



City of Phoenix
PLANNING & DEVELOPMENT DEPARTMENT

Staff Report: Z-11-20-1
July 1, 2020

Deer Valley [Village Planning Committee Meeting Date](#) July 16, 2020
[Planning Commission Hearing Date](#) August 6, 2020

Request From: [C-2 DVAO](#), (Intermediate Commercial, Deer Valley Airport Overlay District) 1.25 acres
Request To: [CP/GCP DVAO](#) (Commerce Park/General Commerce Park, Deer Valley Airport Overlay District) 1.25 acres

Proposed Use Automotive Warehouse
Location Southeast corner of 15th Avenue and Happy Valley Road

Owner Red Hawk Partners, LLC
Applicant Red Hawk Partners, LLC
Representative Charles Eckert, Red Hawk Partners, LLC
Staff Recommendation Approval, subject to stipulations

General Plan Conformity			
General Plan Land Use Map Designation		Commerce / Business Park	
Street Map Classification	15th Avenue	Minor Collector	26-foot east half street
	Happy Valley Road	Major Arterial	65-foot south half street

CONNECT PEOPLE AND PLACES CORE VALUE; OPPORTUNITY SITES; LAND USE PRINCIPLE: Support reasonable levels of increased intensity, respectful of local conditions and surrounding neighborhoods.

The subject site is designated Commerce / Business Park on the General Plan Land Use Map and is within the Deer Valley Employment Center and the Deer Valley Airport Overlay. It is reasonable to allow an increased level of intensity to be consistent with the existing commerce park uses in the immediate area.

STRENGTHEN OUR LOCAL ECONOMY CORE VALUE; MANUFACTURING AND INDUSTRIAL DEVELOPMENT; LAND USE PRINCIPLE: Support the expansion of industrial zoning in targeted industrial areas.

The proposed zoning allows for the expansion of commerce park uses in a targeted industrial/commerce park area.

STRENGTHEN OUR LOCAL ECONOMY CORE VALUE; AIRPORTS; LAND USE PRINCIPLE: Encourage the development of city-owned and non-city-owned parcels near the airport to airport-compatible land uses surrounding the city's airports.

The subject site is in close proximity to the Phoenix Deer Valley Airport and the proposed use is complimentary to and compatible with airport operations.

BUILD THE SUSTAINABLE URBAN CITY CORE VALUE; TREES AND SHADE; LAND USE PRINCIPLE: Integrate trees and shade into the design of new development and redevelopment projects throughout Phoenix.

As stipulated, there shall be 10 percent vegetation in the parking are and trees along the frontages to ensure thermal comfort for pedestrians and to reduce the urban heat island effect.

Applicable Plans, Overlays and Initiatives

Major Employment Center

See Background Item No. 3.

Deer Valley Airport Overlay District

See Background Item No. 4.

Tree and Shade Master Plan

See Background Item No. 6.

Complete Streets Guiding Principles

See Background Item No. 7.

Reimagine Phoenix Initiative

See Background Item No.18.

Surrounding Land Uses/Zoning

	Land Use	Zoning
On Site	Vacant	C-2 DVAO
North	Vacant (Across Happy Valley Road)	S-1

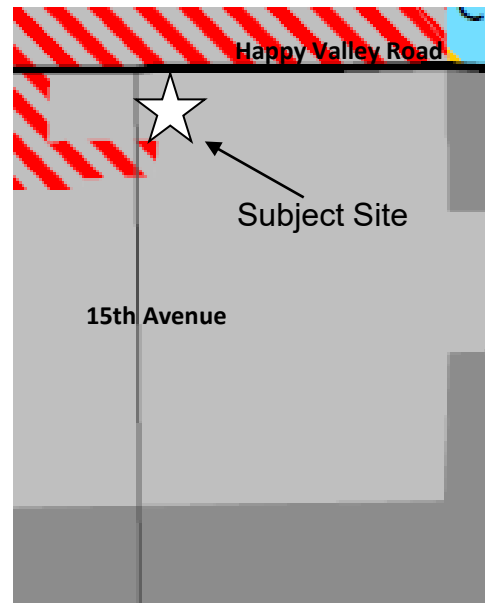
South	Commerce Park Development	CP/GCP DVAO
East	Commerce Park Development	CP/GCP DVAO
West (across 15th Avenue)	Vacant	S-1 (Approved CP/GCP) DVAO

CP/GCP (Commerce Park/ General Commerce Park)		
<u>Standards</u>	<u>Requirements</u>	<u>Provisions on the Proposed Site Plan</u>
<i>Gross Acreage</i>		1.25 gross acres
<i>Building Setbacks</i>		
Street (15th Avenue)	Minimum 20 feet	Met, 20 feet
Street (Happy Valley Road)	Minimum 20 feet	Met, 25 feet
South Side	Minimum 0 feet	Met, 0-feet
East Side	Minimum 0 feet	Met, 0 feet
<i>Landscape Setbacks</i>		
Street (15th Avenue)	Minimum 20 feet	Met, 20 feet
Street (Happy Valley Road)	Minimum 30 feet	Not Met, 25 feet*
South Side	Minimum 0 feet	Met, 0 feet
East Side	Minimum 0 feet	Met, 0 feet
<i>Lot Coverage</i>		Met, 47 percent
Building Height	Maximum 18 feet within 30 feet of perimeter lot line; 1-foot increase per 3-foot additional setback, Maximum 56 to 80 feet with a Use Permit and site plan	Met, 19 feet
* Not met per Zoning Ordinance Standard. The plan must be revised or variance approval is required in order to vary from the minimum requirements.		

Background/Issues/Analysis

1. The request is to rezone 1.25 gross acres located at the southeast corner of 15th Avenue and Happy Valley Road from C-2 DVAO (Intermediate Commercial, Deer Valley Airport Overlay District) to CP/GCP DVAO (Commerce Park/ General Commerce Park District, Deer Valley Airport Overlay District) to allow an automotive warehouse.

2. The General Plan Land Use Map designation for the site is Commerce / Business Park. The proposed zoning of CP/GCP is consistent with the General Plan Land Use designation. The General Plan Land Use Map designation to the east, south and west is also Commerce / Business park. The General Plan Land Use Map designation to the north, across Happy Valley Road, is Mixed Use.

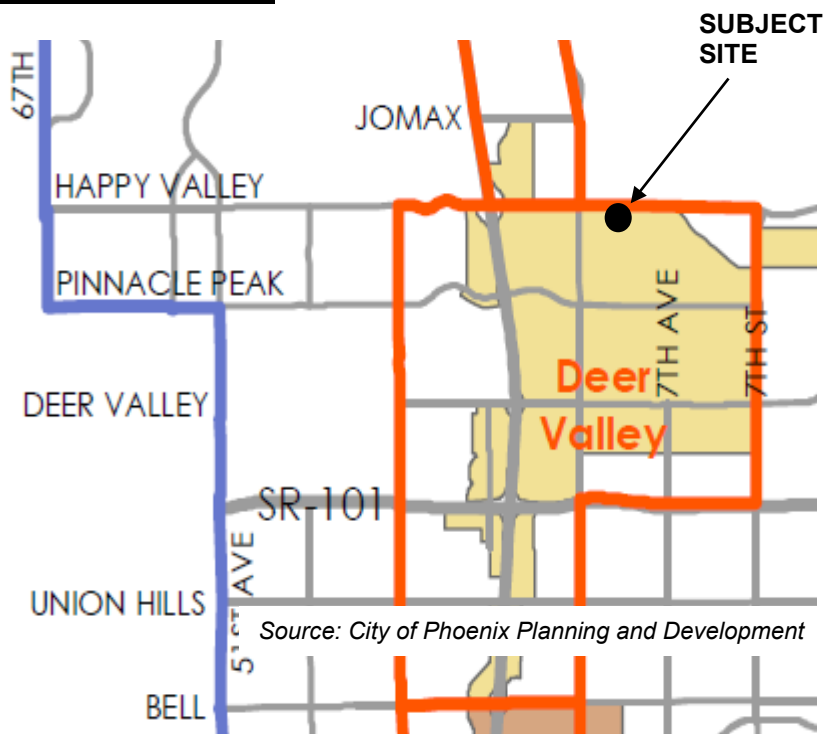


- Commerce / Business Park
- Mixed Use (Commercial / Commerce Park)

Source: City of Phoenix Planning and Development

3. **DEER VALLEY EMPLOYMENT CENTER**

The subject site is located in the Deer Valley Employment Center, which is predominantly planned for commerce park and industrial uses.

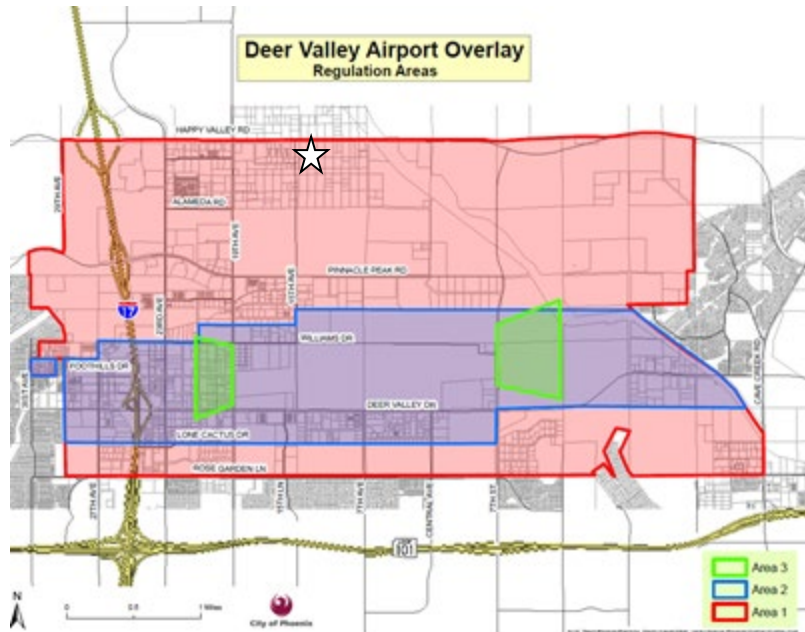


- MAJOR EMPLOYMENT CENTERS**
- Phoenix Designated Empl

Source: City of Phoenix Planning and Development

4. **DEER VALLEY AIRPORT OVERLAY DISTRICT**

All properties in the vicinity are also within the Deer Valley Airport Overlay District (DVAO), Area 1. The purpose of the zoning overlay is to ensure land use compatibility with airport operations, protect navigable airspace from physical encroachment, and require permanent notice of flight operations to property owners. The proposed development is complimentary to and compatible with airport operations.



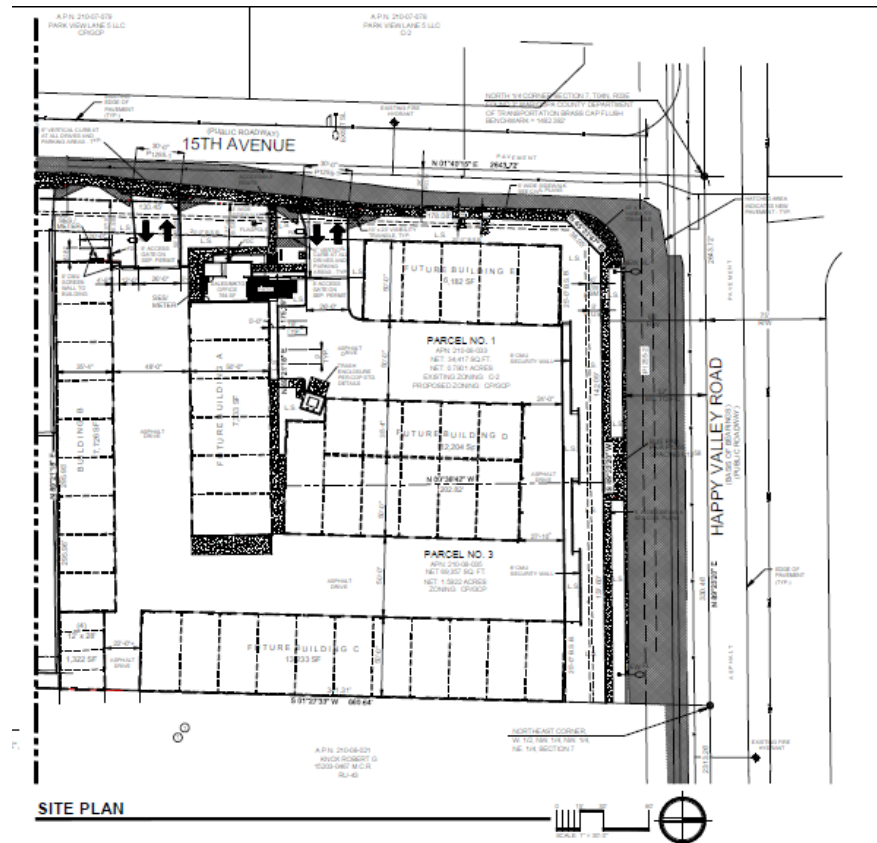
Source: City of Phoenix Planning and Development

SURROUNDING LAND USE:

The property to the north, across Happy Valley Road, is vacant and is zoned S-1. The property to the south and to the east was recently rezoned CP/GCP DVAO through Rezoning Case No Z-38-18 and is under construction. This case also rezoned the subject site to C-2 DVAO. The property to the west, across 15th Avenue is vacant and zoned S-1 DVAO (Approved CP/GCP DVAO).

5. The applicant is proposing a CP/GCP DVAO zoning district, the site plan depicts a automotive warehouse. An office for the development is proposed on the west side of the site.

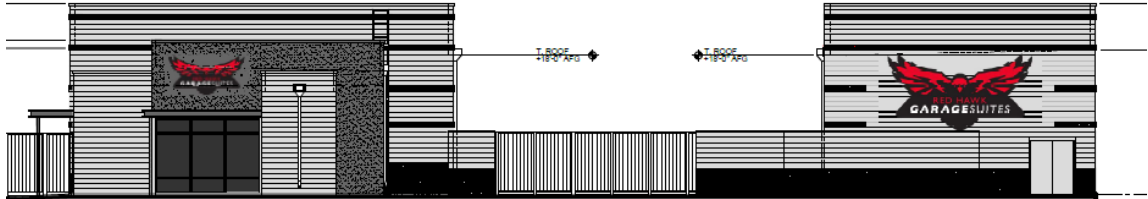
This site ties into the site to the east. The same owner/applicant it expanding their use too this site for additional vehicle storage.



Source: Wenqer & Associates, LLC

6. The Tree & Shade Master Plan has a goal of treating the urban forest as infrastructure to ensure that trees are an integral part of the City's planning and development process. Toward that end, staff stipulations require that sidewalks along Happy Valley Road be detached with a minimum five-foot wide landscaped strip located between the sidewalk and back of curb and include minimum two-inch caliper shade trees planted a minimum of 20 feet on center or equivalent groupings along both sides of the sidewalk. Additionally, staff is requesting that the bus stop pad must be shaded by 50 percent. These are addressed in Stipulation Nos. 1 and 14.
7. As stipulated, the proposed design is consistent with the City Council adopted Guiding Principles for Complete Streets, one tenet of which is to make Phoenix more walkable. The stipulations are intended to provide a safe and inviting pedestrian environment that encourages walkability and thermal comfort by reducing the urban heat island effect. Another tenant is to encourage multi-model forms of transportation by providing bicycle parking. These provisions are addressed in Stipulation No. 1 by providing for detached sidewalks along Happy Valley Road and Stipulation No. 6 requiring bicycle parking.

8. The elevations provide a variation in building materials. Stipulation No. 2 has been recommended to ensure enhanced, high-quality building elevations.



Source: Wenger & Associates, LLC

9. Several additional stipulations have been recommended in order to provide an enhanced streetscape, buffering and screening of the site. Stipulation No. 3 requires that the streetscape setbacks be planted per the C-2 commercial zoning standards. Similarly, Stipulation No. 4 requires that the site meet the C-2 commercial zoning landscape standards within the customer and employee parking areas.

Since the site is adjacent to Happy Valley Road, staff is also recommending that the development adhere to the plant list within the *Sonoran Boulevard Development Standards for Happy Valley Road*, which is typical for rezoning cases in the area to provide a consistent landscape palette. This is addressed in Stipulation No. 5.

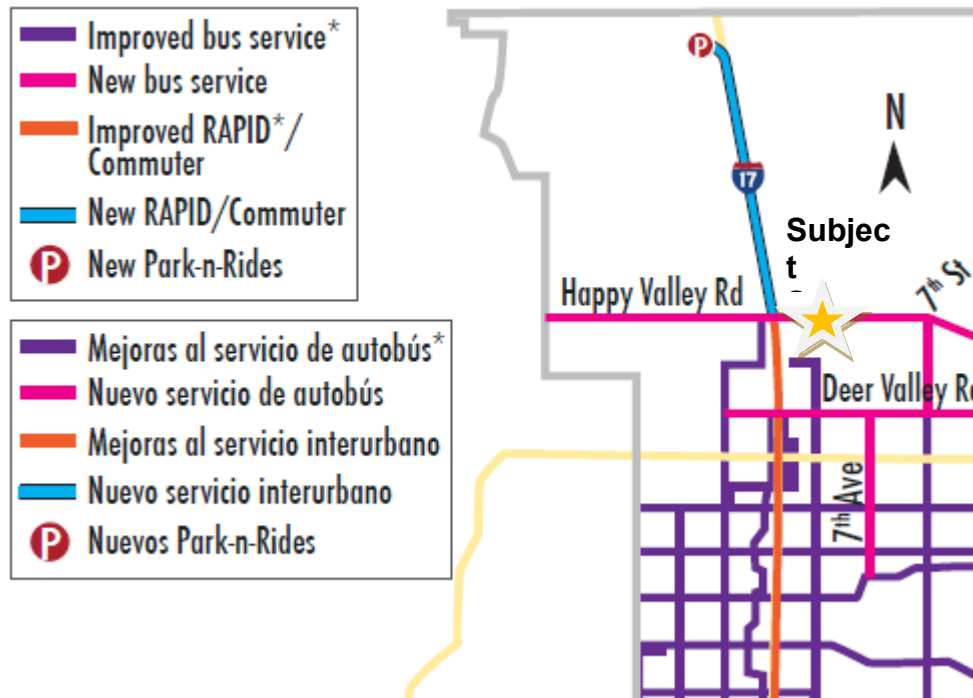
COMMUNITY INPUT SUMMARY

10. At the time the staff report was written, no community input has been received.

INTERDEPARTMENTAL COMMENTS

11. The Water Services Department indicated that the site is surrounded with existing water and sewer mains that can potentially serve the development.
12. The Phoenix Fire Department indicated that they do not anticipate problems with this case and that the site and/or buildings shall comply with the Phoenix Fire Code.
13. The Floodplain Management division of the Public Works Department indicated that this parcel is not in a Special Flood Hazard Area (SFHA), but is located in Shaded Zone X, on panel 1280 L of the Flood Insurance Rate Maps (FIRM) dated January 29, 2015.

14. The Public Transit Department is requesting construction of a bus stop pad along eastbound Happy Valley Road, east of 15th Avenue. Happy Valley Road is identified for new bus service in the Transportation 2050 plan. This is addressed in Stipulation No. 13.



15. The Street Transportation Department is requesting additional right of way dedications and improvements for 15th Avenue and Happy Valley Road. They also noted that all off-site improvements must comply with ADA guidelines, the applicant must submit the Developer Project Information Form for the MAG Transportation Improvement Program and all dedications must shall conform to the dedication identified on the Maricopa Counted Recorded Plat 180123, Book 1471 and Page 48 dated May 23, 2019 for the east half of 15th Avenue and comply with specifications for driveways. These provisions are addressed in Stipulation Nos. 7 through 12.
16. The Aviation Department has determined that the site is located within the Deer Valley Airport traffic pattern airspace and requires a notice be provided to future owners or tenants of the property regarding the distance and operational characteristics of the airport and file FAA form 7460 no hazard determination form. These are addressed in Stipulation Nos. 15 and 16.

OTHER

17. The site has not been identified as being archaeologically sensitive. However, in the event archaeological materials are encountered during construction, all ground disturbing activities must cease within 33-feet of the discovery and the

City of Phoenix Archaeology Office must be notified immediately and allowed time to properly assess the materials. This is addressed in Stipulation No. 17.

18. As part of the Reimagine Phoenix Initiative, the City of Phoenix is committed to increasing the waste diversion rate to 40 percent by 2020 and to better manage its solid waste resources. Section 716 of the Phoenix Zoning Ordinance establishes standards to encourage the provision of recycling containers for multifamily, commercial and mixed-use developments meeting certain criteria. The provision of recycling containers was not addressed in the applicant's submittals.
19. Development and use of the site is subject to all applicable codes and ordinances. Zoning approval does not negate other ordinance requirements. Other formal actions such as, but not limited to, zoning adjustments and abandonment may be required.

Findings

1. The proposed zoning district of CP/GCP is consistent with the Commerce / Business Park designation on the General Plan Land Use Map.
2. The proposed zoning is consistent with several goals and policies of the General Plan and Deer Valley Airport Overlay.
3. The proposed development is compatible with the general land use pattern in the area.

Stipulations

1. All sidewalks along Happy Valley Road shall be detached with a minimum five foot wide landscape strip located between the sidewalk and back of curb and shall include minimum two inch caliper shade trees planted a minimum of 20 feet on center or in equivalent groupings between the sidewalk and back of curb, as approved by the Planning and Development Department.
2. All elevations visible from the street shall contain architectural embellishments and detailing such as textural changes, pilasters, offsets, recesses, variation in window size and location, and/or overhang canopies, as approved by the Planning and Development Department.
3. The development shall utilize the C-2 streetscape landscape standards for planting type, size and quantity along Happy Valley Road and 15th Avenue frontages, as approved by the Planning and Development Department.
4. There shall be a minimum of 10 percent landscaping in the parking lot, as approved by the Planning and Development Department.

5. All landscaping provided shall be from the Plant List provided in the *Sonoran Boulevard Development Standards for Happy Valley Road* adopted by City Council on December 18, 1996, as approved by the Planning and Development Department.
6. A minimum of 1 bicycle parking space shall be provided on site and installed per the requirements of Section 1307.H. of the Phoenix Zoning Ordinance, as approved by the Planning and Development Department.
7. Right-of-way totaling 65 feet with a 10 foot sidewalk easement shall be dedicated for the south half of Happy Valley Road, as approved by the Planning and Development Department.
8. The development shall conform to the dedications identified on the Maricopa County Recorded Plat 180123, Book 1471 and Page 48 dated May 23, 2019 for the east half of 15th Avenue, as approved by the Planning and Development Department.
9. Driveways along Happy Valley Road shall be minimum 30 feet in width and constructed in accordance with City of Phoenix Standard Detail P1255-2. Driveways are to be right-in / right-out only, due to future median islands on Happy Valley Road.
10. A 25 foot by 25 foot right-of-way triangle shall be dedicated at the southeast corner of 15th Avenue and Happy Valley Road, as approved by the Planning and Development Department.
11. The applicant shall complete and submit the Developer Project Information Form for the MAG Transportation Improvement Program to the Street Transportation Department prior to preliminary site plan approval.
12. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
13. Right-of-way shall be dedicated and a transit pad constructed along eastbound Happy Valley Road east of 15th Avenue. The bus stop pad shall be constructed according to City of Phoenix Standard Detail P1260 with a minimum depth of 10 feet. The bus stop pad shall be spaced from the intersection of Happy Valley Road and 15th Avenue according to City of Phoenix Standard Detail P1258, as approved by the Planning and Development Department.
14. Trees shall be placed to provide 50 percent shade coverage to bus stop pad at full maturity, as approved by the Planning and Development Department.

15. The property owner shall record a Notice to Prospective Purchasers of Proximity to Airport in order to disclose the existence, and operational characteristics of Phoenix Deer Valley Airport to future owners or tenants of the property. The form and content of such documents shall be according to the templates and instructions provided which have been reviewed and approved by the City Attorney.
16. The developer must file FAA Form 7460 and provide City FAA's no hazard determination prior to construction permit approval, as per plans approved by the Planning and Development Department.
17. In the event archaeological materials are encountered during construction, the developer shall immediately cease all ground-disturbing activities within a 33-foot radius of the discovery, notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.

Writer

David Simmons

July 1, 2020

Team Leader

Samantha Keating

Exhibits

Sketch Map

Aerial Map

Conceptual Site Plan date stamped April 30, 2020

Conceptual Elevations date stamped April 30, 2020 (2 pages)

MARICOPA COUNTY

S-1
ANX 301
Z-167-04

S-1*
ANX 376
Z-166-06

HAPPY VALLEY RD

13TH AVE

C-2*
Z-122-00

CP/GCP*
Z-91-06

C-2*
Z-38-18

MARICOPA COUNTY

Deer Valley Airport Overlay District (DVAO)

CP/GCP*
ANX 193
ANX 220
ANX 222
ANX 235
ANX 301
Z-23-00
Z-28-00
Z-91-00
Z-122-00

S-1
ANX 375

CP/GCP*
ANX 418
Z-65-08
Z-38-18

S-1
ANX 193
ANX 222
ANX 235
Z-91-00

15TH AVE

16TH AVE

C-2 and/or
CP/GCP
Z-122-00

C-2 and/or CP/GCP
Z-122-00

CP/GCP*
Z-123-14

CP/GCP*
Z-1-17



Miles

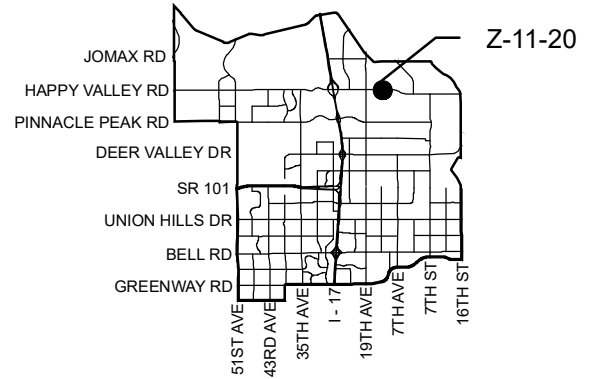
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DEER VALLEY VILLAGE

CITY COUNCIL DISTRICT: 1



City of Phoenix
PLANNING AND DEVELOPMENT DEPARTMENT



APPLICANT'S NAME: Red Hawk Partners, LLC

APPLICATION NO. Z-11-20

DATE: 04/20/2020
REVISION DATES:

GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX.

1.25 Acres

AERIAL PHOTO & QUARTER SEC. NO.
QS 46-26

ZONING MAP
O-8

REQUESTED CHANGE:

FROM: C-2 DVAO (1.25 a.c.)

TO: CP/GCP DVAO (1.25 a.c.)

MULTIPLES PERMITTED

C-2 DVAO

CP/GCP DVAO

CONVENTIONAL OPTION

18

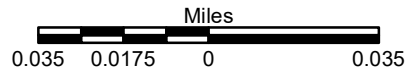
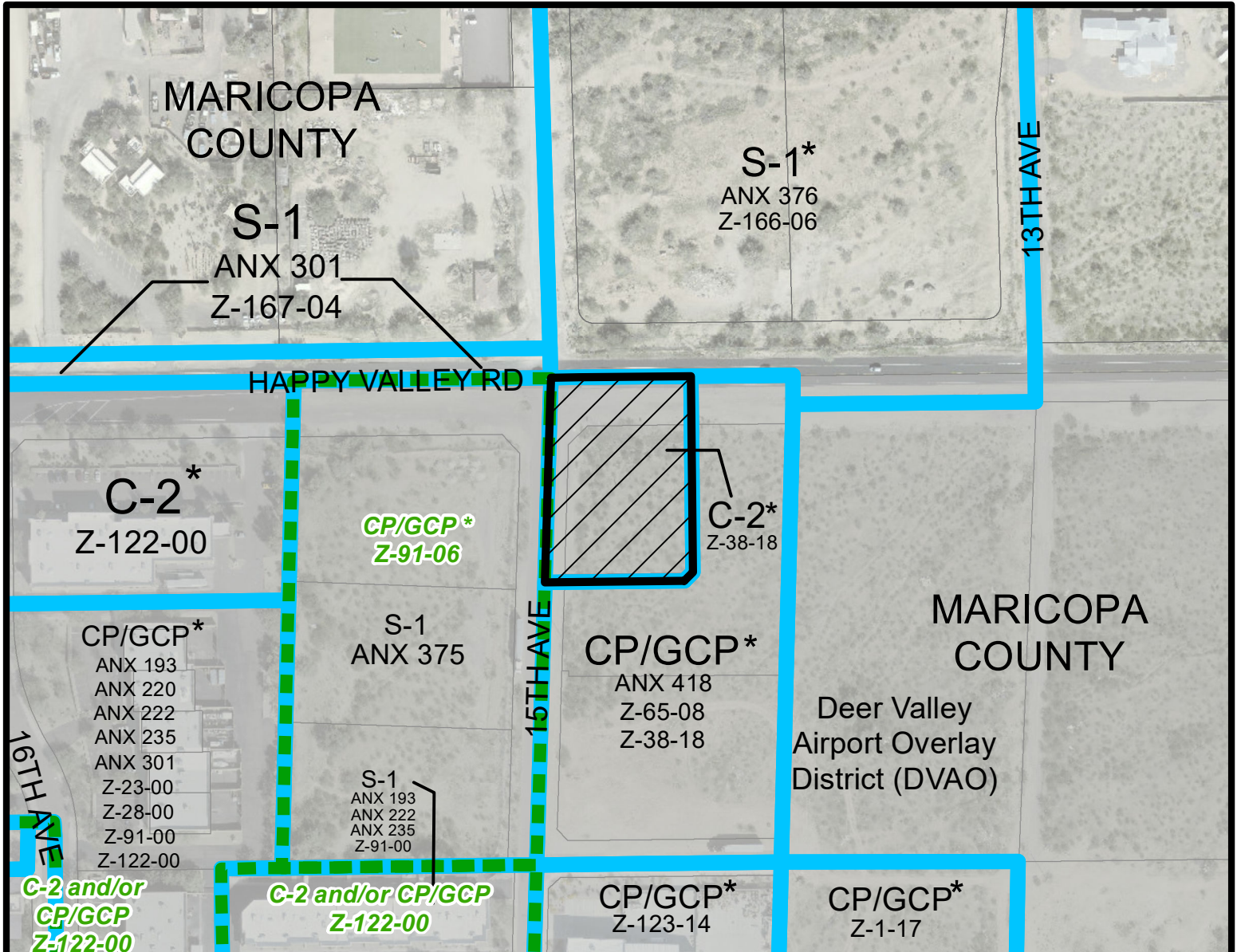
N/A

* UNITS P.R.D. OPTION

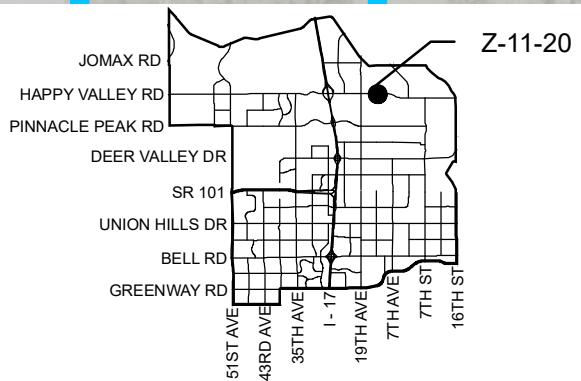
21

N/A

* Maximum Units Allowed with P.R.D. Bonus



DEER VALLEY VILLAGE
CITY COUNCIL DISTRICT: 1

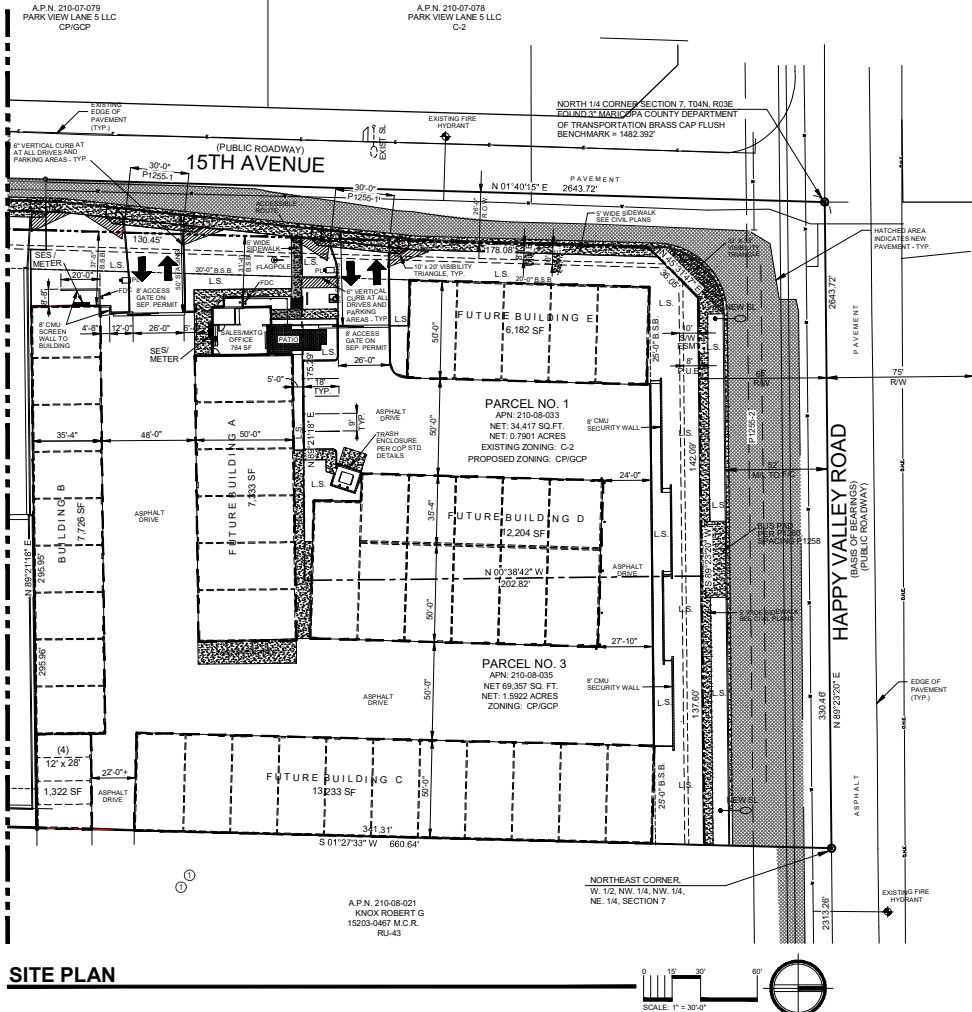


APPLICANT'S NAME: Red Hawk Partners, LLC		REQUESTED CHANGE: FROM: C-2 DVAO (1.25 a.c.) TO: CP/GCP DVAO (1.25 a.c.)	
APPLICATION NO. Z-11-20	DATE: 04/20/2020 REVISION DATES:		
GROSS AREA INCLUDING 1/2 STREET AND ALLEY DEDICATION IS APPROX. 1.25 Acres	AERIAL PHOTO & QUARTER SEC. NO. QS 46-26	ZONING MAP O-8	
MULTIPLES PERMITTED C-2 DVAO CP/GCP DVAO	CONVENTIONAL OPTION 18 N/A	* UNITS P.R.D. OPTION 21 N/A	
* Maximum Units Allowed with P.R.D. Bonus			

ZONING STIPULATIONS

Revised Stipulations Z-38-18

- 1. The development shall be in general conformance with the site plan dated stamped June 7, 2018 for the C-2 portion of the site, except as modified by the following stipulations and as approved by the Planning and Development Department.
2. All sidewalks shall be detached with a minimum five-foot-wide landscaped strip located between the sidewalk and back of curb and shall include a minimum two-inch caliper shade trees planted at a minimum of 20 feet from center of adjacent groupings between the sidewalk and back of curb, as approved by the Planning and Development Department.
3. All elevations of the buildings shall contain architectural embellishments and detailing such as textured chases, pilasters, columns, venetian or window size and location, and/or other overhanging canopies, as approved by the Planning and Development Department.
4. The development shall utilize the C-2 streetscape landscape standards for planting type, size and quantity along the Happy Valley Road and 15th Avenue frontages, as approved by the Planning and Development Department.
5. There shall be minimum of 10% landscaping in the parking lot area, as approved by the Planning and Development Department.
6. All landscaping provided shall be from the Plant List provided in the Sonoran Boulevard Development Standards for Happy Valley Road adopted by City Council on December 18, 1996, as approved by the Planning and Development Department.
7. Right-of-way totaling 65 feet and a 10 foot sidewalk easement shall be dedicated for the south half of Happy Valley Road, as approved by the Planning and Development Department.
8. Right-of-way totaling 15 feet shall be dedicated for the north half of Whispering Wind Drive FALLEN LEAF LANE, as approved by the Planning and Development Department.
9. Right-of-way totaling 33.30 feet AND A 10 FOOT SIDEWALK EASEMENT shall be dedicated for the east half of 15th Avenue for 150,240 feet south of Happy Valley Road monument line. Right-of-way tapering from 33.30 feet to 20 feet WITH A 10 FOOT SIDEWALK EASEMENT shall be dedicated for the west half and 25 feet of right-of-way WITH A 10 FOOT SIDEWALK EASEMENT shall be dedicated for the remainder of the property for the east side of 15th Avenue, as approved by Street Transportation at the time of patent easement waiver, as approved by the Planning and Development Department.
10. A 25-foot by 25-foot-right-of-way triangle shall be dedicated at the southeast corner of 15th Avenue and Happy Valley Road, as approved by the Planning and Development Department.
11. A 15-foot by 15-foot-right-of-way triangle shall be dedicated at the northeast corner of 15th Avenue and Whispering Wind Drive FALLEN LEAF LANE, as approved by the Planning and Development Department.
12. The applicant shall complete and submit the Developer Project Information Form for the MAG Transportation Improvement Program to the Street Transportation Department prior to preliminary site plan approval.
13. The developer shall construct all streets within and adjacent to the development with paving, curb, gutter, sidewalk, curb ramps, streetlights, median islands, landscaping and other incidentals, as per plans approved by the Planning and Development Department. All improvements shall comply with all ADA accessibility standards.
14. Right-of-way shall be dedicated and a transit pad (detail MP 1282) constructed along eastbound Happy Valley Road east of 15th Avenue, as approved by the Planning and Development Department.
15. The property owner shall record a Notice to Prospective Purchasers of Proximity to Airport in order to disclose the existence, and operational characteristics of Phoenix Deer Valley Airport to future owners or tenants of the property. The form and content of such documents shall be according to the templates and instructions provided which have been reviewed and approved by the City Attorney.
16. In the event archaeological materials are encountered during construction, the developer shall immediately notify the City Archaeologist, and allow time for the Archaeology Office to properly assess the materials.



SITE PLAN

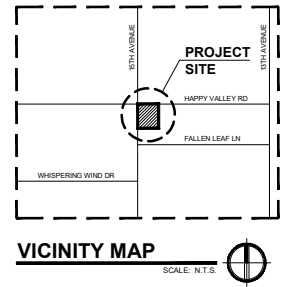
LEGAL DESCRIPTION
PARCELS 1 AND 3 OF FINAL PLAT OF "SEC HAPPY VALLEY ROAD & 15TH AVENUE", MARICOPA COUNTY RECORDER, BOOK 1471, PAGE 48.

PROJECT DATA

APPLICANT: RED HAWK DEVELOPMENT CORP.
PROJECT ADDRESS: 1441 W. HAPPY VALLEY ROAD PHOENIX, ARIZONA 85085
ZONING: CP/C2P
LOT SIZE (GROSS): 134,249 SF (3.0819 AC.)
LOT SIZE (NET): 103,774 SF (2.3823 AC.)
TOTAL AREA UNDER ROOF: 57,897 SF (50%)
ALLOWABLE LOT COVERAGE: 48,764 SF (46.99%)
F.A.R. CALCULATION: ALLOWABLE F.A.R. FOR SITE IS: 0.50
BUILDING AREA: 48,764 SF
LOT AREA: 134,249 SF
PROPOSED F.A.R.: BLDG. AREA / SITE AREA 48,764 / 134,249 = 36.32%

SETBACKS: PERIMETER LOT LINE ON STREET 30'-0"
PERIMETER LOT LINE NOT ON A STREET 20'-0"
INTERIOR LOT LINE ON A STREET 20'-0"
INTERIOR LOT LINE NOT ON A STREET 0'-0"
ALLOWABLE BUILDING HEIGHT: 18'-0" WITHIN 30'-0" OF PERIMETER LOT LINE, 1'-0" INCREASE PER 3'-0" ADDITIONAL SETBACK
ACTUAL BUILDING HEIGHT: 1-STORY
25'-4" MAX. TO TOP OF PARAPET (HAPPY VALLEY RD.)
48.764 SF
24'-8" MAX. TO TOP OF PARAPET (EAST BOUNDARY)
17'-7" AVG. TO TOP OF ROOF (EAST BOUNDARY)
27'-4" MAX. TO TOP OF PARAPET (SOUTH BOUNDARY)
18'-4" AVG. TO TOP OF ROOF (SOUTH BOUNDARY)
27'-4" MAX. TO TOP OF PARAPET (15TH AVE.)
18'-10" AVG. TO TOP OF ROOF (15TH AVE.)

PARKING CALCULATIONS: OFFICE (1/300) = 476/300 = 1.59 ~ 2
PRIVATE GARAGES (1/108 STORAGE UNITS): 02 CARS
TOTAL STANDARD STALLS REQUIRED: 03 CARS
TOTAL STALLS REQUIRED: 01 CARS
TOTAL STANDARD STALLS PROVIDED: 03 CARS
TOTAL H.C. STALLS PROVIDED: 01 CARS
TOTAL STALLS PROVIDED: 04 CARS
LANDSCAPE CALCULATION: PARKING LOT AREA: 36,947 S.F.
10% OF PARKING AREA REQUIRED TO BE LANDSCAPED: 3,694 S.F.
REQUIRED AREA: 3,694 S.F. PROVIDED AREA: 4,320 S.F.
SCOPE: PHASED CONSTRUCTION FOR A PRIVATE VEHICLE STORAGE FACILITY WITH SALES OFFICE. CONSTRUCTION SHALL BE TYPE V-8, FULLY SPRINKLERED.



VICINITY MAP

GENERAL NOTES

- A. DEVELOPMENT AND USE OF THIS SITE WILL CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.
B. THIS PROJECT IS LOCATED IN THE CITY OF PHOENIX WATER SERVICE AREA AND HAS BEEN DESIGNATED AS HAVING AN ASSURED WATER SUPPLY.
C. ALL NEW OR REPLACED UTILITIES WILL BE PLACED UNDERGROUND.
D. STRUCTURES AND LANDSCAPING AT THE INTERSECTION OF PUBLIC STREETS AND PRIVATE ACCESSWAYS WITHIN A TRIANGLE MEASURING 33' ALONG THE PUBLIC STREET AND 15' ALONG THE PRIVATE ACCESSWAY RIGHT-OF-WAY LINES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'-0".
E. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 10'-0" FROM THE PROPERTY LINES AND 2'-0" ALONG THE PROPERTY LINE ON EACH SIDE OF THE DRIVEWAY ENTRANCES WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'-0".
F. STRUCTURES AND LANDSCAPING WITHIN A 3' X 3' X 3' TRIANGLE PRIVATE ACCESSWAY INTERSECTION AND AT FOURWAY PRIVATE ACCESSWAY INTERSECTIONS CONTROLLED WITH STOP SIGNS WILL BE MAINTAINED AT A MINIMUM HEIGHT OF 3'.
G. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 33' X 33' ALONG THE PROPERTY LINES WILL BE MAINTAINED AT A MAXIMUM OF 3'.
H. STRUCTURES AND LANDSCAPING WITHIN A TRIANGLE MEASURING 33' X 33' ALONG THE RIGHT-OF-WAY LINES AT UNCONTROLLED FOURWAY INTERSECTION OF PRIVATE ACCESSWAYS WITH PRIVATE ACCESSWAYS WILL BE MAINTAINED AT A MAXIMUM HEIGHT OF 3'.
I. ANY LIGHTING WILL BE PLACED SO AS TO DIRECT LIGHT AWAY FROM ADJACENT RESIDENTIAL DISTRICTS AND WILL NOT EXCEED ONE FOOT CANDLE AT ANY LEVEL EXCEEDING THE GENERAL LEVEL OF PUBLIC GOODS OR VIBRATION CAUSED BY USES IN THE AREA OUTSIDE OF THE SITE.
J. OWNERS OF PROPERTY ADJACENT TO THE PUBLIC RIGHTS OF WAY WILL HAVE THE RESPONSIBILITY FOR MAINTAINING ALL LANDSCAPING LOCATED WITHIN THE RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROVED APPROVALS.
K. THE EXISTING STRUCTURES MUST COMPLY WITH THE CHANGE OF OCCUPANCY PROVISIONS IN THE PHOENIX CONSTRUCTION CODE PRIOR TO USE.
L. AFTER FINAL APPROVAL, THE PROJECT WILL BE SUBJECT TO ZONING COMPLIANCE DURING CONSTRUCTION AND PRIOR TO OCCUPANCY. THE APPLICANT IS TO NOTIFY PHOENIX TO OCCUPANCY TO ARRANGE FOR INSPECTIONS. CALL 602-262-6861 AND REQUEST A DESIGN REVIEW INSPECTION.
M. ALL ROOFTOP EQUIPMENT AND SATELLITE DISHES SHALL BE SCREENED TO THE HEIGHT OF THE LOWEST EQUIPMENT.
N. ALL SERVICE AREAS SHALL BE SCREENED TO CONCEAL TRASH CONTAINERS, LOADING DOCKS, TRANSFORMERS, BACKFLOW PREVENTERS, AND OTHER MECHANICAL OR ELECTRICAL EQUIPMENT FROM EYE LEVEL ADJACENT TO ALL PUBLIC STREETS.
O. BARBED WOOD OR CONCRETE WIRE (OR SIMILAR) SHALL NOT BE USED ON THIS SITE WHERE VISIBLE FROM PUBLIC STREETS OR ADJACENT RESIDENTIAL AREAS.
P. ALL SIGNAGE REQUIRES A SEPARATE REVIEW AND PERMIT.
Q. SMOKE GAS AND ODOUR EMISSIONS SHALL COMPLY WITH REGULATION II OF THE MARICOPA COUNTY AIR POLLUTION RULES AND REGULATIONS.
R. THE DISPOSAL OF ALL WASTE MATERIALS SHALL COMPLY WITH TITLE 9, CHAPTER 9, ARTICLES 18 AND 4 OF THE HAZARDOUS WASTE REGULATIONS AS ADOPTED BY THE ARIZONA HEALTH DEPARTMENT.
S. THE AVERAGE NOISE LEVEL, MEASURED AT THE PROPERTY LINE, SHALL NOT EXCEED 58 DB(A) WHEN MEASURED AT A WEIGHTED SOUND LEVEL METER AND ACCORDING TO THE PROCEDURES OF THE ENVIRONMENTAL PROTECTION AGENCY.
T. EXPLOSION OR HAZARDOUS PROCESSES (IF APPLICABLE) CERTIFICATION SHALL BE PROVIDED BY THE PHOENIX FIRE PREVENTION BUREAU THAT ALL MANUFACTURING, STORAGE AND WASTE PROCESSES ON THE SITE SHALL MEET SAFETY AND ENVIRONMENTAL STANDARDS AS ADMINISTERED BY THE BUREAU.
U. THE SANITARY SEWER COLLECTION SYSTEM WITHIN THIS PROJECT WILL BE A PRIVATE SYSTEM OWNED AND MAINTAINED BY THE PROPERTY OWNERS OR ASSOCIATION. THE SYSTEM WILL BE REVIEWED AND INSPECTED BY THE BUILDING STORAGE AND WASTE PROCESSES ON THE SITE SHALL MEET SAFETY AND ENVIRONMENTAL STANDARDS AS ADMINISTERED BY THE BUREAU.
V. ALL ON-SITE WATER LINES SHALL BE PRIVATE PLUMBING LINES SUBJECT TO THE PHOENIX PLUMBING CODE.

CITY OF PHOENIX

APR 30 2020
Planning & Development Department

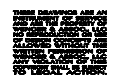


WINGER & ASSOCIATES, LLC ARCHITECTURE PLANNING & DEVELOPMENT



Table with 2 columns: Description, Status. Includes items like 'REVISIONS', 'APPROVED', 'CHECKED', 'DATE'.

1441 WEST HAPPY VALLEY ROAD PHOENIX, ARIZONA PRELIMINARY SITE PLAN



JOB NO: RHGS

DRAWN: CAD
CHECKED: GSW
DATE: 2.17.2020
SCALE: AS SHOWN
SHEET:

AS-1.0
1 OF SHEETS



WENGER & ASSOCIATES, LLC
ARCHITECTURE PLANNING & DEVELOPMENT

16435 N. SCOTTSDALE RD, SUITE 290
SCOTTSDALE, ARIZONA 85254
OFF: (602) 977-1118 FAX: (602) 977-1118
WEB: WWW.WENGERASSOC.COM

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**PRELIMINARY
NOT FOR
CONSTRUCTION**

A NEW AUTOMOTIVE DEVELOPMENT BY



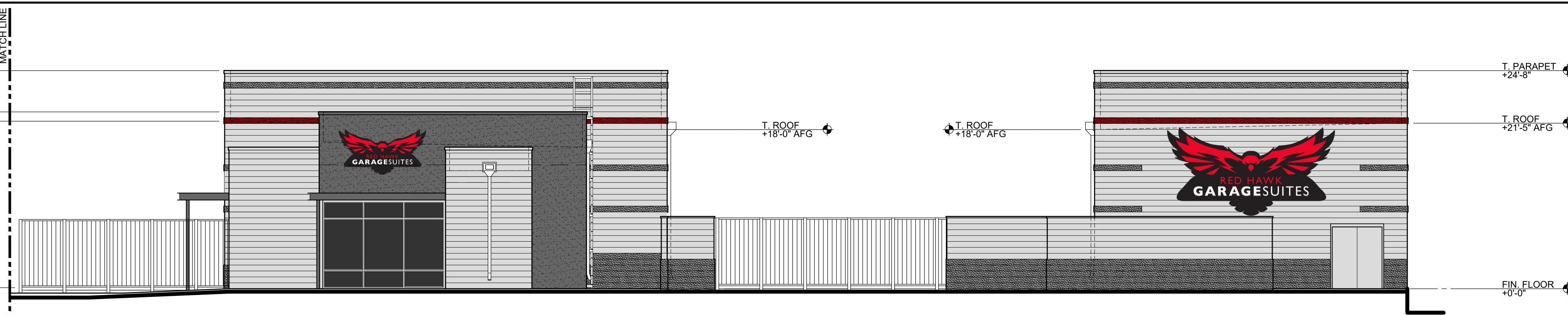
1441 WEST HAPPY VALLEY ROAD
PHOENIX, ARIZONA 85085
A.P.N. 210-08-026

EXTERIOR ELEVATION NOTES

- SEE CIVIL AND LANDSCAPE SITE PLANS FOR ALL SITE WALL DIMENSIONS AND SPECIFICATIONS.
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- NOT USED.

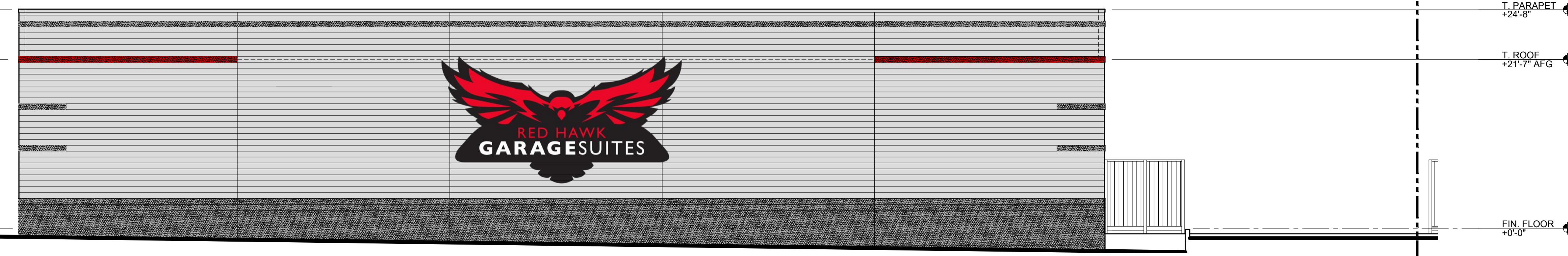
MATERIAL/COLOR SCHEDULE

STUCCO/EIFS	
EF-1:	EXTERIOR INSULATION FINISH SYSTEM
MFG.:	DRYVIT (WEATHERLASTIC SMOOTH)
COLOR:	GRANITE GRAY #634A
CONCRETE MASONRY	
CMU-1:	8X8X16, SMOOTH-FACE
MFG.:	SUPERLITE
COLOR:	GREY #4303
CMU-2:	8X8X16, SPLIT-FACE
MFG.:	SUPERLITE
COLOR:	GREY #4106
WALL PANELS	
WP-1:	RIBBED PRE-FINISHED PANELS AND CAP
MFG.:	MBCI - MASTERLINE (24 GA.)
COLOR:	SIGNATURE 300, SLATE GRAY
ALUMINUM STOREFRONT	
SF-1:	ALUMINUM DOOR AND WINDOW FRAMES
MFG.:	ARCADIA, INC
COLOR:	CLEAR ANODIZED ALUMINUM FRAMES
GLAZING TYPE:	1" INSULATED GLAZING
GLAZING COLOR:	DARK GREY TINT
PAINT	
PT-1:	PAINT TO MATCH GREY #4303
PT-2:	PAINT TO MATCH GRANITE GRAY #634A
PT-3:	PAINT TO MATCH RED LOGO (PMS 185)
OVERHEAD DOOR	
OD-1:	PRE-FINISHED OVERHEAD DOORS
MFG.:	WAYNE DALTON
COLOR:	CLEAR ANODIZED ALUMINUM FRAMES



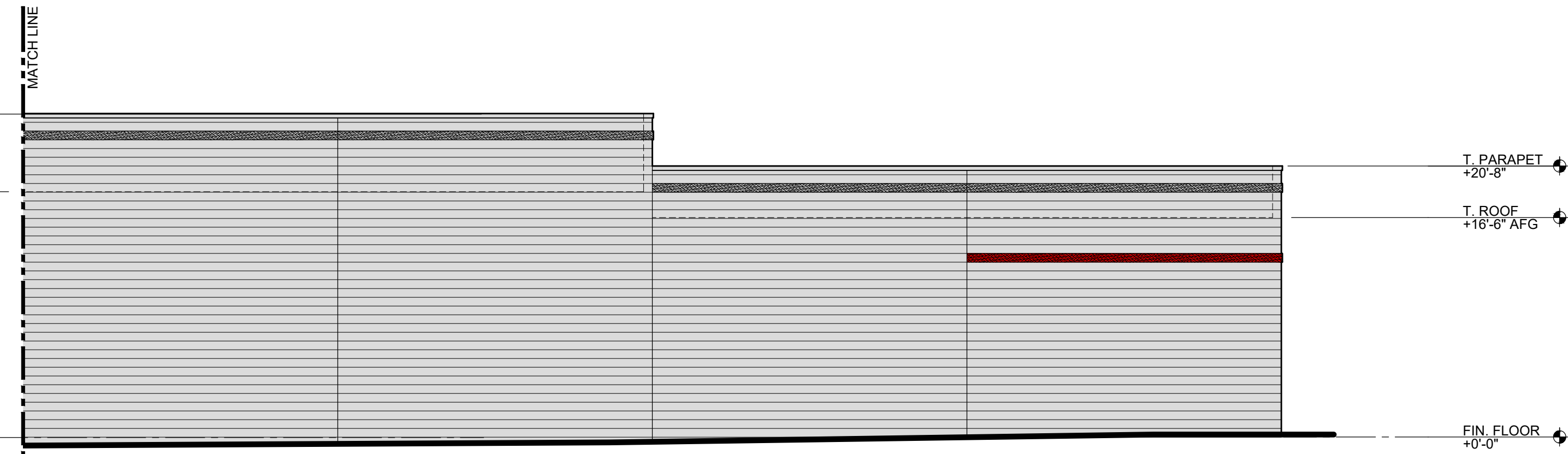
EXTERIOR ELEVATION 'D' (WEST)

SCALE: 1/8" = 1'-0"



EXTERIOR ELEVATION 'D' (WEST)

SCALE: 1/8" = 1'-0"



EXTERIOR ELEVATION 'C' (SOUTH)

SCALE: 1/8" = 1'-0"



EXTERIOR ELEVATION 'C' (SOUTH)

SCALE: 1/8" = 1'-0"

CITY OF PHOENIX

APR 30 2020

Planning & Development
Department

REVISIONS

NO.	DATE
△	-
△	-
△	-
△	-

PROJECT NO: WA1816080
DRAWN BY: RR
CHECKED BY: RR
DATE: -
SCALE: AS NOTED

SHEET TITLE:

EXTERIOR ELEVATIONS

A-7.1

SHEET - OF -



WENGER & ASSOCIATES, LLC
ARCHITECTURE PLANNING & DEVELOPMENT

16435 N. SCOTTSDALE RD, SUITE 290
SCOTTSDALE, ARIZONA 85254
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A NEW AUTOMOTIVE DEVELOPMENT BY



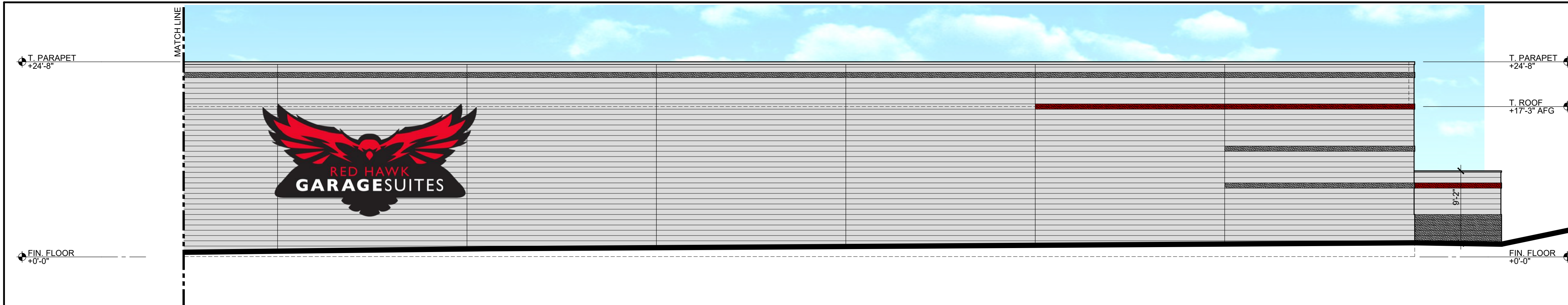
1441 WEST HAPPY VALLEY ROAD
PHOENIX, ARIZONA 85085
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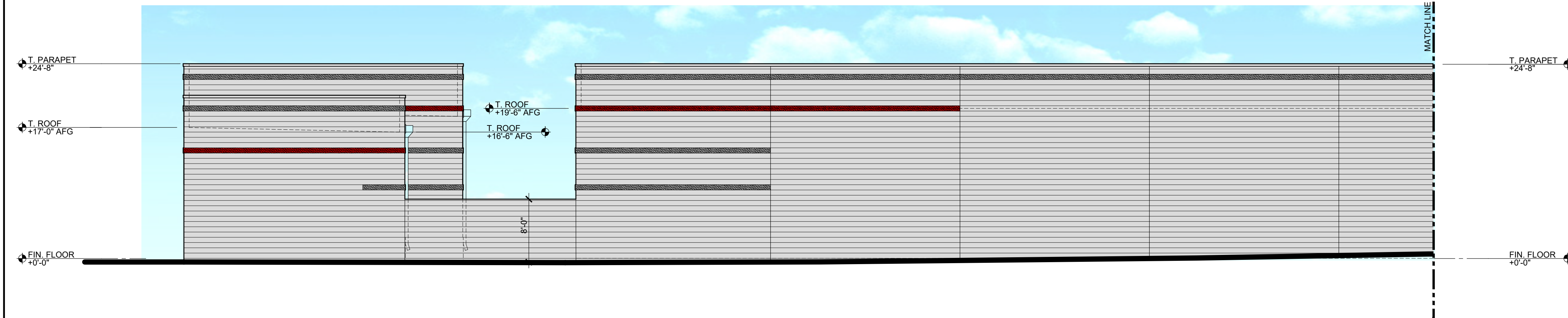
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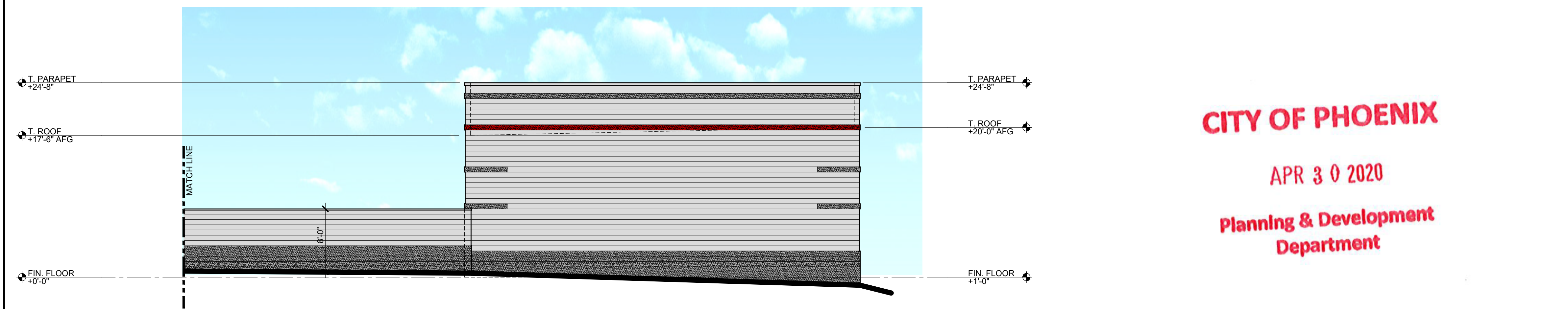
EXTERIOR ELEVATION 'B' (EAST)

SCALE: 1/8" = 1'-0"



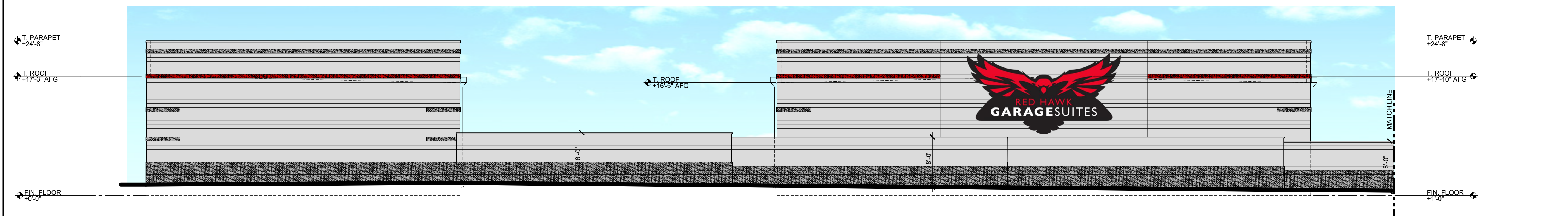
EXTERIOR ELEVATION 'B' (EAST)

SCALE: 1/8" = 1'-0"



EXTERIOR ELEVATION 'A' (NORTH)

SCALE: 1/8" = 1'-0"



EXTERIOR ELEVATION 'A' (NORTH)

SCALE: 1/8" = 1'-0"

CITY OF PHOENIX

APR 30 2020

Planning & Development
Department

REVISIONS

NO.	DATE	DESCRIPTION
△	-	-
△	-	-
△	-	-
△	-	-
△	-	-

PROJECT NO: WA1816080

DRAWN BY: RR

CHECKED BY: RR

DATE: -

SCALE: AS NOTED

SHEET TITLE:

EXTERIOR ELEVATIONS

A-7.0

SHEET - OF -