCAPE LANDSCAPE SETBACK (BASELINE ROAD & 59TH AVENUE)</i>		
Min. Landscape Setback	Adjacent to 59th Avenue: 20'-0", adjacent to freeway frontage: 15'-0"	20' adjacent to a public street; area to be in common ownership unless lots from on the perimeter of the street.
Trees - Minimum Number and Planting Size	<p>Minimum of one (1) tree per twenty (20) linear feet, or in equivalent groupings on both sides of detached pedestrian pathways;</p> <p>Minimum of one (1) tree per twenty (20) linear feet, or in equivalent groupings on one side of attached pedestrian pathways.</p> <p>Baseline Road: Min. 2-inch caliper size (50% of required trees); Min. 3-inch caliper size (25% of required trees); Min. 4-inch caliper size (25% of required trees).</p> <p>59th Avenue: Min. 2-inch caliper size.</p>	One minimum 15-gallon drought resistant tree for each 500 sf. of required setback area less driveways and sidewalks.

	PROPOSED PUD ZONING STANDARDS	EXISTING ZONING STANDARDS
	R3-A USES W/IN SUB-AREAS 2 AND 3	R3-A
Shrubs - Minimum Number and Planting Size	Minimum 5 shrubs per tree, minimum 5-gallon size	One minimum 5-gallon drought resistant shrub for each 100 sf. of required setback less driveways and sidewalks.
Min. Ground Cover	Minimum 75% coverage of living plants with 2” depth decomposed granite topdressing.	Ground cover shall be selected from at least two of the following: a) turf or low-growing evergreen vegetation; b) flowering vegetation; c) manmade or natural art, sculpture, rock, decomposed granite or similar material, a maximum of 3-inch in diameter when used in conjunction with landform sculpting..
PERIMETER PROPERTY LINES (NORTH & WEST BOUNDARIES)		
Min. Landscape Setback	15’-0”	15’ adjacent to property line
Trees - Minimum Planting Size	1 tree per 20 linear feet or equivalent groupings, minimum 2-inch caliper.	One minimum 15-gallon tree for each 20-feet of linear distance.
Shrubs - Minimum Number and Planting Size	Minimum 5 shrubs per tree, minimum 5-gallon size.	One minimum 5-gallon shrub for each 5-feet of linear distance.
Min. Ground Cover	Minimum 50% coverage of living plants with 2” depth decomposed granite topdressing	No requirement

APPENDIX G:

Full Site Legal Description



P.O. Box 2170, Chandler, AZ 85244
Daniel D. Armijo, RLS (480) 244-7630
Brian D. Warren, LSIT (480) 243-4287

February 28, 2020
AWLS #19-019

Parcel Description

A portion of those certain parcels of land described in Documents No. 2002-0755943 and 2003-1298633, Maricopa County Records, lying within the southeast quarter of Section 31, Township 1 North, Range 2 East, of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, more particularly described as follows:

Commencing at the southeast corner of said Section 31, a cotton picker spindle with tag LS 38862, from which the east quarter corner of said Section, a Maricopa County aluminum cap, bears North 00 degrees 41 seconds 54 minutes West, a distance of 2635.08 feet;

Thence along the east line of the southeast quarter of said Section, North 00 degrees 41 minutes 54 seconds West, a distance of 107.00 feet, to the northerly right-of-way line of Baseline Road and to the **Point of Beginning**;

Thence leaving said east line, along said northerly right-of-way line, South 89 degrees 47 minutes 53 seconds West, a distance of 85.00 feet;

Thence South 44 degrees 33 minutes 07 seconds West, a distance of 42.24 feet;

Thence South 89 degrees 47 minutes 53 seconds West, a distance of 467.78 feet;

Thence North 00 degrees 12 minutes 07 seconds West, a distance of 1.00 feet;

Thence North 85 degrees 44 minutes 03 seconds West, a distance of 164.14 feet;

Thence North 88 degrees 20 minutes 56 seconds West, a distance of 284.92 feet, to the easterly right-of-way line of State Route 202L;

Thence leaving said northerly right-of-way line, along said easterly right-of-way line, North 00 degrees 51 minutes 44 seconds West, a distance of 288.45 feet;

Thence North 08 degrees 23 minutes 18 seconds West, a distance of 1675.18 feet;

Thence North 09 degrees 37 minutes 00 seconds West, a distance of 576.04 feet;

Thence North 08 degrees 22 minutes 24 seconds West, a distance of 20.68 feet, to the north line of the southeast quarter of said Section 31;

Thence leaving said easterly right-of-way line, along said north line, North 89 degrees 48 minutes 41 seconds East, a distance of 1348.06 feet, to the east line of the southeast quarter of said Section 31;

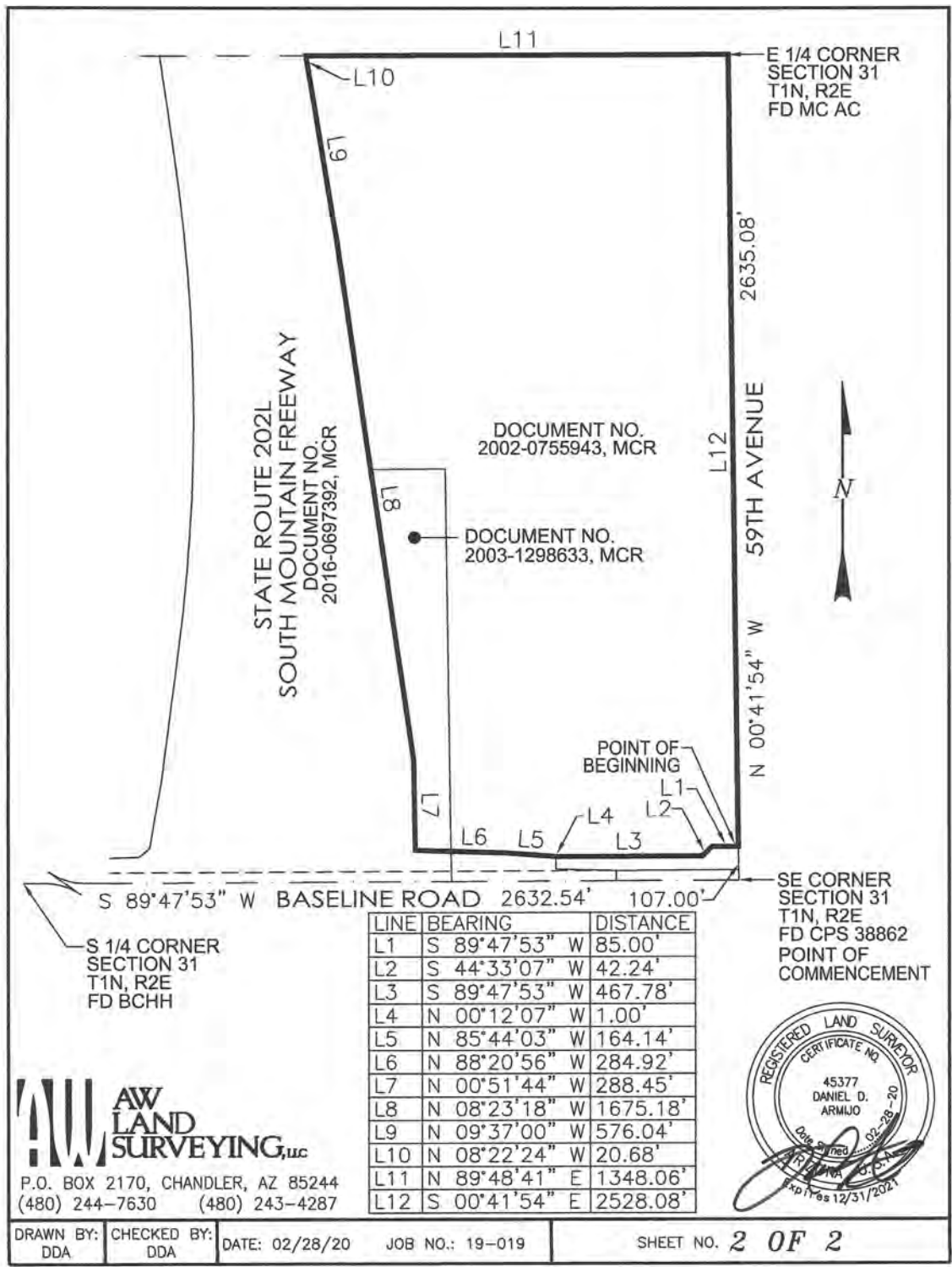
Thence leaving said north line, along said east line, South 00 degrees 41 minutes 54 seconds East, a distance of 2528.08 feet, to the **Point of Beginning**.

Containing 2,974,956 Square Feet or 68.30 Acres more or less.
Subject to easements, restrictions and rights of way of record.



APPENDIX G:

Full Site Legal Description (Continued)



APPENDIX H:

Sub-Area 1 Legal Description

Development Sub-Area 1

A portion of those certain parcels of land described in Documents No. 2002-0755943 and 2003-1298633, Maricopa County Records, lying within the southeast quarter of Section 31, Township 1 North, Range 2 East, of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, more particularly described as follows:

Commencing at the southeast corner of said Section 31, a cotton picker spindle with tag LS 38862, from which the east quarter corner of said Section, a Maricopa County aluminum cap, bears North 00 degrees 41 seconds 54 minutes West, a distance of 2635.08 feet;

Thence along the east line of the southeast quarter of said Section, North 00 degrees 41 minutes 54 seconds West, a distance of 107.00 feet, to the northerly right-of-way line of Baseline Road and to the **Point of Beginning**;

Thence leaving said east line, along said northerly right-of-way line, South 89 degrees 47 minutes 53 seconds West, a distance of 85.00 feet;

Thence South 44 degrees 33 minutes 07 seconds West, a distance of 42.24 feet;

Thence South 89 degrees 47 minutes 53 seconds West, a distance of 467.78 feet;

Thence North 00 degrees 12 minutes 07 seconds West, a distance of 1.00 feet;

Thence North 85 degrees 44 minutes 03 seconds West, a distance of 164.14 feet;

Thence North 88 degrees 20 minutes 56 seconds West, a distance of 284.92 feet, to the easterly right-of-way line of State Route 202L;

Thence leaving said northerly right-of-way line, along said easterly right-of-way line, North 00 degrees 51 minutes 44 seconds West, a distance of 288.45 feet;

Thence North 08 degrees 23 minutes 18 seconds West, a distance of 370.04 feet;

Thence leaving said easterly right-of-way line, North 90 degrees 00 minutes 00 seconds East, a distance of 1081.37 feet, to the east line of the southeast quarter of said Section;

Thence along said east line, South 00 degrees 41 minutes 54 seconds East, a distance of 643.91 feet, to the **Point of Beginning**.

Containing 696,684 Square Feet or 16.00 Acres more or less.
Subject to easements, restrictions and rights of way of record.



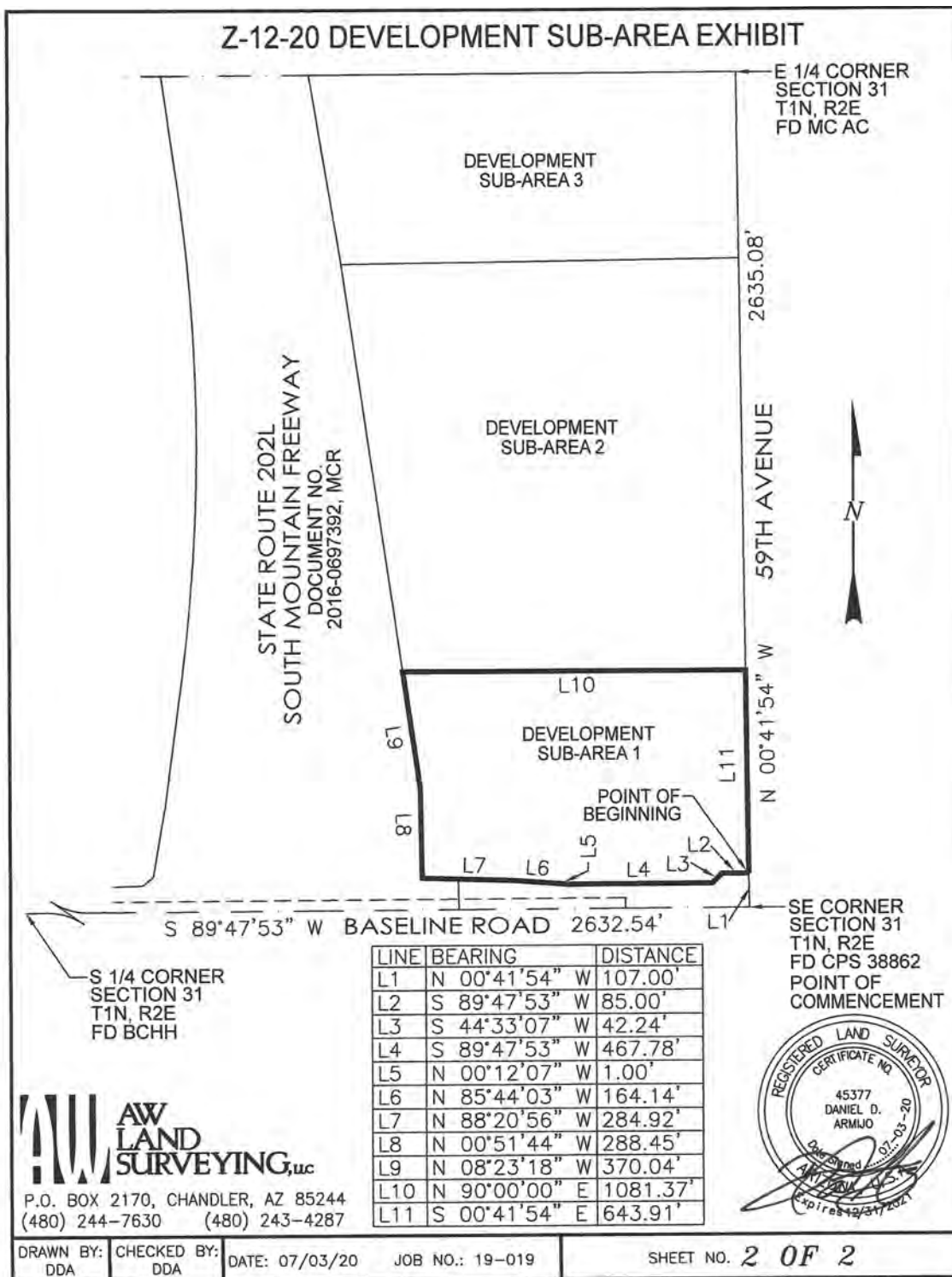
P.O. Box 2170, Chandler, AZ 85244
Daniel D. Armijo, RLS (480) 244-7630
Brian D. Warren, LSIT (480) 243-4287

July 3, 2020
AWLS #19-019



APPENDIX H:

Sub-Area 1 Legal Description (Continued)



APPENDIX H:

Sub-Area 1 Legal Description (Continued)

Closure Report Fri Jul 3 12:29:57 2020

Northing	Easting	Bearing	Distance
10116.272	12631.220	S 89°47'53" W 85.000	
10115.972	12546.220	S 44°33'07" W 42.241	
10085.871	12516.586	S 89°47'53" W 467.779	
10084.222	12048.811	N 00°12'07" W 1.000	
10085.222	12048.807	N 85°44'03" W 164.140	
10097.431	11885.122	N 88°20'56" W 284.920	
10105.641	11600.320	N 00°51'44" W 288.450	
10394.058	11595.980	N 08°23'18" W 370.039	
10760.138	11541.998	N 90°00'00" E 1081.374	
10760.138	12623.372	S 00°41'54" E 643.913	
10116.273	12631.220		

Closure Error Distance> 0.00100 Error Bearing> S 00°41'54" E
Closure Precision> 1 in 3428855.1 Total Distance> 3428.855
Polyline Area: 696,684 sq ft, 15.995 acres



APPENDIX I:

Sub-Area 2 Legal Description

Development Sub-Area 2

A portion of those certain parcels of land described in Documents No. 2002-0755943 and 2003-1298633, Maricopa County Records, lying within the southeast quarter of Section 31, Township 1 North, Range 2 East, of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, more particularly described as follows:

Commencing at the southeast corner of said Section 31, a cotton picker spindle with tag LS 38862, from which the east quarter corner of said Section, a Maricopa County aluminum cap, bears North 00 degrees 41 seconds 54 minutes West, a distance of 2635.08 feet;

Thence along the east line of the southeast quarter of said Section, North 00 degrees 41 minutes 54 seconds West, a distance of 750.92 feet to the **Point of Beginning**;

Thence leaving said east line, North 90 degrees 00 minutes 00 seconds West, a distance of 1081.37 feet, to the easterly right-of-way line of State Route 202L;

Thence along said easterly right-of-way line, North 08 degrees 23 minutes 18 seconds West, a distance of 1299.53 feet;

Thence leaving said easterly right-of-way, North 89 degrees 18 minutes 06 seconds East, a distance of 1255.19 feet, to the east line of said Section;

Thence along said east line, South 00 degrees 41 minutes 54 seconds East, a distance of 1301.02 feet, to the **Point of Beginning**.

Containing 1,511,639 Square Feet or 34.70 Acres more or less.
Subject to easements, restrictions and rights of way of record.



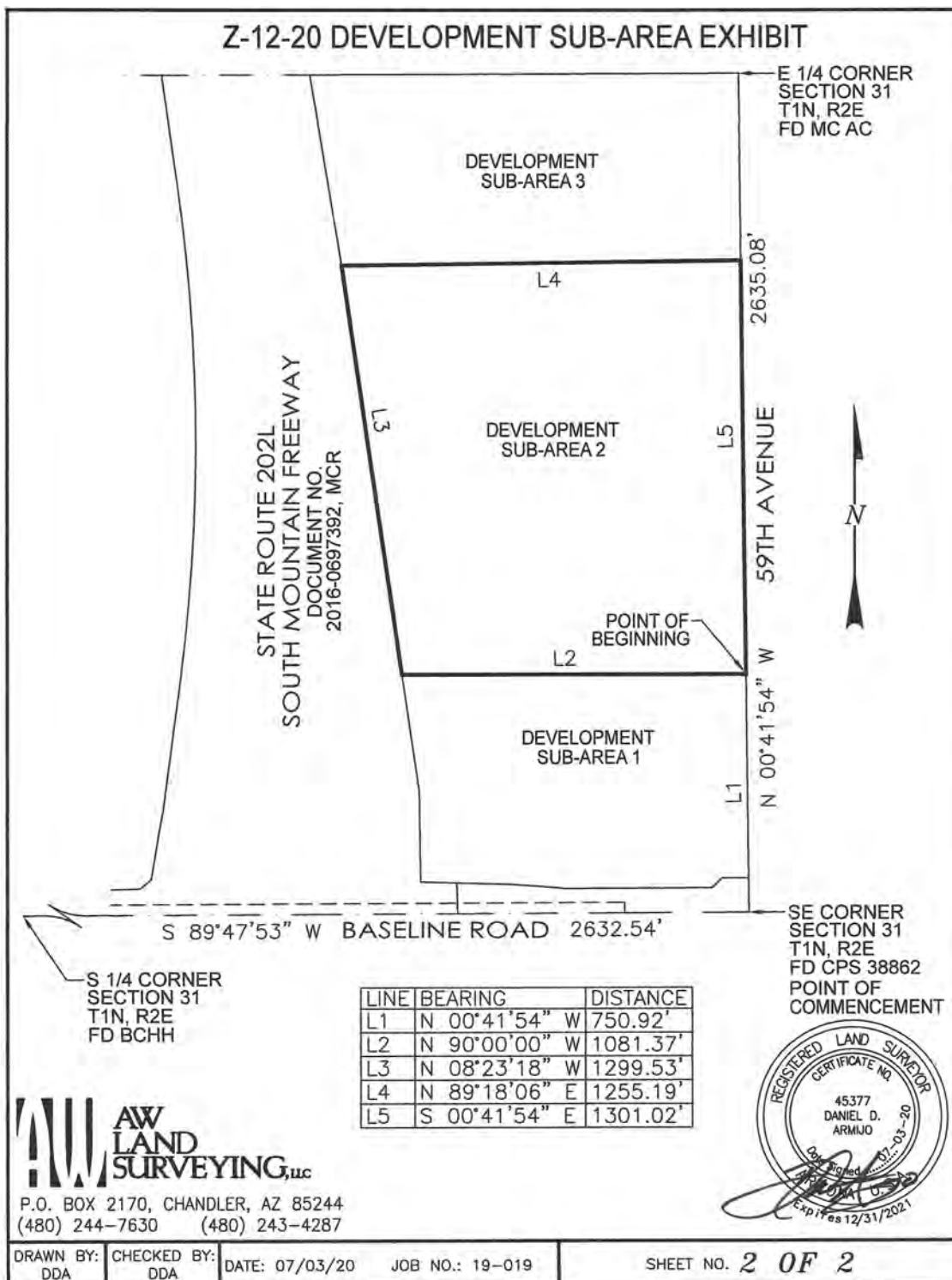
P.O. Box 2170, Chandler, AZ 85244
Daniel D. Armijo, RLS (480) 244-7630
Brian D. Warren, LSIT (480) 243-4287

July 3, 2020
AWLS #19-019



APPENDIX I:

Sub-Area 2 Legal Description (Continued)



APPENDIX I:

Sub-Area 2 Legal Description (Continued)

Closure Report

Fri Jul 3 12:34:09 2020

Northing	Easting	Bearing	Distance
10760.138	12623.372	N 90°00'00" W	1081.374
10760.138	11541.998	N 08°23'18" W	1299.532
12045.768	11352.420	N 89°18'06" E	1255.188
12061.066	12607.515	S 00°41'54" E	1301.024
10760.139	12623.372		

Closure Error Distance > 0.00100 Error Bearing > S 00°41'54" E
Closure Precision > 1 in 4937118.1 Total Distance > 4937.118
Polyline Area: 1,511,639 sq ft, 34.70 acres



APPENDIX J:

Sub-Area 3 Legal Description

Development Sub-Area 3

A portion of that certain parcel of land described in Document No. 2002-0755943, Maricopa County Records, lying within the southeast quarter of Section 31, Township 1 North, Range 2 East, of the Gila and Salt River Base and Meridian, Maricopa County, Arizona, more particularly described as follows:

Beginning at the east quarter corner of said Section, a Maricopa County aluminum cap, from which the southeast corner of said Section 31, a cotton picker spindle with tag LS 38862, bears South 00 degrees 41 seconds 54 minutes West, a distance of 2635.08 feet;

Thence along the east line of the southeast quarter of said Section, South 00 degrees 41 minutes 54 seconds East, a distance of 583.14 feet;

Thence leaving said east line, South 89 degrees 18 minutes 06 seconds West, a distance of 1255.19 feet, to the easterly right-of-way line of State Route 202L;

Thence along said easterly right-of-way line, North 08 degrees 23 minutes 18 seconds West, a distance of 5.61 feet;

Thence North 09 degrees 37 minutes 00 seconds West, a distance of 576.04 feet;

Thence North 08 degrees 22 minutes 24 seconds West, a distance of 20.68 feet, to the north line of the southeast quarter of said Section 31;

Thence leaving said easterly right-of-way line, along said north line, North 89 degrees 48 minutes 41 seconds East, a distance of 1348.06 feet, to the **Point of Beginning**.

Containing 766,633 Square Feet or 17.60 Acres more or less.
Subject to easements, restrictions and rights of way of record.



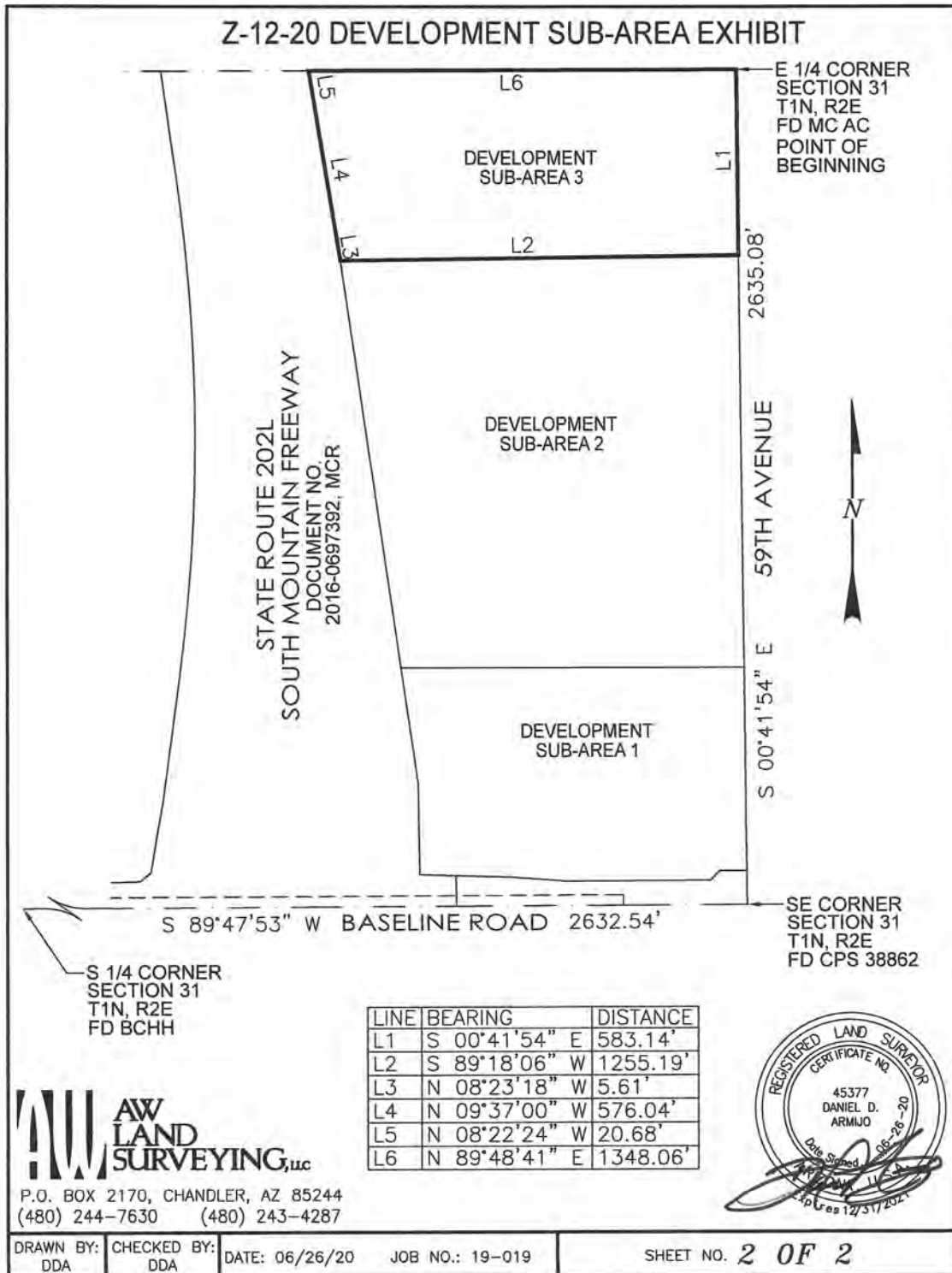
P.O. Box 2170, Chandler, AZ 85244
Daniel D. Armijo, RLS (480) 244-7630
Brian D. Warren, LSIT (480) 243-4287

June 26, 2020
AWLS #19-019



APPENDIX J:

Sub-Area 3 Legal Description (Continued)



APPENDIX J:

Sub-Area 3 Legal Description (Continued)

Closure Report

Fri Jun 26 15:24:16 2020

Northing	Easting	Bearing	Distance
12644.163	12600.408	S 00°41'54" E 583.140	
12061.066	12607.515	S 89°18'06" W 1255.188	
12045.768	11352.420	N 08°23'18" W 5.609	
12051.317	11351.602	N 09°37'00" W 576.040	
12619.262	11255.371	N 08°22'24" W 20.682	
12639.724	11252.359	N 89°48'41" E 1348.055	
12644.163	12600.407		

Closure Error Distance > 0.00100 Error Bearing > N 89°48'41" E
Closure Precision > 1 in 3788714.4 Total Distance > 3788.714
Polyline Area: 766,633 sq ft, 17.60 acres



APPENDIX K:

Perimeter Design Corridor Supplement to the PUD Narrative

*[SEE ATTACHED SUPPLEMENT
DOCUMENT]*

LAVEEN SPECTRUM

Perimeter Design Corridor Supplement to the PUD Narrative

September 2020

PREPARED FOR:

Barclay Group
2390 E. Camelback Rd., Suite 100
Phoenix, Arizona 85016

Gila and Salt River Development, LLC
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Perimeter Design Corridor Design Guidelines Summary:

Laveen Spectrum is an approximately 71.9-acre planned mixed use development located at the northwest corner of Baseline Road and 59th Avenue. The project is planned to include a mix of commercial and residential development within this growing area of Laveen. While the PUD allows for a degree of development flexibility, it also provides for enhanced design guidelines along the site's arterial perimeters to ensure a high level of design and development continuity as viewed from the project edge. This *Perimeter Design Corridor* design guidelines document is provided as a supplement to the PUD Narrative to provide further assurance of the high level of design planned for the project's arterial-facing frontages. The design guidelines provided within this document are in addition to the design guidelines and development standards already within the PUD Narrative. The PUD Narrative includes standards related to the following:

- Perimeter landscape standards
- Enhanced perimeter shade standards
- Enhanced perimeter pedestrian improvements
- Enhanced project gateway areas
- Conformance with identified Complete Street standards

The following *Perimeter Design Corridor* design guidelines, as outlined below, are intended to provide for elevated architectural and thematic design assurances in addition to the perimeter landscape and pedestrian circulation standards. Below are outlined "Design Requirements" which all development within the *Perimeter Design Corridor* area is required to incorporate as well as "Design Options" of which a minimum of three design elements are required within the *Perimeter Design Corridor* area. Together these *Perimeter Design Corridor* design guidelines will establish a cohesive enhanced design language along the site's key public-facing (arterial) perimeters.

Applicability:

The *Perimeter Design Corridor* requirements apply to closed buildings with perimeter-facing facades and landscape areas located within 100-feet of adjacent arterial roadways (Baseline Road and 59th Avenue) as measured from the perimeter property boundary. See **Exhibit 1: Perimeter Design Corridor Map**. The *Perimeter Design Corridor* captures the area most visible from these public edges and establishes an enhanced edge treatment zone to the benefit of the greater Laveen community.

Design Requirements (all required):

All design elements listed below are to apply to development within the Perimeter Design Corridor area.

- BUILDING MASSING:** Reduce building mass by using a combination of the following techniques:
 - Variation in the roofline and form;
 - Use of ground level arcades and covered areas, protected or recessed building entrances;
 - Vertical elements on or in front of expansive blank walls;
 - Use of pronounced wall plane offsets and projections;
 - Use of focal points and vertical accents;
 - Inclusion of windows on elevations facing streets and pedestrian areas.

- CHARACTER WALLS:** To promote common thematic design elements within the *Perimeter Design Corridor*, a wall system consisting of screen walls, view fencing and theme walls shall be constructed exhibiting common colors and materials. Wall heights, locations and other restrictions shall be subject to development standards as defined by the PUD Narrative. Wall elevations, by type with specific improvement standards, have been identified in **Exhibit 2: Wall Details**. Specific locations and alignments of character wall improvements shall be determined at time of preliminary site plan submittal for each phase of the site development.

- DESIGN ELEMENTS:** For buildings with facades greater than 100-feet in length, a minimum of two of the following elements shall repeat at appropriate intervals, either horizontally or vertically. These architectural elements may include the following: texture and material changes, offsets, reveals, archways or projecting ribs; wall plane projections or recesses, variations in window systems, vertical landscape features, public art.

- EXTERIOR FINISHES:** Perimeter-facing building facades within the *Perimeter Design Corridor* shall be limited to a maximum of 75% stucco coverage. Additionally,
 - Building trim, signage and accent areas shall feature different building materials and different colors than the building field color if compatible with the architectural design;
 - All primary building colors shall be selected to limit reflectivity. Brighter tones may be utilized in limited areas as accent colors to enhance entries, focal points, signage and other prominent building features.

- PEDESTRIAN LIGHTING:** All pedestrian routes within the *Perimeter Design Corridor* shall be required to lit with a common pedestrian-scale lighting fixture type that is consistent throughout the Corridor Area. Lighting elements shall be placed no greater than 30 feet apart and shall be located proximate to the multi-use pathways along the project frontages. Lighting shall be thoughtfully blended with landscape and hardscape improvements.

Additional Design Options (minimum 3 required):

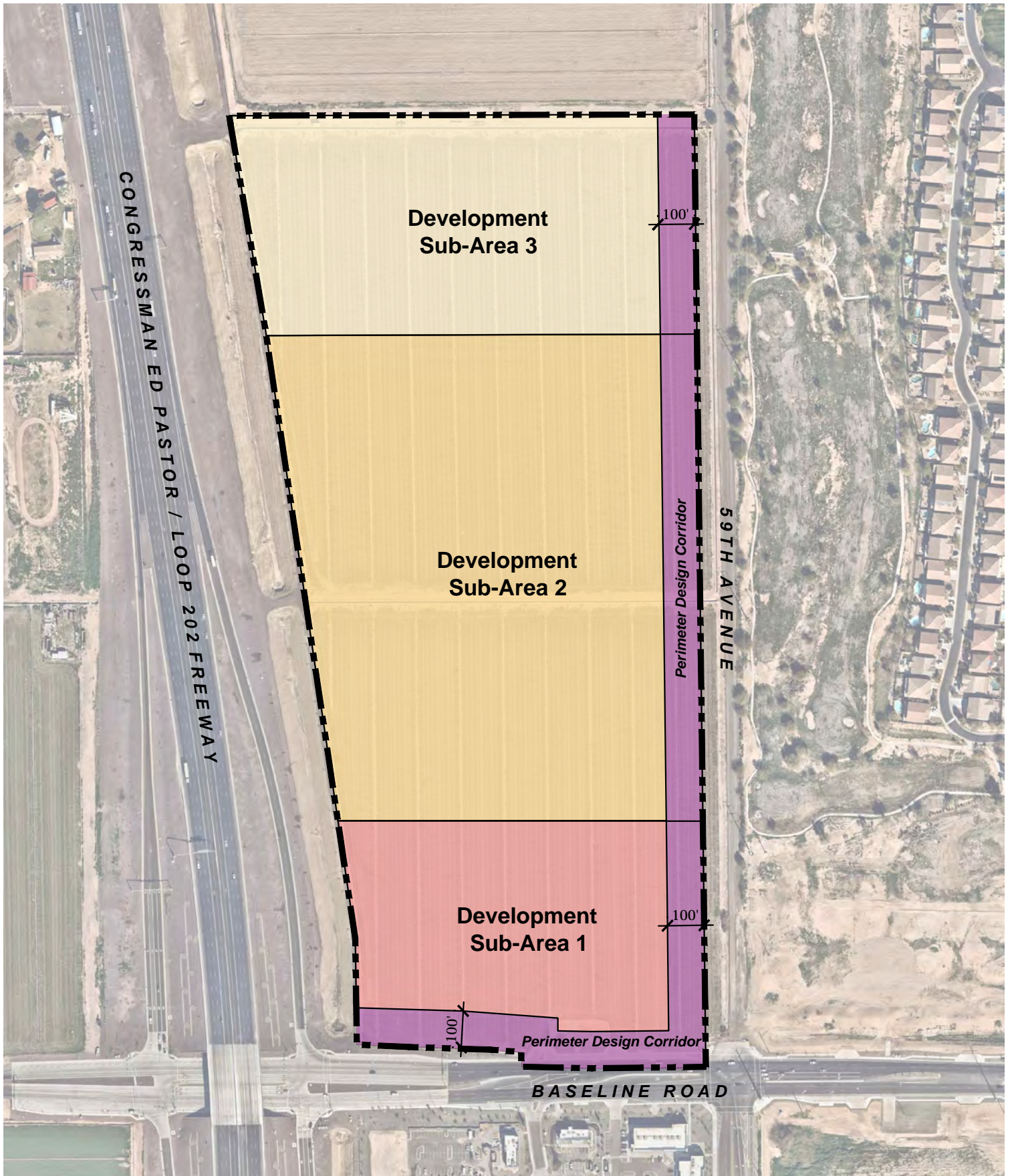
In addition to the above “Design Requirements”, development within the Perimeter Design Corridor are required to incorporate a minimum of three of the following thematic design elements listed below.


- SHADING:** Buildings shall demonstrate the application of shading features for no less than 50% of window openings. Shading elements may include the following: suspended canopies, posted canopies, building overhangs, screen walls, window eyebrows, awnings, shade sails, and pergolas.
- BUILDING ENTRIES:** Buildings shall include distinctive entry statements at each primary building entry. Entry statements can be established in multiple ways:
 - Differentiated building massing (vertical elements, building envelopes);
 - Incorporation of fixed shading elements;
 - Use of a special or different façade material;
 - Utilization of accent lighting and/or creative signage,
- BUILDING MASSING:** Within individual developments that include multiple buildings, vary the size massing and height of the building in relation to each other. Building mass should be broken into smaller elements, consistent with the proportions of the architectural style and surrounding uses.
- DESIGN ELEMENTS:** Provide human scale within the built environment with the inclusion of items such as ground level plazas, shaded courtyards, entry doorways, etc.
- DESIGN ELEMENTS:** Incorporate the use of materials conducive to the Modern-Rural theme within landscape and building materials to reflect the rural agrarian heritage of the area.
- DESIGN ELEMENTS:** Incorporate architectural embellishments and detailing such as textural changes, pilasters, offsets, recesses, variation in window size and location and/or other overhang canopies into building façade designs,

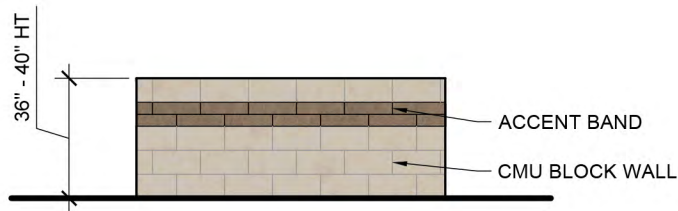
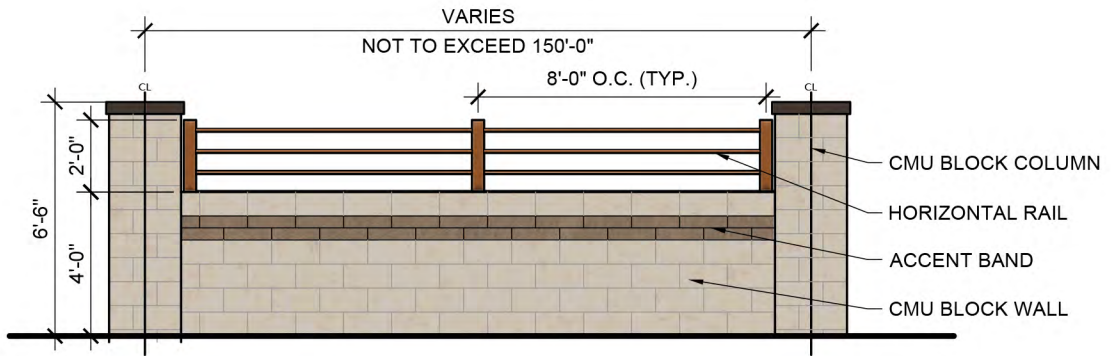
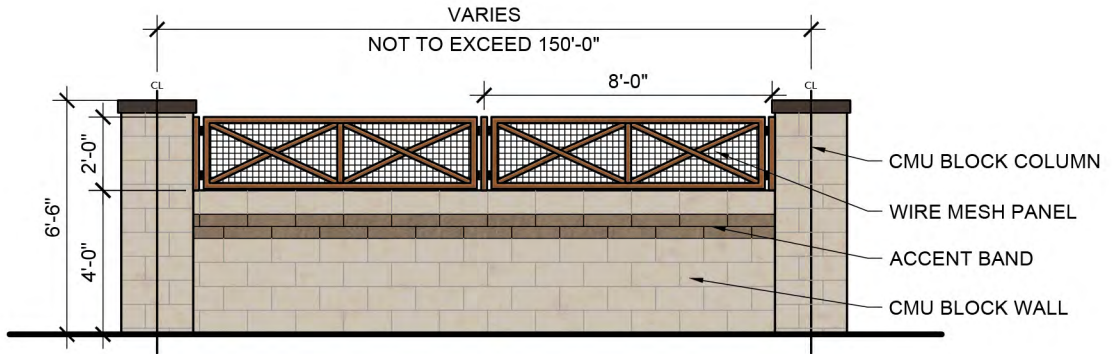
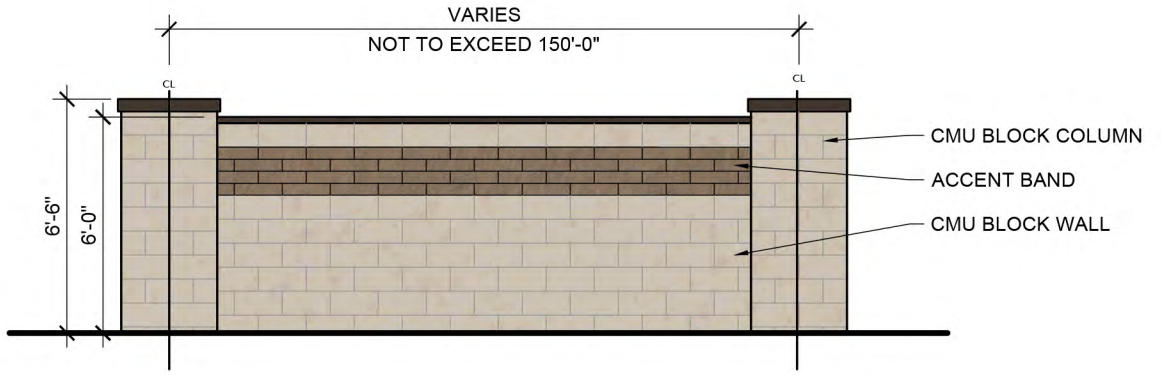
- BUILDING ORIENTATION:** Provide a minimum of 60% of ground-floor facades as storefront style windows for retail and office uses to allow for visual observation of the street.

- DESIGN ELEMENTS:** A minimum of 50% of the area of the front ground floor building facade shall be composed of windows, shadow boxes, artwork or comparable architectural features. The area to be counted toward the 50% shall begin no higher than 12 feet above finished floor. This computation will exclude entrances to parking and loading areas

- ROOF SYSTEMS:** for residential projects, incorporate a minimum of two district roofing types to breakup large roofing expanses.



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