



City of Phoenix
PLANNING & DEVELOPMENT DEPARTMENT

To: Departments Concerned **Date:** January 16, 2024
From: Joshua Bednarek
Planning & Development Department Director

Subject: P.H.O. APPLICATION NO. PHO-2-24--Z-289-D-84-6 – Notice of Pending Actions by the Planning Hearing Officer

1. Your attention is called to the fact that the **Planning Hearing Officer** will consider the following case at a public hearing on **February 21, 2024**.
2. Information about this case is available for review at the Zoning Counter in the Planning and Development Department on the 2nd Floor of Phoenix City Hall, telephone 602-262-7131, Option 6.
3. Staff, please indicate your comments and respond electronically to pdd.pho@phoenix.gov or you may provide hard copies at the Zoning Counter in the Planning and Development Department on the second floor of Phoenix City Hall by **January 23, 2024**.

DISTRIBUTION

Mayor's Office (Tony Montola), 11th Floor
City Council (Stephanie Bracken), 11th Floor
Aviation (Jordan D. Feld)
CED (Michelle Pierson), 20th Floor
Fire Prevention (Joel Asirsan), 2nd Floor
Neighborhood Services (Gregory Gonzales, Lisa Huggins), 4th Floor
Parks & Recreation (Todd Shackelford), 16th Floor
Public Transit (Michael Pierce)
Street Transportation Department (Maja Brkovic, Josh Rogers, Alan Hilty, Chris Kowalsky), 5th Floor
Street Transportation - Ped. Safety Coordinator (Kurt Miyamoto), 5th Floor
Street Transportation - Floodplain Management (Tina Jensen, Priscilla Motola, Rudy Rangel), 5th Floor
Water Services (Don Reynolds, Victor Romo), 8th Floor
Planning and Development (Joshua Bednarek, Tricia Gomes), 3rd Floor
Planning and Development/Information Services (Ben Ernyei, Andrew Wickhorst), 4th Floor
Planning and Development/Historic Preservation Office (Kevin Weight), 3rd Floor
Planning Hearing Officer (Byron Easton, Teresa Garcia), 2nd Floor
Village Planner (Matteo Moric, Ahwatukee Foothills)
Village Planning Committee Chair (Andrew Gasparro, Ahwatukee Foothills Village)



City of Phoenix

PLANNING & DEVELOPMENT DEPARTMENT

APPLICATION FOR PLANNING HEARING OFFICER ACTION

APPLICATION NO: PHO-2-24--Z-289-D-84-6

Council District: 6

Request For: Stipulation Modification

Reason for Request: Request to modify Hillside Stipulation 7 regarding allowed grading for single-family detached homes.

Contact Information

Name	Relationship Type	Address	Phone	Fax	Email
Edward Jones_Contact	Applicant	205 South Wilson Street, Tempe, AZ 85281			eddie@jonesstudioinc.com
Edward Jones_Contact	Representative	205 South Wilson Street, Tempe, AZ 85281			eddie@jonesstudioinc.com
Tommy and Jenna Bailey	Owner	4615 East Monte Way, Phoenix, AZ 85044			

Property Location: Approximately 170 feet north of the northwest corner of 19th Place and Desert Willow Drive (14004 South 19th Place)

Acreage: 1.94

Geographic Information

Zoning Map	APN	Quarter Section
B9	301-75-911	Q09-31
Village: Ahwatukee Foothills		

An applicant may receive a clarification from the city of its interpretation or application of a statute, ordinance, code or authorized substantive policy statement. To request clarification or to obtain further information on the application process and applicable review time frames, please call 602-262-7131 (option 6), email zoning@phoenix.gov or visit our website at <https://www.phoenix.gov/pdd/licensing-time-frames>

A Filing Fee had been paid to the City Treasurer to cover the cost of processing this application. The fee will be retained to cover the cost whether or not the request is granted

I declare that all information submitted is true and correct to the best of my knowledge and belief. I acknowledge that any error in my application may be cause for changing its normal scheduling.

Signature: _____ DATE: _____

Fee Information

Fee	Fee Waived	Fee Date	Purpose
\$1,080.00	\$0.00	01/03/24	PHO (1-2 stipulations)

Rezoning case number containing current stipulation: Z-289-84 with proposed site specific modification:

That all developments providing single-family detached units shall submit individual grading and drainage plans prior to the issuance of building permits and shall be accompanied with a set of building plans. ~~Except for lot 3, 39, 63, and 64, Lot 22, Foothills Parcel 8, 14004 S. 19th Place, Phoenix, AZ 85048~~ ~~no lot~~ shall ~~not~~ grade more than 20 percent of the net lot area, or ~~6,000~~ 12,000 square feet, whichever is less, exclusive of those areas under structural roof regardless of the overall ~~10~~ 20 percent grading allowed, an the development unit or portion thereof. Lot 39 within Parcel 8C (1841 East Rocky Slope Drive) shall be allowed an additional 600 square feet of grading with revegetation on the disturbed area as shown in the site plan date stamped December 1, 2004. Lot 63 shall be developed 100% within the limits of the building envelope as per site plan dated August 3, 2000. Lot 64 shall be developed within the limits of the site plan dated March 29,2000. The gradable area for Lot 3 may be increased to 8000 square feet. In addition, no tennis/game courts are to be provided on said hillside lots.

Zoning Modification Rational

Having invested over \$70,000 in architectural and consultant fees, Mr. and Mrs. Bailey were ready to submit their preliminary Hillside Review package which was in compliance with current published Hillside grading rules.

Given the fact most of the Bailey's surrounding neighbors had, over the past few decades, exceeded their recorded allowable grading disturbances, the City of Phoenix Planning Department was triggered to spend hours researching the history of zoning stipulations in the Ahwatukee Foothills Planned Development. I am told there were many conflicting variances with little to no explanations.

As a result, Z-289-84 was declared the only relevant zoning stipulation, although it was inconsistent with current allowable hillside disturbance square footage requirements. Hence, the reason for this modification request to resolve the out of date stipulation and allow the City to move forward with the Bailey's Hillside review.



City of Phoenix

PLANNING DEPARTMENT

January 14, 2005

Mark Worischeck
2106 E Goldenrod
Phoenix, AZ 85048

Dear Applicant:

RE: Z-289-D-84-6 -Approximately 530 feet east of South 18th Street at the end of East Rocky Slope Drive (1841 East Rocky Slope Drive)

Please be advised that the Phoenix City Council, in accordance with the provisions of Section 506.B.1 of the Zoning Ordinance, has on January 12, 2005, concurred with the recommendation of the Planning Hearing Officer and has ratified Z-289-D-84-6 for modification of hillside stipulation 7 regarding individual grading and drainage for Lot 39 within Parcel 8C of the Foothills PCD within Tapestry Canyon.

STIPULATIONS

1. That the total project development shall not exceed that permitted by the CAP water allocation except as such development may be supported by alternative water sources.
2. That the master developer provide, through each site plan or subdivision submission to the Development Coordination office a status update of water commitments and water available to support future developments,
3. That the Intensity Schedule be amended to limit C-2 and industrial Park development units to one story in height and C-O development units to two stories in height with discretion given to the Development Coordination Office to permit additional height. The Phasing Schedule shall also reflect the square footage allowed on each commercial development unit so as not to exceed a FAR of 0.2.
4. That any major development within the commercial zoning (office, hotel, etc.) which may be permitted in a more restrictive zoning district will seek such rezoning prior to site plan approval by the Development Coordination Office.
5. That acceptable areas devoted to public use such as park and school sites be designated in locations approved by the responsible department. Other areas such as police and fire station sites shall be dedicated in locations approved by the responsible department. In the event that such sites are dedicated, they shall be reserved for one year from the date of approval cent site plan or subdivision development.

6. That an overall landscaping plan, reflecting the developer's theme for Pecos Road, Williams Field Road, the loop roadway, major entries to the PCC and public areas be submitted and approved by the Development Coordination Office. Plant materials used in these landscaped areas should be drought resistant and promote water conservation.
7. That prior to issuance of any building permit for individual buildings within the project, a. master pedestrian/bike circulation plan shall be submitted and approved by the City's Parks, Recreation and Library Department and the Planning Department. All individual projects within the development shall be required to make accommodations necessary to implement this plan.
8. That the recycling plants, water retention areas, and water tanks be designed and treated in a fashion that will blend with the surrounding environment and be architecturally sensitive to adjacent land use, as approved by the Development Coordination Office.
9. That a lighting plan for the area be submitted for review and approval by the Development Coordination office and establish lighting standards which minimize: atmospheric light pollution. Such standards are to include street lighting for roads in hillside areas and outdoor lighting for the entire project.
10. That street right-of-way be dedicated in accordance with the Master Street plan to be approved by the Traffic Engineering and Planning Departments. A two foot right-of-way for Pecos Road is to be dedicated for its entire length within one year of final City Council rezoning approval of the PCD.
11. That the two entry points to the PCD from the South Mountain Park Scenic Drive be dedicated and improved as approved by the Parks, Traffic Engineering, and Planning Departments.
12. That improvements of all roadways within the. PCD will be the responsibility of the developer or his successors in accordance with the phasing schedule agreed to by the City and contained in the PCD's Legal Agreement.
13. That any drainage ways to be dedicated to the City are to be improved and maintained by the developer for a three-year period prior to acceptance by the City.

Hillside Stipulations Z-289-D-84

1. That a slope analysis be submitted on each development unit or portion thereof, prior to subdivision or site plan approval to determine the allowed hillside density. All areas that have been previously scarred, both restored and unrestored shall be defined on the slope analysis.

2. That waivers to exceed the hillside density limitations shall be considered only within areas below the 25 percent slope line and/or have been previously scarred, and meet the conditions of the Hillside Ordinance under which the City Council may grant waivers.
3. The hillside portion utilized in each development, excluding those designated open space areas will be restored to the extent practicable by the application of such processes as chemical color treating (e.g. ironing); revegetation (e.g. desert mulch) or regarding or combination thereof, especially in the upper slope areas. Any other process proposed must be approved by the Development Coordination Office.
4. That no development occur within the PCD above the 1,600-foot elevation or the 25 percent slope line, except for lots 1 to 55, and pads 1 to 23, 25, 26, 34, 36, and 37 with Development Unit 8 as designated on Exhibit A or areas below the 1,600-foot contour elevation where extensive scarring has occurred and as approved by the Development Coordination Office. Provided, however, if developer demonstrates that additional lots (not to exceed 9) can be developed which will generally not be visible from adjacent properties, developer is not precluded by this stipulation from developing these additional lots. Appropriate agreements shall be executed to preserve open space as determined by the City's Law Department.
5. That approval of hillside development within Development Unit 8 be conditioned upon the provisions of a roadway that assures accessibility for emergency and service vehicles and is designed in a manner that emphasizes aesthetics and safety.
6. That roadways within the hillside areas are to be designed to minimize cut/fill slopes and shall include retained slopes with native rock facing, where feasible, or fill slopes or existing roads which will be used are to be chemically color treated and/or landscaped. New cuts shall be included in the 10 percent allowable grading of each development unit. The intent of this stipulation is to minimize the visual impact of roadways, particularly the access from west within Development Unit 8.
7. That all developments providing single-family detached units shall submit individual grading and drainage plans prior to the issuance of building permits and shall be accompanied with a set of building plans. Except for lot 3, 39, 63 and 64, no lot shall grade more than 20 percent of the net lot area, or 6,000 square feet, whichever is less, exclusive of those areas under structural roof, regardless of the overall 10 percent grading allowed on the development unit or portion thereof. Lot 39 within Parcel 8C (1841 East Rocky Slope Drive) shall be allowed an additional 600 square feet of grading with revegetation of the disturbed area as shown in the site plan date stamped December 1, 2004. Lot 63 shall be developed 100% within the limits of the building envelope as per site plan dated August 3, 2000. Lot 64 shall be developed within the limits of the site plan dated March 29, 2000. The gradable area for Lot 3 may be increased to

Mod

8000 square feet. In addition, no tennis/game courts are to be provided on said hillside lots.

8. That residences within Development Unit 8 shall contain no exterior lighting on either the individual lots or roadways leading to the lots that exceed 3 feet in height.
9. That commercial and multi-family residential developments within hillside areas be designed in a manner sensitive to the native Arizona environment and shall include compatible architectural treatment design and landscaping. Skylining of structures is to be avoided except where hilltops have been leveled and the development will help restore a "natural" character to the slopes.

The rezoning change will not become effective until the right-of-way dedications have been made, if necessary, and a Supplementary Zoning Map has been adopted.

Development and use of the site is subject to compliance with all applicable codes and ordinances.

Sincerely,



Donna Stevens
Planner III

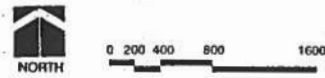
- C: Kelly Walker (Sent electronically)
Shawn Stevens (Sent electronically)
Jay Neville (Sent electronically)
Tricia Gomes
Dave Barrier, DSD/Building Safety (Sent elec)
E.J. Hyncik, Public Transit(Sent elec)
Tom Sedlmeier (Sent Elec)
Case File
Book
Robert Long, 427 W 5th Street, Mesa, AZ, 85201

APPROVED
GENERAL DEVELOPMENT PLAN

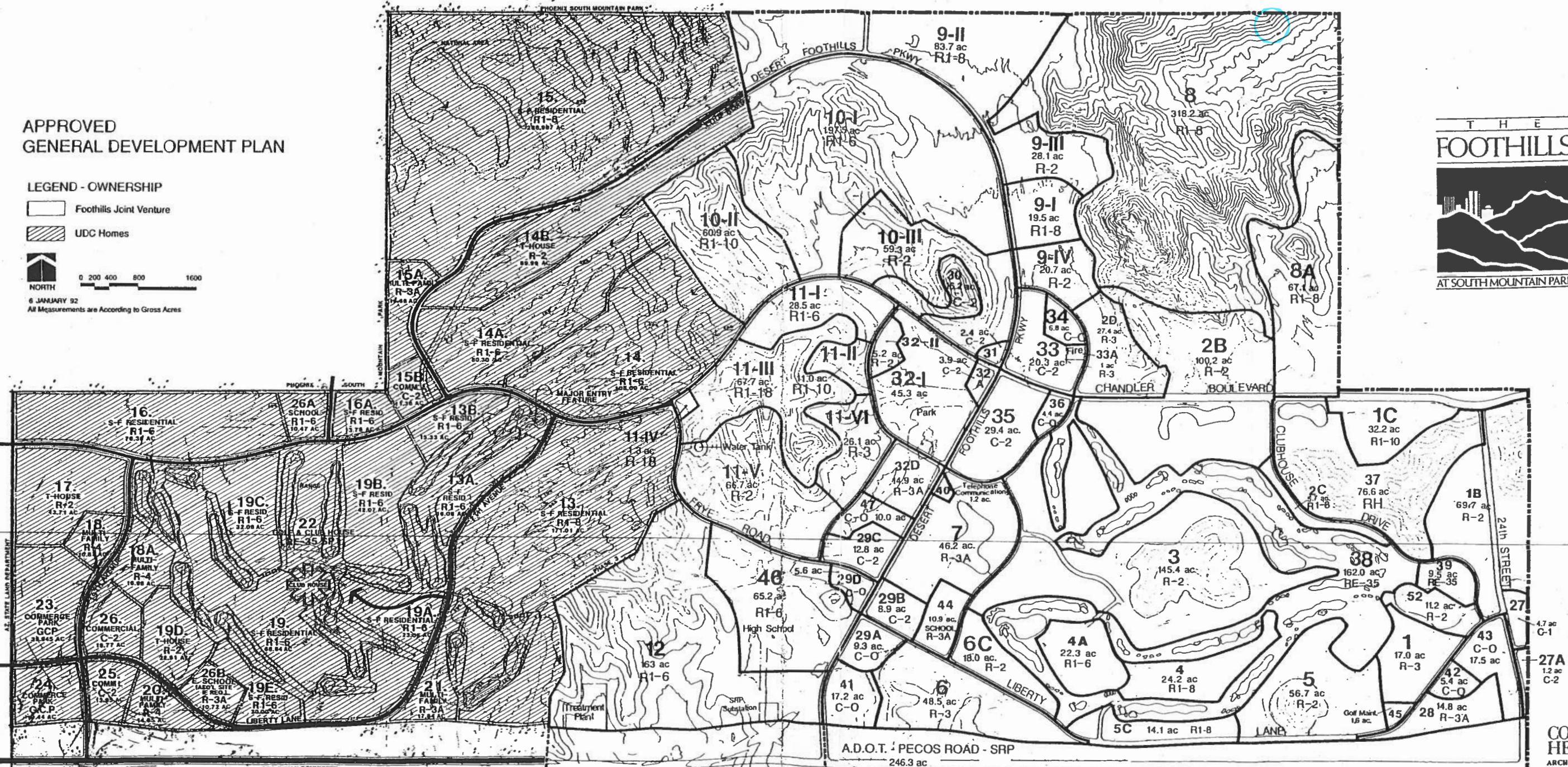
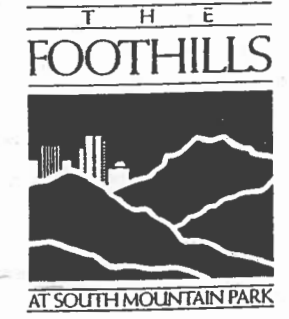
LEGEND - OWNERSHIP

 Foothills Joint Venture

 UDC Homes

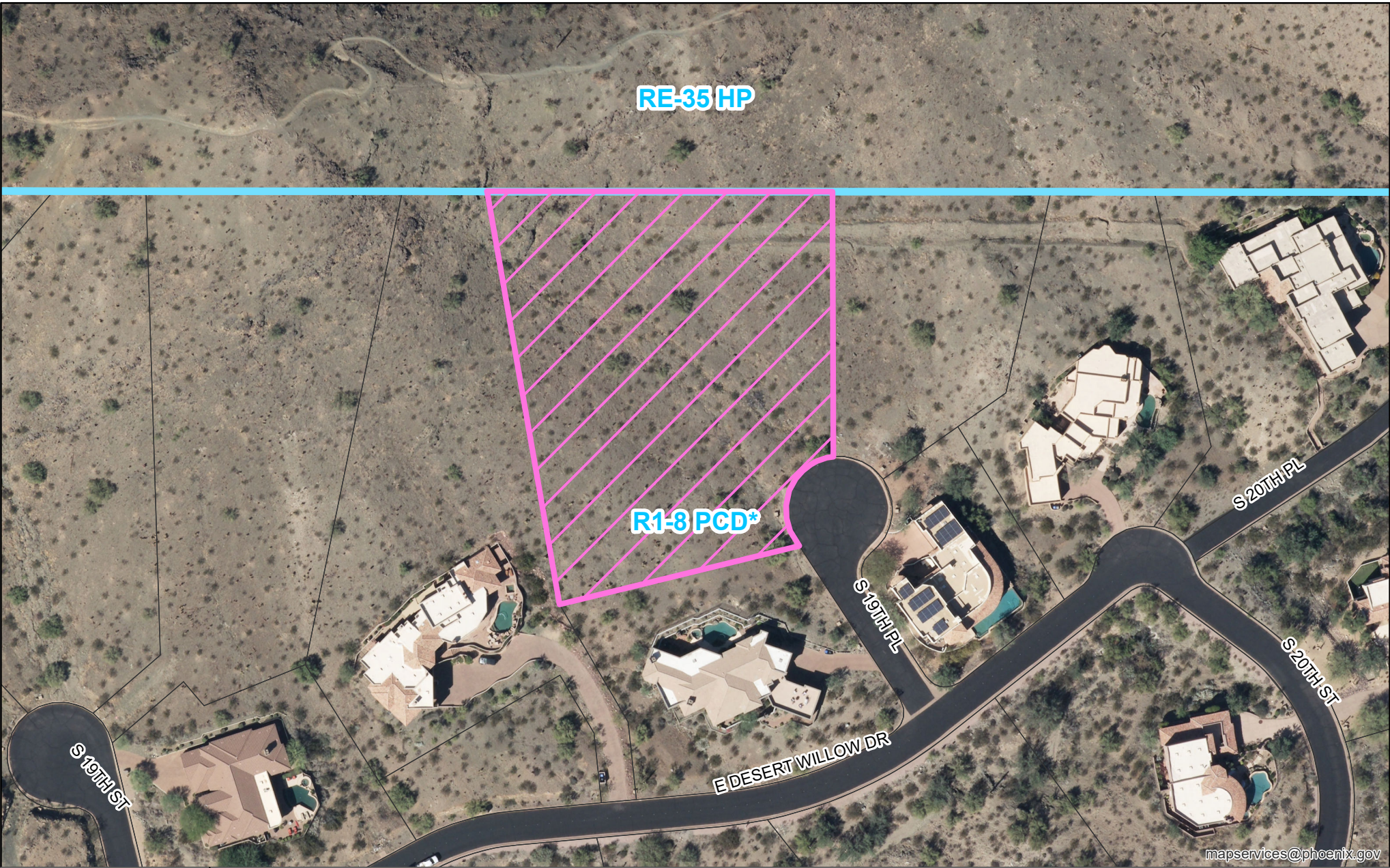


6 JANUARY 92
All Measurements are According to Gross Acres



CORNOYER
HEDRICK
ARCHITECTS & PLANNERS

NOTE: PURSUANT TO CITY COUNCIL APPROVAL OF ZONING CASE NO. 6-89-8, PARCEL 27 AND 27A ARE REMOVED FROM THE FOOTHILLS PCD. 1-10-92



RE-35 HP

R1-8 PCD*

S 19th St

S 19th Pl

E DESERT WILLOW DR

S 20th Pl

S 20th St

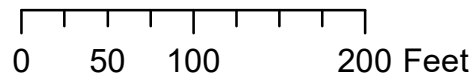
mapservices@phoenix.gov

PHO-2-24--Z-289-D-84-6

Property Location: Approximately 170 feet north of the northwest corner of 19th Place and Desert Willow Drive (14004 South 19th Place)

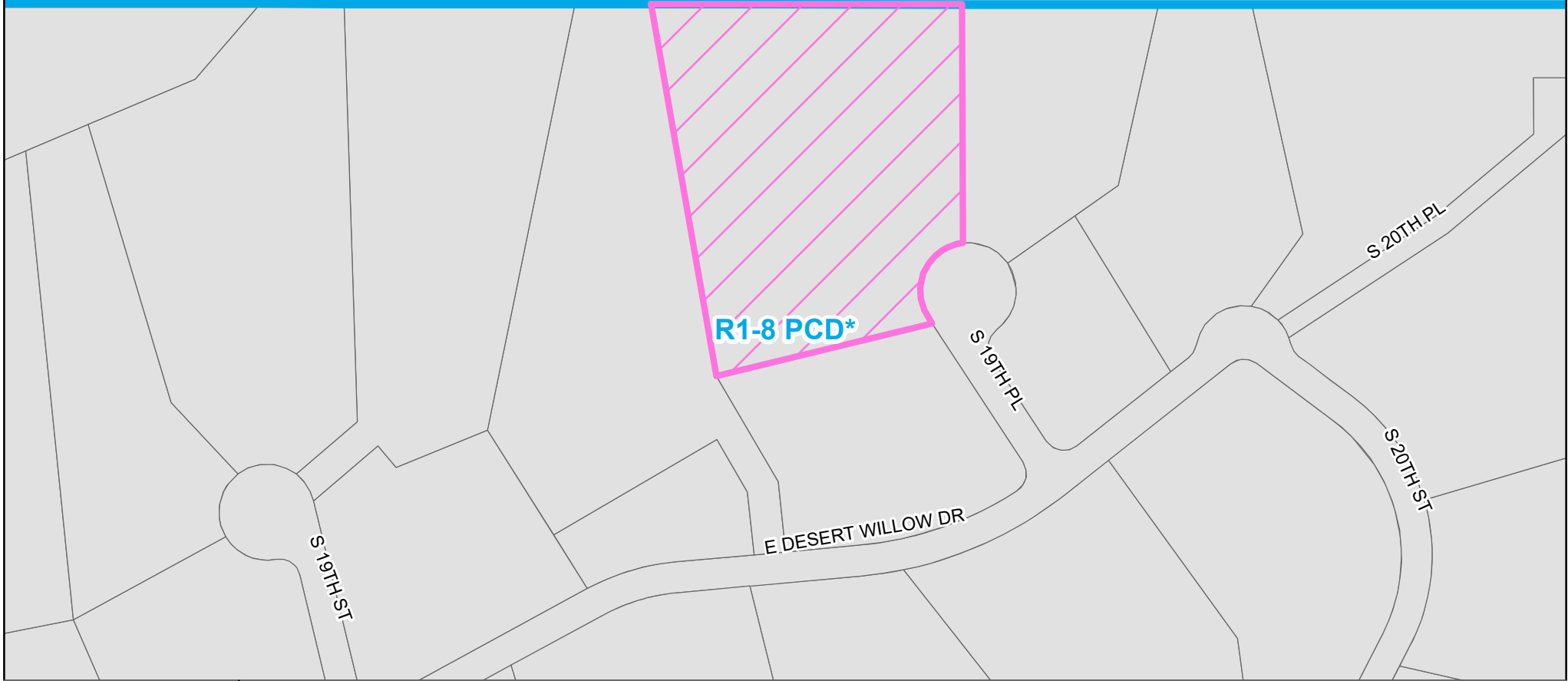


Planning & Development Department



RE-35 HP

R1-8 PCD*



PHO-2-24--Z-289-D-84-6

Property Location: Approximately 170 feet north of the northwest corner of 19th Place and Desert Willow Drive (14004 South 19th Place)

ENGINEER'S NOTES

- MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) UNIFORM STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION INCLUDING LATEST REVISION AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL TOWN OR CITY) ARE INCORPORATED INTO THIS PLAN IN THEIR ENTIRETY.
- ALL WORK REQUIRED TO COMPLETE THE CONSTRUCTION COVERED BY THIS PLAN SHALL BE IN ACCORDANCE WITH THE M.A.G. STANDARD SPECIFICATIONS AND DETAILS AND CURRENT SUPPLEMENTS THEREOF PER THE LOCAL CITY OR TOWN UNLESS SPECIFIED OTHERWISE IN THESE PLANS OR ELSEWHERE IN THE CONTRACT DOCUMENTS. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL REQUIRED STANDARD SPECIFICATIONS, DETAILS AND SUPPLEMENTS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- GRADING SHALL BE IN CONFORMANCE WITH 2015 IBC SEC. 1803 AND APPENDIX J.
- 5% MINIMUM SLOPE AWAY FROM BUILDING FOR A MINIMUM 10', U.N.O.
- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST MARICOPA ASSOCIATION OF GOVERNMENTS (M.A.G.) SPECIFICATIONS AND STANDARD DETAILS.
- A DUST CONTROL PLAN MEETING THE REQUIREMENTS OF RULE 310 OF THE MARICOPA COUNTY AIR POLLUTION CONTROL REGULATIONS, AS AMENDED, IS REQUIRED.
- A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
- ALL STRUCTURES AND LANDSCAPING WITHIN THE SIGHT VISIBILITY TRIANGLE SHALL HAVE A 2 FOOT MAXIMUM HEIGHT.
- ALL PATIOS, WALKS, AND DRIVES TO SLOPE AWAY FROM BUILDING AND GARAGES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS SPECIFIED OTHERWISE. ALL LAWN AREAS ADJOINING WALKS OR SLABS WILL BE GRADED TO 2" BELOW THE TOP OF SLAB. TYPICAL FINISHED GRADE AROUND PERIMETER OF BUILDING IS MINUS 6" BELOW FINISHED FLOOR UNLESS SPECIFIED OTHERWISE.
- ALL MATERIAL TO BE UNDER SLABS AND WALKS SHALL BE COMPACTED TO NOT LESS THAN 95% PER ASTM D698.
- THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS REQUIRED TO COMPLETE ALL WORK COVERED BY THIS PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE.
- THE CONTRACTOR IS TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS AND REGULATIONS APPLICABLE TO THE CONSTRUCTION.
- A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL CALL 48 HOURS IN ADVANCE FOR BLUE STAKE (1-800-STAKE-11) PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
- ALL PAVING, GRADING, EXCAVATION, TRENCHING, PIPE BEDDING, CUT, FILL AND BACKFILL SHALL COMPLY WITH THE RECOMMENDATIONS SET FORTH IN THE SOILS (GEOTECHNICAL) REPORT FOR THIS PROJECT IN ADDITION TO THE REFERENCED REQUIRED SPECIFICATIONS AND DETAILS.
- THE CONTRACTOR IS TO VERIFY THE LOCATION AND THE ELEVATIONS OF ALL EXISTING UTILITIES AT POINTS OF THE-IN PRIOR TO COMMENCING ANY NEW CONSTRUCTION. SHOULD ANY LOCATION OR ELEVATION DIFFER FROM THAT SHOWN ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AGENT.
- CONTRACTOR TO VERIFY AND COORDINATE ALL DIMENSIONS AND SITE LAYOUT WITH ARCHITECTURE'S FINAL SITE PLAN AND FINAL BUILDING DIMENSIONS BEFORE STARTING WORK. REPORT DISCREPANCIES TO OWNER'S AGENT.
- COORDINATION BETWEEN ALL PARTIES IS ESSENTIAL PART OF CONTRACT.
- CONTRACTOR IS RESPONSIBLE FOR PROJECT AND SITE CONDITIONS, AND TO WORK WITH WEATHER CONDITIONS AS THE PROJECT SITE MAY BE LOCATED IN A FLOOD PRONE AREA AND SUBJECT TO FLOODING AND ICE HAZARDS.
- THE CONTRACTOR IS TO VERIFY THE LOCATION, ELEVATION, CONDITION, AND PAVEMENT CROSS-SLOPE OF ALL EXISTING SURFACES AT POINTS OF THE-IN AND WATCHING, PRIOR TO COMMENCEMENT OF GRADING, PAVING, CURB AND GUTTER, OR OTHER PAVING CONSTRUCTION. SHOULD EXISTING LOCATIONS, ELEVATIONS, CONDITION, OR PAVEMENT CROSS-SLOPE DIFFER FROM THAT SHOWN ON THESE PLANS, RESULTING IN THE DESIGN INTENT REFLECTED ON THESE PLANS NOT ABLE TO BE CONSTRUCTED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S AGENT IMMEDIATELY FOR DIRECTION ON HOW TO PROCEED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ALL COSTS ASSOCIATED WITH CORRECTIVE ACTION IF THESE PROCEDURES ARE NOT FOLLOWED.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE UTILITY CROSSINGS AT CULVERT CROSSINGS BEFORE STARTING WORK ON CULVERT. COORDINATE WITH OWNER REPRESENTATIVE. VERIFY UTILITY LINES AND/OR CONDUITS ARE IN PLACE BEFORE STARTING CULVERT WORK.
- THIS PROJECT REQUIRES A REGULAR ONGOING MAINTENANCE PROGRAM FOR THE DESIGNED DRAINAGE SYSTEM(S) TO PRESERVE THE DESIGN INTEGRITY AND THE ABILITY TO PERFORM ITS OPERATIONAL INTENT. FAILURE TO PROVIDE MAINTENANCE WILL JEOPARDIZE THE DRAINAGE SYSTEM(S) PERFORMANCE AND MAY LEAD TO ITS INABILITY TO PERFORM PROPERLY AND/OR CAUSE DAMAGE ELSEWHERE IN THE PROJECT.
- SEWER AND WATER SERVICES NOT BEING UTILIZED MUST BE ABANDONED PER CITY OF PHOENIX WATER OPERATIONS REQUIREMENTS.
- THE UTILITIES LOCATION INVERT ELEVATIONS DEPICTED HEREON AREA BASED UPON AVAILABLE AS-BUILT INFORMATION OBTAINED FROM THE CITY OF PHOENIX. CONTRACTOR SHALL CONTACT BLUE STAKE 48 HOURS PRIOR TO ANY ON-SITE CONSTRUCTION AND FIELD VERIFY EXACT LOCATIONS OF ALL UTILITIES. NOTIFY OWNER'S AGENT AND ENGINEER IMMEDIATELY IF DISCREPANCIES AND/OR UTILITIES CONFLICTS OCCUR.
- RIPRAP AREAS SHALL BE OVER-EXCAVATED SUCH THAT TOP OF RIPRAP WILL MEET ADJACENT GRADE.
- FOR CHANGE IN ELEVATION THAT ARE GREATER THAN 30", PROVIDE 42" HIGH GUARDRAILS.
- CONTRACTOR TO VERIFY AND COORDINATE ALL WALL ELEVATIONS, INCLUDING TOP OF FOOTING ELEVATIONS WITH ARCHITECTURAL, LANDSCAPE AND STRUCTURAL PLANS. CHANGES TO THE WALL ELEVATIONS DUE TO FIELD CONDITIONS SHALL BE REVIEWED AND APPROVED BY ALL RESPONSIBLE PARTIES. LAND DEVELOPMENT GROUP ASSUMES NO LIABILITY FOR INCORRECT WALL ELEVATIONS DEPICTED HEREIN DUE TO LAND SURVEY DEFICIENCIES OR LACK OF COORDINATION BETWEEN DISCIPLINES RESPONSIBLE FOR WALL DESIGN AND CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER BEFORE THE FITTINGS ARE COVERED SO "AS BUILT" MEASUREMENTS MAY BE TAKEN. FITTINGS SHALL NOT BE COVERED UNTIL SURVEYS HAVE BEEN COMPLETED.
- ALL PIPES AND FITTINGS SHALL BE INSTALLED PER MANUFACTURE'S SPECIFICATIONS AND DETAILS.
- CONTRACTOR TO PROVIDE TRAFFIC CONTROL AND BARRICADES PER CITY OF PHOENIX CODE.
- TRENCH BED SHALL BE FREE OF ROCKS AND DEBRIS.
- ALL FRAMES, COVERS, VALVE BOXES & MANHOLE COVERS SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO COMPLETION OF PAVING OR RELATED CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE ALL UTILITY SHUT DOWNS OF THE EXISTING UTILITY SYSTEMS WITH OWNER AND ADJACENT TENANTS.
- CONTRACTOR SHALL IDENTIFY ALL EXISTING UTILITY CONNECTIONS AND CUT AND PLUG AT HIS EXPENSE. ALL UTILITY CONNECTIONS TO BE ABANDONED IN ACCORDANCE WITH THE CITY OF PHOENIX SPECIFICATIONS AND STANDARDS.
- NOTHING CONTAINED IN THE CONTRACT DOCUMENTS SHALL CREATE, NOR SHALL BE CONSTRUED TO CREATE, ANY CONTRACTUAL RELATIONSHIP BETWEEN THE ENGINEER AND THE CONTRACTOR OR ANY SUBCONTRACTOR.
- ALL PIPE SHALL BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS, SPECIFICATIONS AND DETAILS.
- ALL SEWER LATERALS SHALL BE CONSTRUCTED TO THE LOT LINE OR EASEMENT LINE. A PLUG OR A CAP MUST BE INSTALLED AT THE END OF EACH LATERAL WITH A 2X4 INSTALLED VERTICALLY FROM THE PLUG OF CAP UP TO 2 FT. ABOVE GRADE AND IDENTIFIED PER MAG STANDARDS.
- NO SEWER TAP SHALL HAVE LESS THAN 3 FEET OF COVER OVER ITS CROWN AT THE PROPERTY LINE OR EASEMENT LINE.

NATIVE PLANT INVENTORY

ENGINEER ASSUMES NO LIABILITY FOR THE EVALUATION, SALVAGEABILITY, REMOVAL AND/OR RELOCATION ON ON-SITE PLANT MATERIALS. ALL NATIVE PLANTS IMPACTED BY CONSTRUCTION SHALL BE RELOCATED ON SITE OR AS DIRECTED. SEE LANDSCAPE PLAN AND NATIVE PLANT INVENTORY AND SALVAGE PLAN.

GRADING & DRAINAGE PLAN ON HILLSIDE LOT BAILEY RESIDENCE

14004 S 19TH PL., PHOENIX, AZ 85048
LOT 22 - PARCEL 8C AT THE FOOTHILLS

A SUBDIVISION PLAT RECORDED IN BOOK 409 OF MAPS, PAGE 30, MCR.,
LOCATED IN A PORTION OF THE NW 1/4 OF THE NE 1/4 OF THE NW 1/4 OF SECTION 27, T.1S, R.3E
OF THE GILA & SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA

GRADING AND DRAINAGE NOTES (CITY OF PHOENIX)

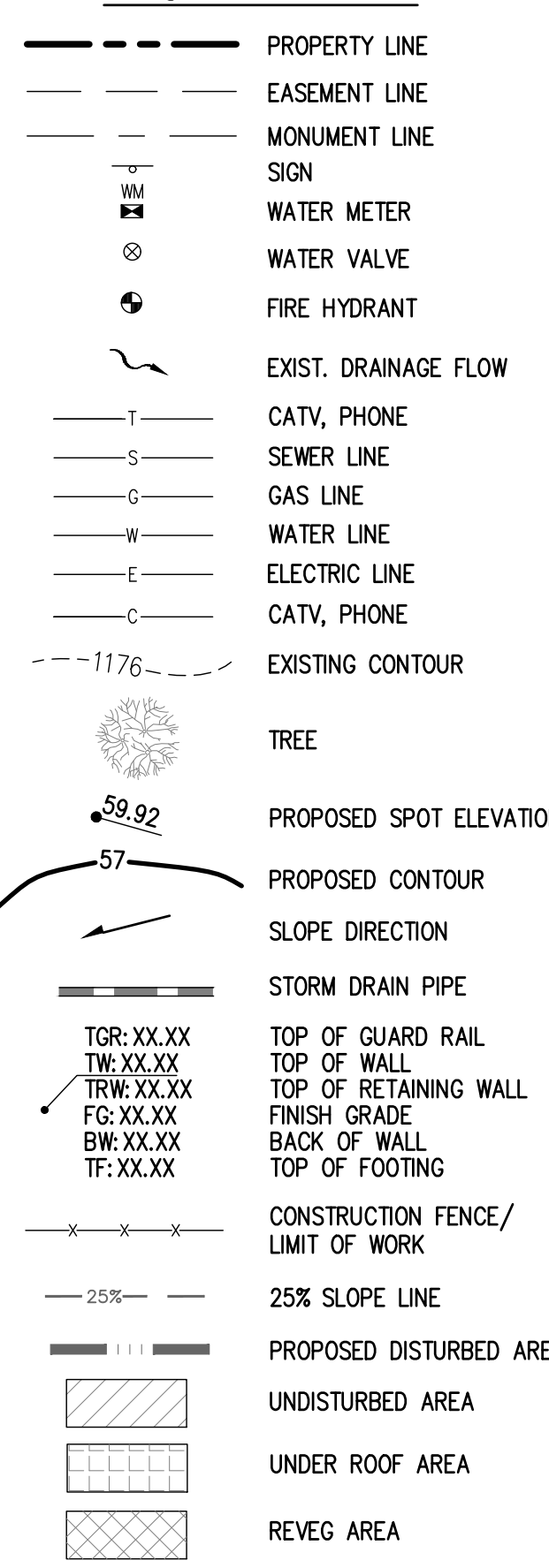
- A GRADING PERMIT IS REQUIRED UNDER CHAPTER 32A OF THE PHOENIX CITY CODE.
- WHEN HAUL PERMITS ARE REQUIRED, THEY MUST BE OBTAINED PRIOR TO OR CONCURRENTLY WITH THE GRADING AND DRAINAGE PERMIT.
- EXCAVATING CONTRACTOR MUST GIVE LOCATION FOR WASTING EXCESS EXCAVATION AND A LETTER FROM OWNER GIVING PERMISSION FOR DUMPING PRIOR TO STARTING ON-SITE CONSTRUCTION. IF EXCESS EXCAVATION EXCEEDS 100 CUBIC YARDS, THE DISPOSAL SITE WILL ALSO REQUIRE A GRADING AND DRAINAGE PERMIT.
- PLANNING AND DEVELOPMENT DEPARTMENT FIELD INSPECTION GROUP SHALL BE NOTIFIED 48 HOURS BEFORE ANY ON-SITE AND/OR OFF-SITE CONSTRUCTION BEGINS. TELEPHONE (602) 262-7811.
- STAKING FINISHED FLOORS ELEVATIONS IS THE RESPONSIBILITY OF THE OWNER AND HIS ENGINEER. THE OWNER'S ENGINEER SHALL SUBMIT THREE SEPALED COPIES OF THIS GRADING AND DRAINAGE PLAN DESIGNATED AS "RECORD DRAWING" (BEARING AN ORIGINAL SIGNATURE) PRIOR TO THE REQUEST FOR FINAL INSPECTION.
- A SEPARATE PERMIT IS NECESSARY FOR ANY OFFSITE CONSTRUCTION.
- AN APPROVED GRADING AND DRAINAGE PLAN SHALL BE ON THE JOB SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- GRADING AND DRAINAGE PLAN APPROVAL INCLUDES THE CONSTRUCTION OF ALL SURFACE IMPROVEMENTS SHOWN ON THE APPROVED PLAN, INCLUDING, BUT NOT LIMITED TO, RETENTION AREAS, SEDIMENTATION BASINS, AND/OR OTHER DRAINAGE FACILITIES, DRAINAGE PATTERNS, WALLS, CURBS, ASPHALT PAVEMENT, AND BUILDING FLOOR ELEVATIONS.
- GRADES SHOWN IN RETENTION BASINS ARE DESIGN FINISHED GRADES. SHOULD THE CONTRACTOR OR ANY SUB-CONTRACTOR PLAN TO PLACE SPOIL DIRT FROM FOOTINGS, UTILITY TRENCHES, LANDSCAPING, SWIMMING POOLS, ETC. IN THE BASINS, THE BASINS SHOULD BE SUFFICIENTLY OVER-EXCAVATED DURING THE ROUGH GRADING OPERATION TO ALLOW FOR THE PLACEMENT OF THE FILL OR LANDSCAPING MATERIALS.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND CONFIRMING DEPTHS OF ALL THE EXISTING UTILITY LINES WITHIN PROPOSED RETENTION BASIN AREAS. IF THE BASIN CANNOT BE CONSTRUCTED PER PLAN BECAUSE OF CONFLICTS, THE CONTRACTOR SHOULD DISCUSS MODIFICATION OF BASIN CONFIGURATION WITH THE CITY INSPECTOR TO DETERMINE IF A PLAN REVISION OR A FIELD CHANGE IS REQUIRED.
- ALL DRAINAGE PROTECTIVE DEVICES SUCH AS SWALES, INTERCEPTOR DITCHES, PIPES, PROTECTIVE BERMS, BARRIER WALLS, CONCRETE CHANNELS, OR OTHER MEASURES DESIGNED TO PROTECT ADJACENT BUILDINGS OR PROPERTY FROM STORM RUNOFF MUST BE COMPLETED PRIOR TO BUILDING CONSTRUCTION.
- PER SECTION 6.8.7 OF THE STORM WATER POLICIES AND STANDARDS, SIDE SLOPES OF STORM WATER STORAGE FACILITIES SHALL BE NO STEEPER THAN 5:1 FOR IRRIGATED GRASS AREAS AND 3:1 FOR LANDSCAPE AREAS. SLOPE STABILIZATION MEASURES ARE REQUIRED FOR ALL SLOPES GREATER THAN 5:1. THE SLOPE STABILIZATION MEASURES MUST BE READILY MAINTAINABLE USING COMMON MAINTENANCE EQUIPMENT AND BE DESIGNED WITH CONSIDERATION TO AESTHETICS. THE SLOPE STABILIZATION MEASURES SHALL BE CONSISTENT WITH COMMONLY USED ENGINEERING PRACTICES. UN-STABILIZED DECOMPOSED GRANITE IS NOT ALLOWED ON SLOPES GREATER THAN 5:1.
- ALL RETAINING WALLS ARE TO BE REVIEWED, PERMITTED, AND INSPECTED BY THE RESIDENTIAL PLAN REVIEW AND INSPECTION BRANCH OF THE PLANNING & DEVELOPMENT DEPARTMENT. ALL RETAINING WALL ARE TO BE IN ACCORDANCE WITH SECTION 703 OF THE ZONING ORDINANCE AND SECTION 32-32 OF THE SUBDIVISION ORDINANCE FOR SPECIFIC WALL HEIGHT REQUIREMENTS. USE PERMIT FOR IS REQUIRED FOR ALL OVER-HEIGHT RETAINING WALLS.
- ALL RAMPS MUST MEET 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND CITY OF PHOENIX SUPPLEMENT TO M.A.G. UNIFORM STANDARD SPECIFICATIONS AND DETAILS; 2% MAX CROSS SLOPES AND 12:1 MAX LONGITUDINAL SLOPES.
- CERTIFICATE OF OCCUPANCY (C OF O) AND/OR FINAL ELECTRICAL CLEARANCE FOR ANY BUILDING IS DENIED UNTIL ALL GRADING AND DRAINAGE IMPROVEMENTS ARE COMPLETED.
- EXISTING OR NEWLY DAMAGED AND/OR DISPLACED CONCRETE CURB, GUTTER, SIDEWALK, OR DRIVEWAY SLAB THAT IS WITHIN THE RIGHT-OF-WAY SHALL BE REPAIRED OR REPLACED, AS NOTED BY CITY INSPECTORS, BEFORE FINAL ACCEPTANCE OF THE WORK.
- THE ENGINEERING DESIGN ON THESE PLANS IS ONLY APPROVED BY THE CITY IN SCOPE AND NOT IN DETAIL. CONSTRUCTION QUANTITIES ON THESE PLANS ARE NOT VERIFIED BY THE CITY. APPROVAL OF THESE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT PREVENT THE CITY FROM REQUIRING CORRECTION OF ERRORS IN THE PLANS WHERE SUCH ERRORS ARE SUBSEQUENTLY FOUND TO BE IN VIOLATION OF ANY LAW, ORDINANCE, HEALTH, SAFETY, OR OTHER DESIGN ISSUES.
- THE CITY OF PHOENIX POLICE DEPARTMENT ENFORCES LAWS REGULATING THE OPERATION OF COMMERCIAL VEHICLES. THIS INCLUDES ENFORCEMENT OF FEDERAL, STATE, COUNTY AND LOCAL LAWS AND ORDINANCES. QUESTIONS REGARDING COMMERCIAL VEHICLE ENFORCEMENT MAY BE DIRECTED TO THE COMMERCIAL VEHICLE ENFORCEMENT SUPERVISOR AT (602) 495-7813 (TRAFFIC BUREAU SOUTH) OR (602) 495-6784 (TRAFFIC BUREAU NORTH).
- PLAN APPROVAL IS VALID FOR 12 MONTHS. PRIOR TO PLAN APPROVAL EXPIRATION, ALL ASSOCIATED PERMITS SHALL BE PURCHASED OR THE PLANS SHALL BE RESUBMITTED FOR EXTENSION OF PLAN APPROVAL. THE EXPIRATION, EXTENSION, AND REINSTATEMENT OF CIVIL ENGINEERING SHALL BE SHOWN ON APPROVED PLANS. PERMITS AND INSPECTED AND SALVAGE OPERATIONS ARE COMPLETED, INSPECTED, AND COMPLETED.
- BEFORE GRADING IN AREAS CONTAINING NATIVE DESERT VEGETATION, THE CONTRACTOR MUST OBTAIN A PERMIT FROM ARIZONA DEPARTMENT OF AGRICULTURE. FOR INFORMATION, PHONE (602) 364-0935.
- IF PROPERTY IS ADJACENT TO THE PHOENIX MOUNTAIN PRESERVE, NO DISTURBANCE OF PRESERVE PROPERTY FOR ACCESS, GRADING, OR OTHER CONSTRUCTION PURPOSES WILL BE ALLOWED. THE CONTRACTOR IS REQUIRED TO DELINEATE THE MOUNTAIN PRESERVE BOUNDARY WITH A TEMPORARY FENCE OR OTHER ACCEPTABLE METHODS.
- IF SITE HAS SPECIAL PRESERVATION OR HILLSIDE ISSUES THE GRADING PLAN MUST SHOW ALL LANDSCAPE PRESERVATION EASEMENTS, CONSTRUCTION FENCING LOCATIONS, AND APPROPRIATE AREAS LABELED. PRIOR TO ANY CLEARING, GRUBBING, OR GRADING OPERATIONS, CONSTRUCTION FENCING SHALL BE SHOWN ON APPROVED PLANS. PERMITTED AND INSPECTED AND SALVAGE OPERATIONS ARE COMPLETED, INSPECTED, AND COMPLETED.
- NO TENNIS/GAME COURTS ARE TO BE PROVIDED ON SAID HILLSIDE LOTS.
- THAT RESIDENCES WITHIN DEVELOPMENT UNIT 8 SHALL CONTAIN NO EXTERIOR LIGHTING ON EITHER THE INDIVIDUAL LOTS OR ROADWAYS TO THE LOTS THAT EXCEED 3 FEET IN HEIGHT.

FLOOD INSURANCE RATE MAP (FIRM) DATA

COMMUNITY #	PANEL #	SUFFIX	BASE FLOOD ELEVATION
040051	2685 OF 4425	L	N/A
MAP #	PANEL DATE	FIRM INDEX DATE	ZONE
04013C	10/16/2013	11/04/2015	X*

*AREAS OF 0.2% ANNUAL CHANCE FLOOD;
AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE;
AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD

LEGEND

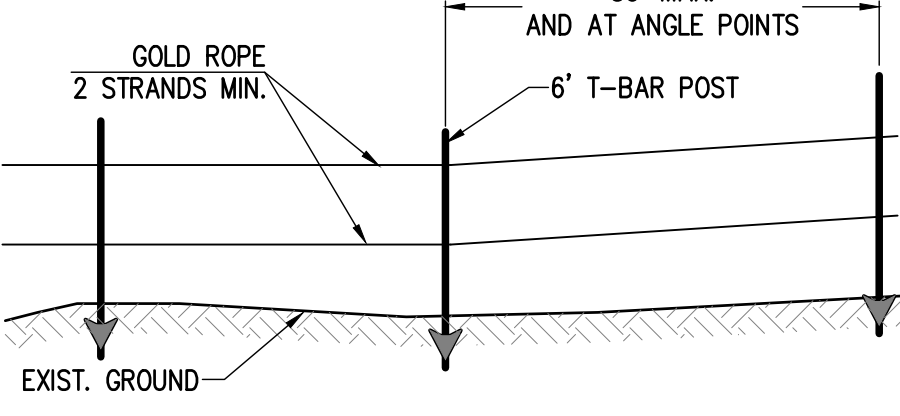


ABBREVIATIONS

BC	BACK OF CURB
BSL	BUILDING SETBACK LINE
EG	EXISTING GRADE
EL ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ESMT	EASEMENT
EX, EXIST.	EXISTING
FG	FINISH GRADE
FFE	FINISH FLOOR ELEVATION
LFEE	LOWER FINISH FLOOR ELEVATION
GUTTER, GAS	GUTTER, GAS
INV	INVERT
(M)	MEASURED
MCR	MARICOPA COUNTY RECORDER
P, P/MT	PAVEMENT
PUE	PUBLIC UTILITY EASEMENT
(R), REC.	RECORDED
R	RADIUS
R/W	RIGHT OF WAY
T	TANGENT, TELEPHONE
VNAE	VEHICULAR NON ACCESS ESMT
W	WEST, WATERLINE
WSE	WATER SURFACE ELEVATION

RETAINING WALLS

RETAINING WALLS OVER 3'-4" HIGH: 299.42 LF.
RETAINING WALLS UNDER 3'-4" HIGH: 6.50 LF.

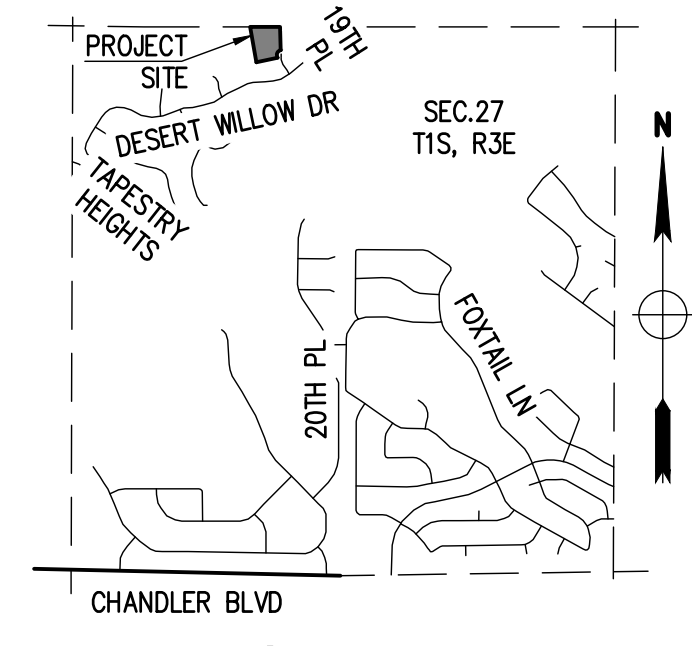


CONSTRUCTION FENCE DETAIL

- NOTE: N.T.S.
- CONSTRUCTION FENCE TO BE CONSTRUCTED PER DETAIL ON THIS SHEET.
 - FENCE TO BE LOCATED AT THE DISTURBANCE LIMITS PER THE APPROVED GRADING AND DRAINAGE PLAN.
 - PLACE SILT FENCE ON THE DOWNSTREAM SIDE PER FDCM BMP-63 THROUGH BMP-68, EPA STANDARDS AND DETAILS TO PREVENT SILT AND DEBRIS TO LEAVE THE LIMITS OF CONSTRUCTION DURING STORM EVENT.

DRAINAGE CALCULATIONS

PEAK DISCHARGES ARE ESTIMATED USING THE RATIONAL METHOD FORMULA Q100=CA.
RAINFALL INTENSITY, I100=7.56 in/hr IS BASED ON NOAA ATLAS 14 RAINFALL DATA FOR 100-YEAR STORM AND 5 MIN. TIME OF CONCENTRATION. RUNOFF COEFFICIENT C=0.95. REFER TO DRAINAGE MAP FOR WATERSHED AREAS.
FIRST FLUSH PEAK DISCHARGE
 $Q_{FF} = C_{FF} \cdot A \cdot I_{FF} = 100\% \cdot 0.25 \cdot 0.37 = 0.092 \text{ CFS}$
C=RUNOFF COEFFICIENT (1.00)
 $I_{FF} = \frac{1.13}{(2.25)^{0.5}} = 0.25$ 100yr-2hr RAINFALL INTENSITY PER NOAA
 $I_{FF} = \frac{0.5}{0.5} = 0.25$ 100yr-2hr RAINFALL DEPTH PER NOAA PER COP STORM WATER POLICIES MANUAL
A=CONTRIBUTING DRAINAGE AREA IN ACRES (0.37)



VICINITY MAP

N.T.S.

DRAINAGE STATEMENT

- ULTIMATE STORM OUTFALL IS LOCATED AT THE SOUTHEASTERLY PROPERTY CORNER AT ELEVATION OF 1548.50.
- THERE ARE OFFSITE FLOWS THAT RUN THROUGH THIS SITE.
- PROPOSED DEVELOPMENT DOES NOT IMPACT DRAINAGE CONDITIONS OF ADJOINING LOTS.
- FIRST FLUSH ON-SITE RUNOFF TREATMENT IS PROVIDED WITH THIS PROJECT.
- THE MINIMUM FINISH FLOOR ELEVATIONS SHOWN ARE SAFE FROM INUNDATION DURING A 100-YEAR PEAK RUN-OFF EVENT IF CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS.

EARTHWORK QUANTITIES

CUT: 1,464 C.Y.
CUT FROM PIPES: 8 C.Y.
FILL: 274 C.Y.
NET CUT: 1,198 C.Y.

QUANTITIES ARE ESTIMATED IN PLACE. NO SHRINK, SWELL, CLEAR AND GRUB OR BUILDING FOOTING EXCAVATION IS ASSUMED. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF THE QUANTITIES AND BASE THEIR BIDS ON THEIR ESTIMATES.

PROJECT DESCRIPTION

NEW TWO STORY SINGLE FAMILY RESIDENCE, NEW ATTACHED GARAGE, NEW DRIVEWAY, NEW POOL AND SITE IMPROVEMENTS WITH FIRST FLUSH ON-SITE RUNOFF TREATMENT.

SHEET INDEX

001 C-1	COVER SHEET
002 C-2	OVERALL SITE PLAN IMPROVEMENT PLAN ENLARGED VIEW CROSS SECTIONS DETAILS
003 C-3	DETAILS
004 C-4	PLANTING PLAN PLANTING DETAILS IRRIGATION PLAN IRRIGATION DETAILS GENERAL STRUCTURAL NOTES STRUCTURAL SPECIAL INSPECTION TABLES STRUCTURAL DETAILS
005 L-1	005 L-1
006 L-2	006 L-2
007 I-1	007 I-1
008 I-2	008 I-2
009 I-3	009 I-3
010 SS1.0	010 SS1.0
011 SS1.1	011 SS1.1
012 SS2.0	012 SS2.0

HILLSIDE CALCULATIONS

TOTAL LOT AREA:	84,646 S.F.
ALLOWED UNDER ROOF DISTURBANCE:	20,000 S.F. (23.62% OF TOTAL LOT)
PROPOSED UNDER ROOF DISTURBANCE:	5,341 S.F. (6.31% OF TOTAL LOT)
PROPOSED BEYOND ROOF DISTURBANCE:	10,749 S.F. (12.70% OF TOTAL LOT)
ALLOWED TOTAL AREA OF DISTURBANCE:	9,574 S.F. (11.31% OF TOTAL LOT)
PROPOSED TOTAL AREA OF DISTURBANCE (UNDER ROOF+BEYOND ROOF):	16,090 S.F. (19.01% OF TOTAL LOT)
ALLOWED TOTAL REVEGETATION AREA:	4,232 S.F. (5.00% OF TOTAL LOT)
PROPOSED TOTAL REVEGETATION AREA:	3,219 S.F. (3.80% OF TOTAL LOT)
REQUIRED BUILDING ENVELOPE AREA PER FINAL SITE PLAN:	12,236 S.F. (14.56% OF TOTAL LOT)
PROPOSED BUILDING ENVELOPE AREA:	16,090 S.F. (19.01% OF TOTAL LOT)

CITY OF PHOENIX GENERAL HILLSIDE NOTES

- THE CITY OF PHOENIX GENERAL NOTES ARE THE ONLY NOTES APPROVED ON THIS PLAN. ADDITIONAL GENERAL NOTES GENERATED BY THE SEALANT AND PLACED ON THE PLANS ARE NOT APPROVED AS PART OF THIS PLAN AND ARE NOTED AS SUCH ON THE PLANS.
- THE GRADABLE AREA SHALL BE DELINEATED DURING CONSTRUCTION WITH CONSTRUCTION FENCING TO MAINTAIN THE "UNDISTURBED AREAS" IN THEIR NATURAL CONDITION. THIS FENCE MUST BE IN PLACE BEFORE ANY GRADING TAKES PLACE AND MAINTAINED THROUGHOUT CONSTRUCTION IF A FENCE IS NOT INSTALLED AS SHOWN ON THE APPROVED G&D PLAN OR MISSING, THE PROJECT WILL BE RED-TAGGED UNTIL THE FENCE IS RE-INSTALLED AND APPROVED. CALL 602-262-7811 TO SCHEDULE THIS INSPECTION WITH THE GENERAL INSPECTOR.
- FILE NOTICE OF INTENT (NOI) TO CLEAR LAND WITH THE STATE OF ARIZONA, 602-542-6408. PROVIDE A COPY OF THE NOI PERMIT TO THE INSPECTOR. HTTP://WWW.AZDA.GOV/ESD/CLEARLAND.PDF
- GRADED AREAS WHICH ARE TO BE REVEGETATED AS DESERT WILL BE RESTORED TO BLEND WITH THE SURROUNDING NATURAL DESERT BY THE PLANTING OF NATIVE DESERT PLANT MATERIAL INCLUDING TREES AND SHRUBS.
- SCARRED ROCK SURFACES (CUTS) ARE TO BE TREATED WITH CHEMICAL COLOR TREATMENT TO BLEND WITH THE ADJACENT ROCK SURFACES, SUBDIVISION ORDINANCE SECTION 32-32.C.3.S
- PROVIDE A COPY OF THE COUNTY DUST CONTROL PERMIT TO THE INSPECTOR.
- INSPECTION: ALL HILLSIDE LOTS WILL BE INSPECTED BY THE P&D SITE INSPECTOR FOR COMPLIANCE WITH THE HILLSIDE ORDINANCE, WITH LANDSCAPE REVEGETATION, AND COLORIZATION OF CUT AREAS PRIOR TO OCCUPANCY. CALL 602-262-7811.
- POOL SHALL BE BUILT PRIOR TO OR IN CONJUNCTION WITH HOUSE IF NO ACCESS IS PROVIDED FOR FUTURE CONSTRUCTION.
- TOTAL GRADING INCLUDING ALL SITE GRADING AND BUILDING AREA UNDER ROOF SHALL NOT EXCEED 35% OF THE LOT OR 20,000 SQUARE FEET WHICHEVER IS LESS, UNLESS OTHERWISE ALLOWED PER AN APPROVED FINAL SITE PLAN OR APPROVED GRADING WAIVER.
- THE DISTANCE FROM NATURAL GRADE TO ANY POINT ALONG THE STRUCTURE DOES NOT EXCEED 30 FEET OR 2 STORES, CITY OF PHOENIX ORDINANCE SECTION 710.C.2.TABLE 1.
- DRIVEWAY SLOPE SHALL CONFORM TO CITY OF PHOENIX SUPPLEMENT TO MARICOPA ASSOCIATION OF GOVERNMENTS STANDARD DETAIL P1164, MAX DRIVEWAY SLOPE ON 1/2" SLOPE IS 20%.
- PLAN APPROVAL IS VALID FOR 180 DAYS. PRIOR TO PLAN APPROVAL EXPIRATION, ALL ASSOCIATED PERMITS SHALL BE PURCHASED OR THE PLANS SHALL BE RESUBMITTED FOR EXTENSION OF PLAN APPROVAL. THE EXPIRATION, EXTENSION, AND REINSTATEMENT OF LANDSCAPE PLANS AND PERMITS SHALL FOLLOW THE SAME GUIDELINES AS THOSE INDICATED IN THE PHOENIX BUILDING CONSTRUCTION CODE ADMINISTRATIVE PROVISIONS SECTION 105.3 FOR BUILDING PERMITS.

OFFSITE NOTES (CITY OF PHOENIX)

- CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE LATEST APPLICABLE MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) UNIFORM STANDARD SPECIFICATIONS AND DETAILS AND THE LATEST CITY OF PHOENIX SUPPLEMENT TO THE MAG UNIFORM STANDARD SPECIFICATIONS AND DETAILS.
- COMPACTION SHALL COMPLY WITH M.A.G. SECTION 601.
- OBSTRUCTIONS TO PROPOSED IMPROVEMENTS IN THE RIGHT-OF-WAY SHALL BE REMOVED OR RELOCATED BEFORE BEGINNING CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- THE ACTUAL POINT OF PAVEMENT MATCHING AND/OR TERMINATION SHALL BE DETERMINED IN THE FIELD BY THE CITY OF PHOENIX, PLANNING AND DEVELOPMENT DEPARTMENT FIELD INSPECTOR.
- PAVEMENT REPLACEMENT THICKNESS AND TYPE ARE TO BE PER M.A.G. SECTION 336 AND C.O.P. DETAIL P1200 - TYPE B. CURB AND GUTTER REPLACEMENT SHALL BE A MINIMUM OF ONE (1) FULL SECTION, PER M.A.G. STANDARD DETAIL 230. SIDEWALK REPLACEMENT SHALL BE A MINIMUM OF ONE (1) FULL PANEL PER C.O.P. DETAIL P1230.
- TREES AND SHRUBBERY IN THE RIGHT-OF-WAY THAT CONFLICT WITH PROPOSED IMPROVEMENTS SHALL NOT BE REMOVED WITHOUT APPROVAL OF THE CITY LANDSCAPE ARCHITECT OR HIS ASSIGNEES. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING AUTHORIZATION TO REMOVE AND/OR RELOCATE SAID TREES OR SHRUBBERY BY CALLING THE PARKS AND RECREATION DEPARTMENT AT (602) 262-6501.
- PER THE CITY OF PHOENIX ORDINANCE G-6308. ALL STREET PAVEMENT CUTS WILL REQUIRE ASPHALT RESURFACING TREATMENTS BASED ON THE AGE OF THE PAVEMENT. FOR STREETS LESS THAN TWO YEARS OLD, THE PERMITTEE MUST APPLY AN ASPHALT MILL AND OVERLAY PAVEMENT TREATMENT. FOR STREETS GREATER THAN TWO YEARS OLD, THE PERMITTEE MUST APPLY A SLURRY SEAL AND/OR MICROSEAL TREATMENT.

RESIDENTIAL INSPECTOR, PERMIT AND PLAN

THE PLANS ASSOCIATED WITH THIS PERMIT WERE REVIEWED UNDER ELECTRONIC PLAN REVIEW (EPR). THIS APPLICANT IS REQUIRED TO PROVIDE A FULL SIZE 24"x36" COPY OF THE APPROVED PLANS TO THE RESIDENTIAL INSPECTOR PRIOR TO START OF CONSTRUCTION

OWNER

T&J FAMILY TRUST,
14004 S 19TH PL.,
PHOENIX, AZ 85048

ARCHITECT

JONES STUDIO
205 S WILSON ST.,
TEMPE, AZ 85281
P: 602-264-2941

LANDSCAPE ARCH.

MOTHER EARTH EMBELLISHER, LLC
3603 S TERRACE RD.,
TEMPE, AZ 85282
P: 602-743-1129

CIVIL ENGINEER

LAND DEVELOPMENT GROUP, LLC
8808 N CENTRAL AVE, SUITE 288
PHOENIX, AZ 85020
CONTACT: NICK PRODANOV, PE
P: 602-889-1984

GEOTECH REPORT

PREPARED BY: ACS SERVICES LLC
PROJECT/JOB#: 2301153
MARCH 06, 2023
P: 480-966-0190

STRUCTURAL ENG.

BAKKER NOELKE CONSULTING
STRUCTURAL ENGINEERS
2525 E ARIZONA BILTMORE CIR.,
SUITE D240
PHOENIX, AZ 85016
P: 602-955-9200

LAND SURVEYOR

ARIZONA SURVEYORS, INC
11445 E VIA LINDA, SUITE 2-447,
SCOTTSDALE, AZ 85259
P: 480-816-9773
E-MAIL: JWAZRSL@GMAIL.COM
WWW.ARIZONASURVEYORS.COM

NOTE: CIVIL ENGINEERING DESIGN PRESENTED HEREIN IS BASED ON THE TOPOGRAPHIC SURVEY MAP. PROVIDED IN AN ELECTRONIC FORMAT BY SURVEYOR LISTED ABOVE. LAND DEVELOPMENT GROUP, LLC ASSUMES NO LIABILITY FOR ERRORS AND OMISSIONS SHOWN ON THE SURVEY AND INFORMATION PROVIDED BY OTHERS.

LEGAL DESCRIPTION

LOT TWENTY-TWO (22), FOOTHILLS PARCEL 8 (C), ACCORDING TO BOOK 409 OF MAPS, PAGE 30, RECORDS OF MARICOPA COUNTY, ARIZONA

BASIS OF BEARINGS

EPOCH 1992, INTERNATIONAL UNIT, ARIZONA CENTRAL, PER GPS OBSERVATION.

DRAINAGE REPORT INFO

COMPANY NAME: LAND DEVELOPMENT GROUP, LLC
DATE OF REPORT: 01/07/23
JOB/PROJECT #: 2208286

BENCHMARK

WEST 1/4 CORNER SEC.9, T2N, R4E PV BRASS CAP IN HAND HOLE HAVING AN ELEVATION OF 1363.43, CITY OF PHOENIX, NAVD 88 DATUM #3762.

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE "RECORD DRAWING" MEASUREMENTS AS SHOWN HEREON WERE MADE UNDER MY SUPERVISION AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

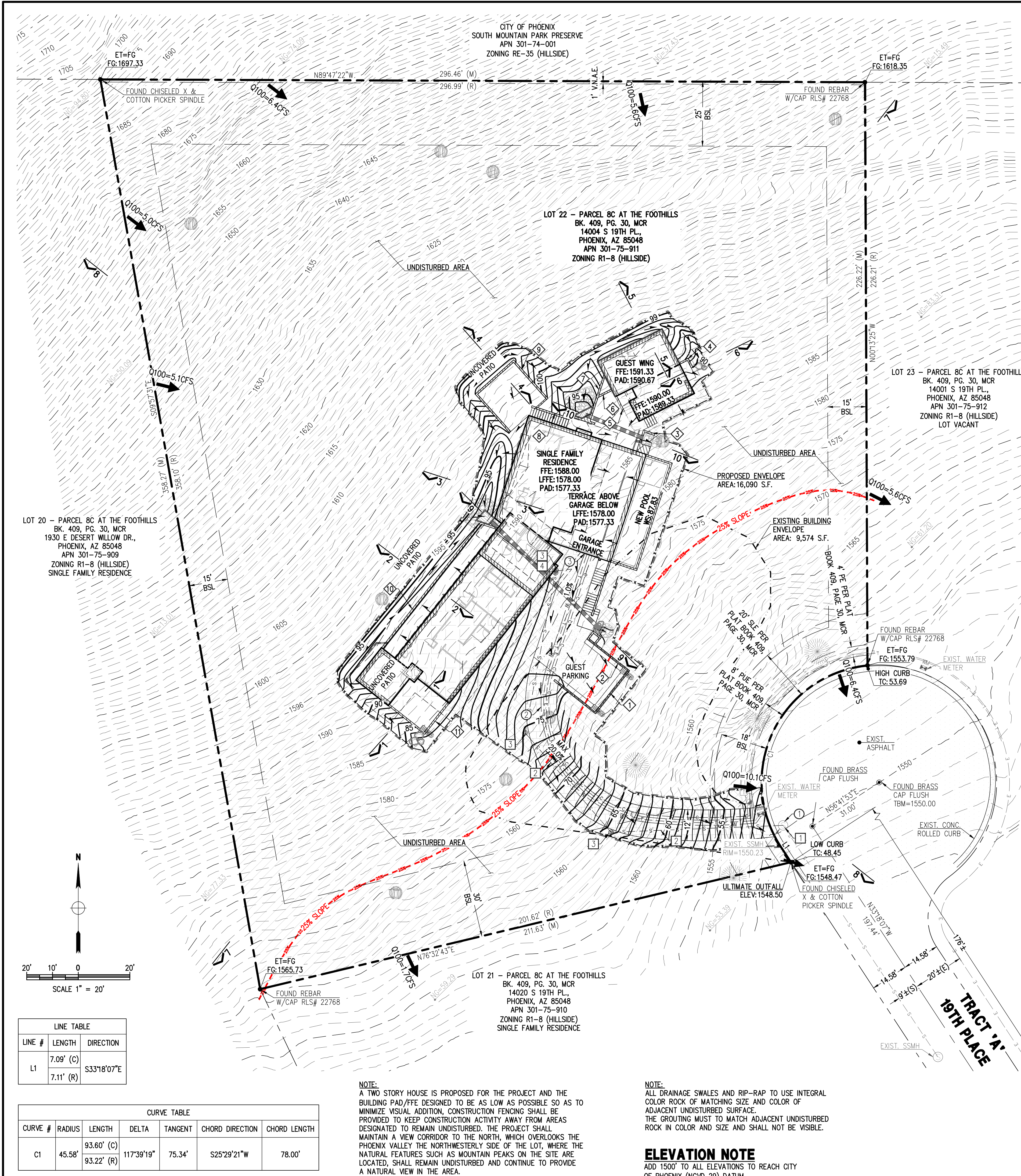
REGISTERED ENGINEER/LAND SURVEYOR

REGISTRATION NUMBER _____ DATE _____

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THESE DRAWINGS ARE PREPARED BY ME UNDER MY SUPERVISION, OR REVIEWED BY ME AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE CONFORM TO THE PHOENIX BUILDING CONSTRUCTION CODE.

11/10/23
NICKOLA PRODANOV, PE
AZ REG. # 41005



ARCHITECTURAL DESIGN NOTES FOR HILLSIDE DEVELOPMENTS:

1. ANY RETAINING WALLS WILL HAVE AN EXPOSED SANDBLASTED FINISH COLORED AND TEXTURED TO COMPLEMENT THE SURROUNDING SITE.
2. NEW PAVEMENT TO BE TREATED TO MATCH EXISTING UNDISTURBED ROCK. THE COLOR OF THE PAVEMENT MATERIAL SELECTED WILL MATCH THE EXISTING UNDISTURBED ROCK TO MINIMIZE THE CONTRAST WITH THE EXISTING NATURAL TOPOGRAPHY.
3. FROM THE CROSS SECTIONS PROVIDED BY THE CIVIL ENGINEER YOU CAN SEE THAT THE TOP OF THE ROOF FORMS ARE NOWHERE NEAR THE TOP OF THE ADJACENT RIDGELINE. THE FFES OF THE PROPOSED HOME ARE 1588.00, 1591.33 AND 1578.00, THE HIGHEST ROOF FORM OF THE HOUSE IS APPROXIMATELY 1608.00 AND THE HIGHEST ELEVATION OF THE LOT IN LINE WITH THIS ROOF FORM BEYOND IS 1697.50 THE ELEVATION OF PHOENIX MOUNTAINS PRESERVE BEYOND THIS PROPERTY CONTINUES TO RISE WELL ABOVE 1697.50.
4. AS CLEARLY IS SHOWN ON THE CROSS SECTIONS, THE HOUSE IS NESTED IN THE EXISTING CUT OF THE MOUNTAIN AND IS WITHIN THE REQUIRED HEIGHT LIMITS.
5. FIRE FLOW SHALL MEET THE REQUIREMENTS OF THE 2018 IFC SECTION 507 AND APPENDIX B. TOTAL SQUARE FOOTAGE OF EACH DWELLING THAT DOES NOT EXCEED 3,600 AND BUILDING CONSTRUCTION V-B. REQUIRED GPM IS 1,000. IF IT EXCEEDS 3,600 SQUARE FEET IT SHALL REQUIRE 2000 GPM

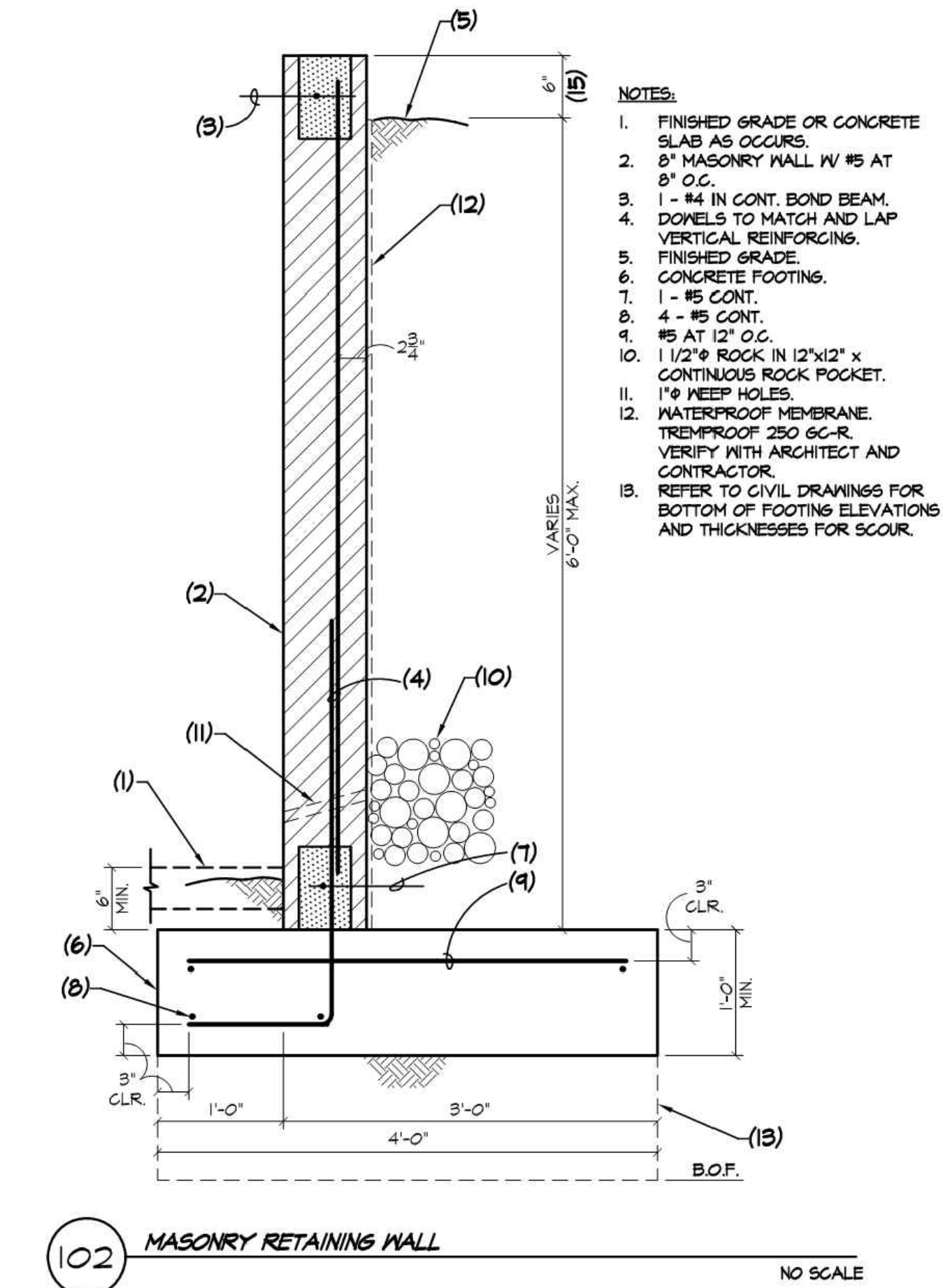
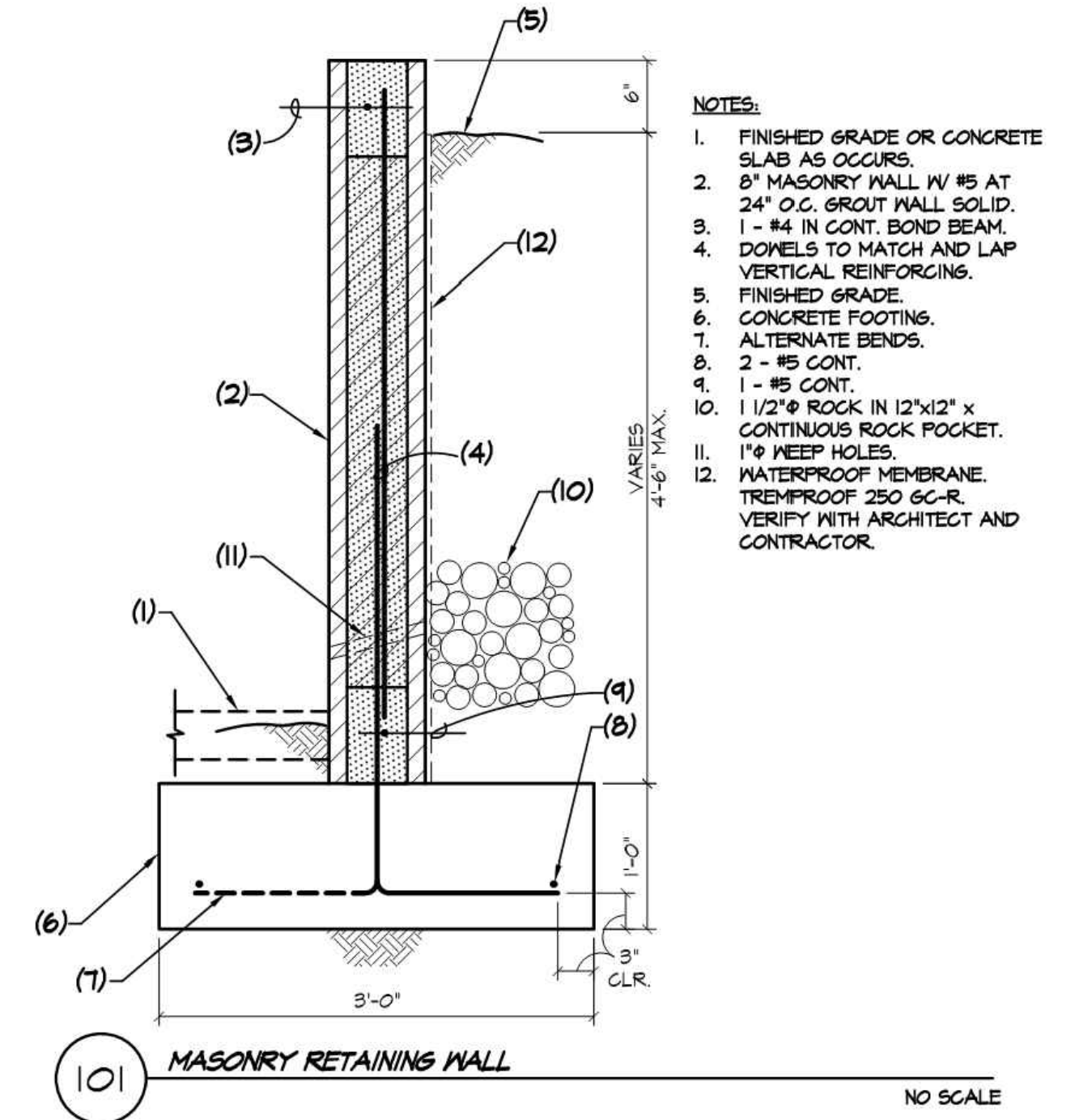
NOTES

1. SEE SHEET C-1 FOR GENERAL NOTES.
2. VERIFY AND COORDINATE WITH STRUCTURAL AND GEOTECHNICAL ENGINEERS, THE ENGINEERED FILL UNDER SLAB AND FOOTINGS.
3. CLEAR AND GRUB EXISTING SITE AREA. REMOVE ALL VEGETATION, EXISTING UTILITIES AND CONSTRUCTION DEBRIS. CUT AND FILL EXISTING TERRAIN AS NECESSARY TO ACHIEVE THE DESIGNED SUBGRADE ELEVATIONS.
4. REFER TO GEOTECHNICAL REPORT FOR BACKFILL AND COMPACTION OF EXISTING RETENTION/DRAINAGE/NATURAL TERRAIN AREAS.
5. THE PAD ELEVATIONS OF ALL A/C AND/OR ELECTRO-MECHANICAL UNITS SHALL BE SET REASONABLY HIGHER THAN THE ADJACENT GRADES TO PROVIDE FLOOD PROTECTION UNDER THE 100-YEAR STORM EVENT.

RETAINING WALL TABLE

ID NUMBER	MAX. HEIGHT FT	LENGTH FT
1	6	38.50
2	6	29.92
3	4.5	12.50
4	4	7.33
5	3	6.50
6	6	5.50
7	8	26.25
8	6	15.00
9	8	63.50
10	4.5	68.25
11	5.25	32.67
TOTAL		305.92

FOR LOCATIONS IDENTIFIED WITH KEYNOTE ALL WALL LENGTHS LISTED ABOVE ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ACCURACY OF WALL QUANTITIES AS SHOWN. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS AND DETAILS FOR WALL CONSTRUCTION, HEIGHT AND FINISH.



PRIVATE SANITARY SEWER KEY-NOTES UNDER SEPARATE PERMIT AND PLAN

1. CONNECT TO EXISTING SEWER SERVICE, CONTRACTOR TO LOCATE SIZE AND LOCATION OF EXISTING SERVICE PRIOR TO START OF CONSTRUCTION. ADJUST EXIST. CLEANOUT TO NEW FINISHED GRADE.
2. INSTALL 4" PVC SDR-35 SEWER SERVICE. REFER TO MAG STD DET. 440-3. TRENCH BEDDING & BACKFILL PER MAG STD DET. 200-1.
3. INSTALL SANITARY SEWER CLEANOUT WITH AIRTIGHT CAP PER MAG STD DET. 441. PROTECT WITH FRAME AND COVER PER MAG STD DET. 270 WHEN IN VEHICULAR TRAFFIC AREAS.
4. FOR CONTINUATION SEE PLUMBING PLANS.

PRIVATE WATER KEY-NOTES UNDER SEPARATE PERMIT AND PLAN

1. CONNECT TO AND RELOCATE EXISTING WATER METER AWAY FROM DRIVEWAY AFTER PAYMENT OF PREVAILING FEES. VERIFY SIZE WITH MEP PLANS.
2. INSTALL NEW DOMESTIC WATER LINE. VERIFY SIZE WITH PLUMBING PLANS.
3. FOR CONTINUATION SEE PLUMBING PLANS.

#H23023
KIVA # 98-5675
SPAD # 2302669
CPHG # 2305260
Q.S. # 09-31
CURRENT ZONING: R1-8 PCD



LINE TABLE

LINE #	LENGTH	DIRECTION
L1	7.09' (C) 7.11' (R)	S33°18'07"E

CURVE TABLE

CURVE #	RADIUS	LENGTH	DELTA	TANGENT	CHORD DIRECTION	CHORD LENGTH
C1	45.58'	93.60' (C) 93.22' (R)	117°39'19"	75.34'	S25°29'21"W	78.00'

NOTE:
 A TWO STORY HOUSE IS PROPOSED FOR THE PROJECT AND THE BUILDING PAD/FFE DESIGNED TO BE AS LOW AS POSSIBLE SO AS TO MINIMIZE VISUAL ADDITION, CONSTRUCTION FENCING SHALL BE PROVIDED TO KEEP CONSTRUCTION ACTIVITY AWAY FROM AREAS DESIGNATED TO REMAIN UNDISTURBED. THE PROJECT SHALL MAINTAIN A VIEW CORRIDOR TO THE NORTH, WHICH OVERLOOKS THE PHOENIX VALLEY THE NORTHWESTERLY SIDE OF THE LOT, WHERE THE NATURAL FEATURES SUCH AS MOUNTAIN PEAKS ON THE SITE ARE LOCATED, SHALL REMAIN UNDISTURBED AND CONTINUE TO PROVIDE A NATURAL VIEW IN THE AREA.

NOTE:
 ALL DRAINAGE SWALES AND RIP-RAP TO USE INTEGRAL COLOR ROCK OF MATCHING SIZE AND COLOR OF ADJACENT UNDISTURBED SURFACE. THE GROUTING MUST TO MATCH ADJACENT UNDISTURBED ROCK IN COLOR AND SIZE AND SHALL NOT BE VISIBLE.

ELEVATION NOTE
 ADD 1500' TO ALL ELEVATIONS TO REACH CITY OF PHOENIX (NGVD 29) DATUM.

DATE: 11/10/23
 JOB: 2308286
 VERSION: 1.1
 PLOT DATE: 11/10/23

DATE: SCALE: 1"=20'
 DESIGNED BY: NP
 DRAWN BY: ZA
 CHECKED BY: JJ

REVISIONS:

GRADING & DRAINAGE PLAN ON HILLSIDE LOT OVERALL SITE PLAN

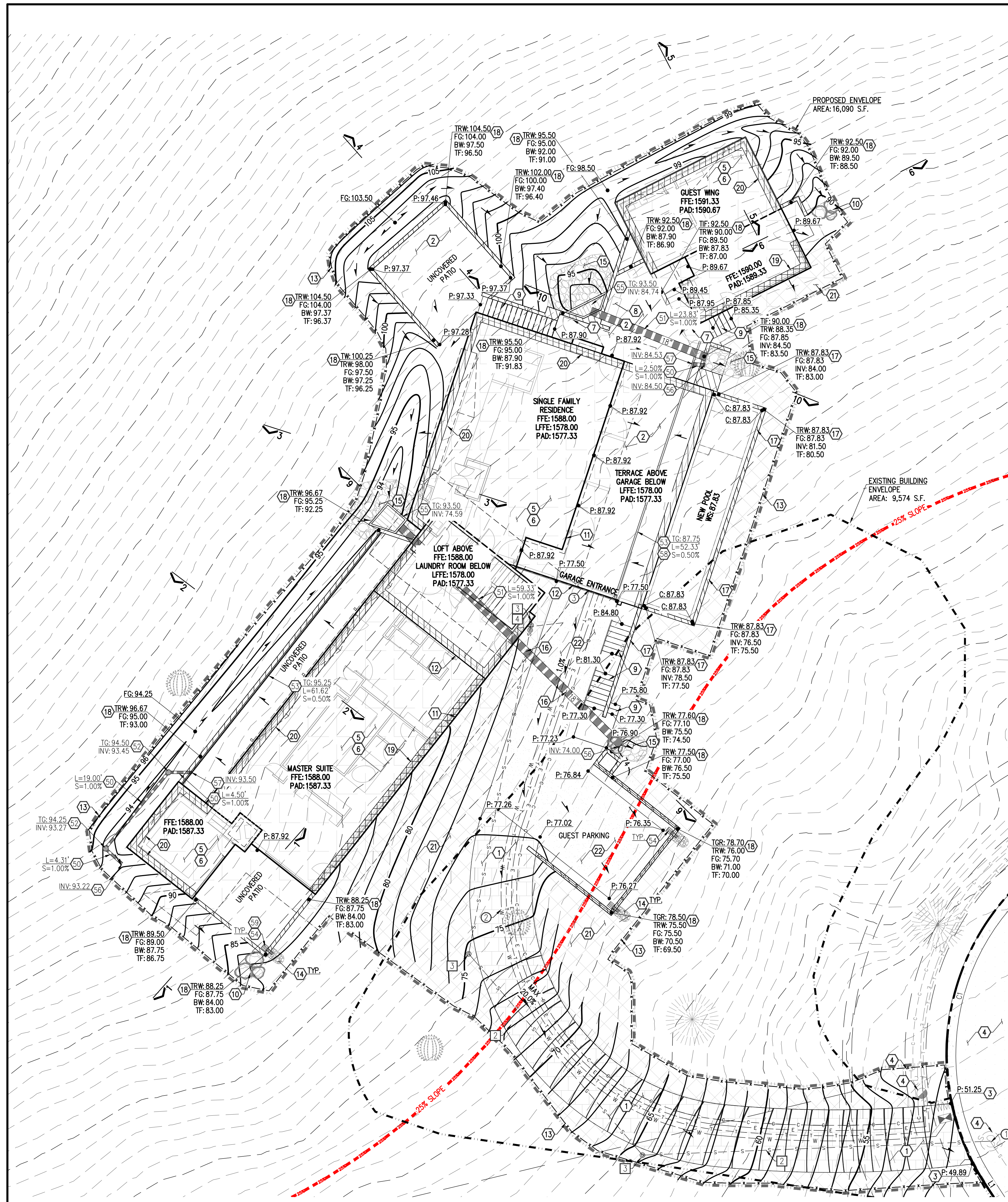
LOT 22 - PARCEL 8C AT THE FOOTHILLS 14004 S 19TH PL., PHOENIX, AZ 85048

P. 602.889.1984 | F. 602.445.9482
 8808 N CENTRAL AVE., SUITE 288
 PHOENIX, AZ 85020
 PHOENIXVALLEYGROUP.COM

land DEVELOPMENT GROUP

REGISTERED PROFESSIONAL ENGINEER
 41005
 NICKOLA J. PRODANOV
 State of Arizona
 License No. 41005

C-2
 002 OF 012



GRADING AND DRAINAGE KEY-NOTES

- CONSTRUCT PERMEABLE PAVERS DRIVEWAY ON COMPACTED SUBGRADE ACKER-STONE PALOMINO GRIND GROUND FACE. THICKNESS, PATTERN, TEXTURE AND COLOR PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS. MAXIMUM DRIVEWAY SLOPE 20%, CONFORM TO COP DTL. P1164. NEW PAVEMENT TO BE TREATED TO MATCH EXISTING UNDISTURBED ROCK.
- INSTALL DECORATIVE PAVING WALKWAY. THICKNESS, PATTERN, TEXTURE AND COLOR PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- MATCH EXISTING GRADE.
- PROTECT IN PLACE.
- CLEAR AND GRUB EXISTING SITE AREA. REMOVE ALL VEGETATION, EXISTING UTILITIES AND CONSTRUCTION DEBRIS. CUT AND FILL EXISTING TERRAIN AS NECESSARY TO ACHIEVE THE DESIGNED SUBGRADE ELEVATIONS.
- VERIFY AND COORDINATE WITH STRUCTURAL AND GEOTECHNICAL ENGINEERS, THE ENGINEERED FILL UNDER SLAB AND FOOTINGS.
- NEW GATE PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- NEW BBQ PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- NEW STEPS PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS.
- NEW CHECK DAM PER DETAIL ON SHEET C-4
- BUILDING OUTLINE MAIN LEVEL.
- BUILDING OUTLINE GARAGE LEVEL.
- ROPE OF LIMITS OF DISTURBANCE PER DETAIL ON SHT C-1.
- INSTALL ANGULAR RIP-RAP D50=6", 1" THICK PLACED ON NONWOVEN GEOTEXTILE FABRIC (MIRAFI N-SERIES OR APPROVED EQUAL). SEE GRADATION TABLE ON SHEET C-4. SIZE AND COLOR TO MATCH ADJACENT SURROUNDING UNDISTURBED AREAS.
- INSTALL ANGULAR RIP-RAP D50=9", 1.5" THICK PLACED ON NONWOVEN GEOTEXTILE FABRIC (MIRAFI N-SERIES OR APPROVED EQUAL). SEE GRADATION TABLE ON SHEET C-4. SIZE AND COLOR TO MATCH ADJACENT SURROUNDING UNDISTURBED AREAS.
- CONSTRUCT SCOUR PROTECTION OF UTILITIES, PER DETAIL ON SHEET C-4.
- NEW RETAINING WALL PART OF BUILDING/POOL CONSTRUCTION PER STRUCTURAL AND ARCHITECTURAL PLANS AND DETAILS. ALL WALLS SHALL BE EXPOSED SANDBLASTED FINISH COLORED AND TEXTURED TO MATCH AND BLEND WITH THE ADJACENT UNDISTURBED AREAS.
- NEW RETAINING WALL PER STRUCTURAL (SHT. SS2.0, DTL. 101, 102) AND ARCHITECTURAL PLANS AND DETAILS. ALL WALLS SHALL BE EXPOSED SANDBLASTED FINISH COLORED AND TEXTURED TO MATCH AND BLEND WITH THE ADJACENT UNDISTURBED AREAS. WATERPROOF WALL 1.5' ABOVE FINISH GRADE. (BITUTHENE@3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL). SEE DETAIL ON SHEET C-2.
- REFER TO STRUCTURAL PLANS AND DETAILS FOR EXTENDED STEM WALL. WATERPROOF WALL 1.5' ABOVE FINISH GRADE. (BITUTHENE@3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
- REFER TO STRUCTURAL PLANS AND DETAILS FOR RETAINING AGAINST BUILDING WALL. WATERPROOF WALL 1.5' ABOVE FINISH GRADE. (BITUTHENE@3000 HC MEMBRANE W/ GRACE PROTECTION 03 OR APPROVED EQUAL).
- DISTURBED AREAS TO BE REVEGETATED. SEE REVEGETATION PLANS.
- CONSTRUCT DG. PAVEMENT, 3" MINUS 'CARMEL', BY ROCK PROS USA, BLEND NEW GRANITE INTO EXISTING DESERT PAVEMENT TO BLUR DISTINCT EDGE BETWEEN THE TWO MATERIALS. THICKNESS, PATTERN, TEXTURE AND COLOR PER ARCHITECTURAL AND LANDSCAPE PLANS AND DETAILS (SHT. L-2, DTL. 5). MAXIMUM DRIVEWAY SLOPE 20%, CONFORM TO COP DTL. P1164.

STORM DRAIN KEY-NOTES

- INSTALL 8" PVC STORM DRAIN PIPE, INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- INSTALL 18" HDPE SMOOTH INTERIOR STORM DRAIN PIPE, INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- INSTALL NDS 1200N 12" CATCH BASIN WITH VERTICAL RISER AND 12" SOLID BOLTED GRATE OR APPROVED EQUAL. REFER TO MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS. SEE DETAIL ON SHEET C-4.
- INSTALL 6" NDS PRO SERIES TRENCH DRAIN, TOGETHER WITH FABCO TRENCH DRAIN DOUBLE FILTER FOR 6" WIDE TRENCH DRAINS, COMPLETE WITH ALL REQUIRED FITTINGS OR APPROVED EQUAL. REFER TO MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- INSTALL 6" PVC SCH. 40 STORM DRAIN PIPE THROUGH WALL TO DAYLIGHT WITH VERTICAL RISER WITH 12" X 12" NDS 1211 GRATE WITH WATER-TIGHT CONNECTIONS, INCLUDING ALL ADAPTERS & FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS, OR APPROVED EQUAL. SEE DETAIL ON SHEET C-4.
- INSTALL DROP INLET HEADWALL INTEGRATED IN THE RETAINING WALL, WITH SIZES SHOWN ON PLAN, PER MAG STD DET. 501-5(MODIFIED) AND STRUCTURAL PLANS AND DETAILS WITH TRASH RACK PER MAG STD. DET. 502-1 SET AT 60° ANGLE, MODIFIED FOR THE INLET SIZE.
- STORM DRAIN PIPE TO DAYLIGHT AT FINISHED GRADE, SEE DETAIL ON SHEET C-4
- INSTALL SLOTTED DRAIN END/BOTTOM OUTLET CONNECTION TO STORM DRAIN PIPE INCLUDING ALL FITTINGS PER MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.
- REFER TO PLUMBING PLANS FOR THE DRAINAGE OF THE TERRACE ABOVE GARAGE LEVEL.
- INSTALL NDS 1200FRTL CATCH BASIN FILTER FOR NDS 12" CATCH BASINS. REFER TO MANUFACTURER'S SPECIFICATIONS, DETAILS AND INSTALLATION INSTRUCTIONS.

PRIVATE SANITARY SEWER KEY-NOTES UNDER SEPARATE PERMIT AND PLAN

- CONNECT TO EXISTING SEWER SERVICE, CONTRACTOR TO LOCATE SIZE AND LOCATION OF EXISTING SERVICE PRIOR TO START OF CONSTRUCTION. ADJUST EXIST. CLEANOUT TO NEW FINISHED GRADE.
- INSTALL 4" PVC SDR-35 SEWER SERVICE. REFER TO MAG STD DET. 440-3. TRENCH BEDDING & BACKFILL PER MAG STD DET. 200-1.
- INSTALL SANITARY SEWER CLEANOUT WITH AIRTIGHT CAP PER MAG STD DET. 441. PROTECT WITH FRAME AND COVER PER MAG STD DET. 270 WHEN IN VEHICULAR TRAFFIC AREAS.
- FOR CONTINUATION SEE PLUMBING PLANS.

PRIVATE WATER KEY-NOTES UNDER SEPARATE PERMIT AND PLAN

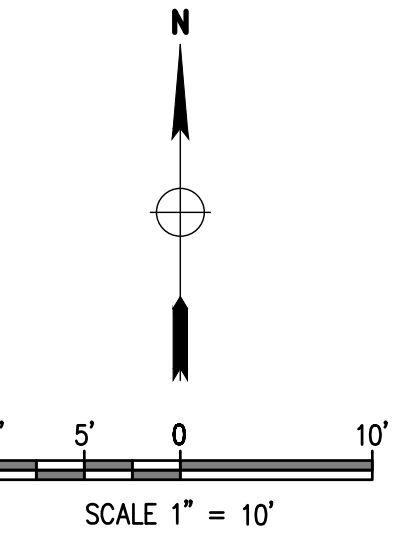
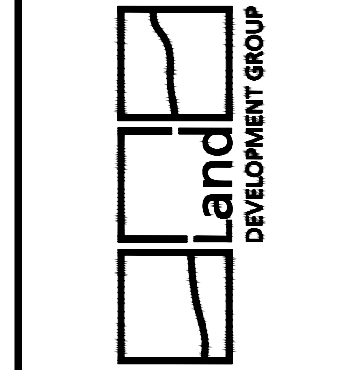
- CONNECT TO AND RELOCATE EXISTING WATER METER AWAY FROM DRIVEWAY AFTER PAYMENT OF PREVAILING FEES. VERIFY SIZE WITH MEP PLANS.
- INSTALL NEW DOMESTIC WATER LINE. VERIFY SIZE WITH PLUMBING PLANS.
- FOR CONTINUATION SEE PLUMBING PLANS.

DATE: 11/10/23	DESIGNED BY: NP	CHECKED BY: JI
JOB: 2308266	DRAWN BY: ZA	DATE: 11/10/23
VERSION: 1.1		

GRADING & DRAINAGE IMPROVEMENT PLAN ON HILLSIDE LOT ENLARGED VIEW

LOT 22 - PARCEL 8C AT THE FOOTHILLS 14004 S 19TH PL., PHOENIX, AZ 85048

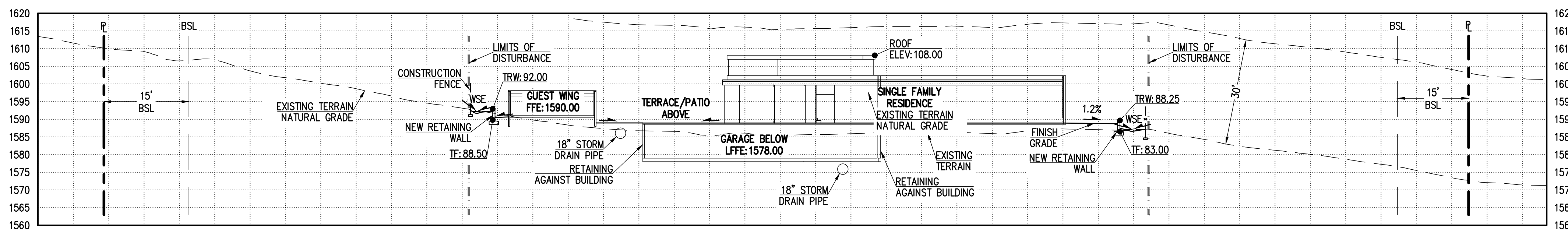
P. 602.889.1984 | F. 602.445.9482
8808 N CENTRAL AVE., SUITE 288
PHOENIX, AZ 85020
PHOENIXLANDING.COM



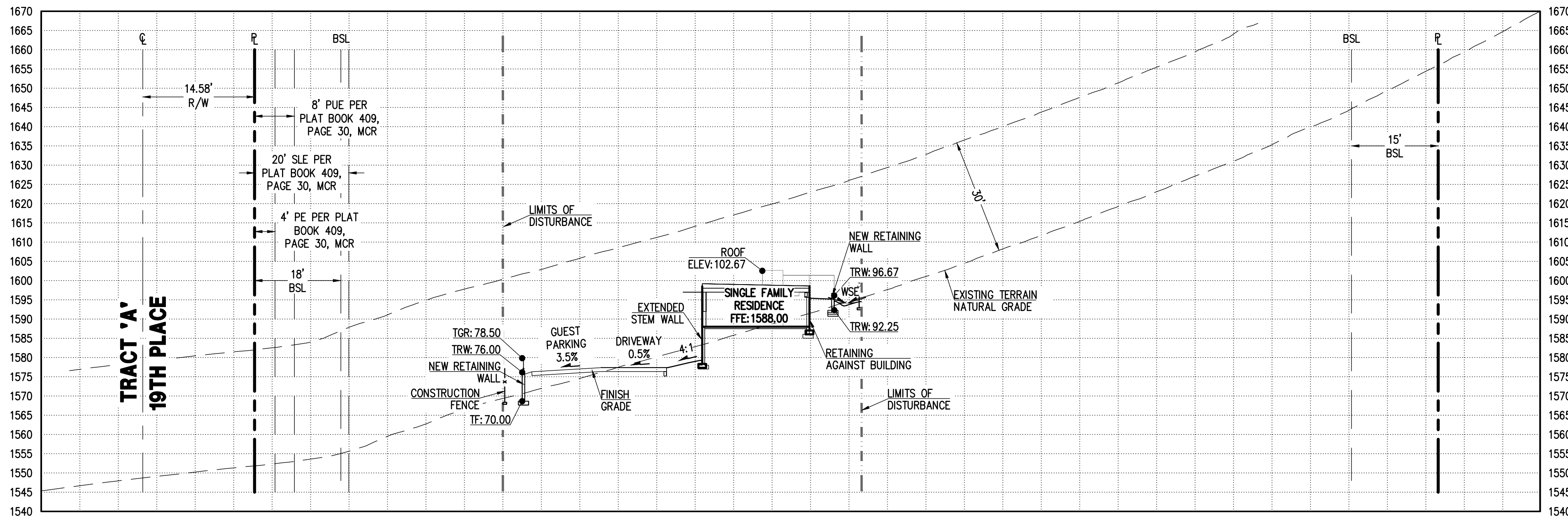
#H23023
KIVA # 98-5675
SPAD # 2302669
CPHG # 2305260
Q.S. # 09-31
CURRENT ZONING: R1-8 PCD



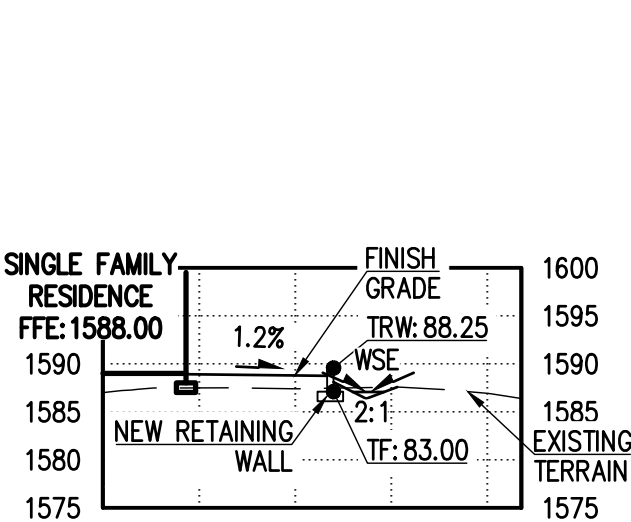
REGISTERED PROFESSIONAL ENGINEER
CIVIL ENGINE NO. 11005
NICKOLA J. PRODANOV
No. 11005
C-3
003 OF 012



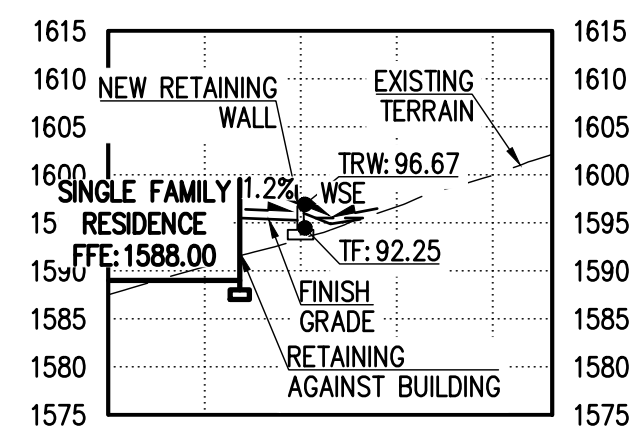
CROSS SECTION 7 - 7
SCALE HOR. 1" = 20', VER. 1" = 20'



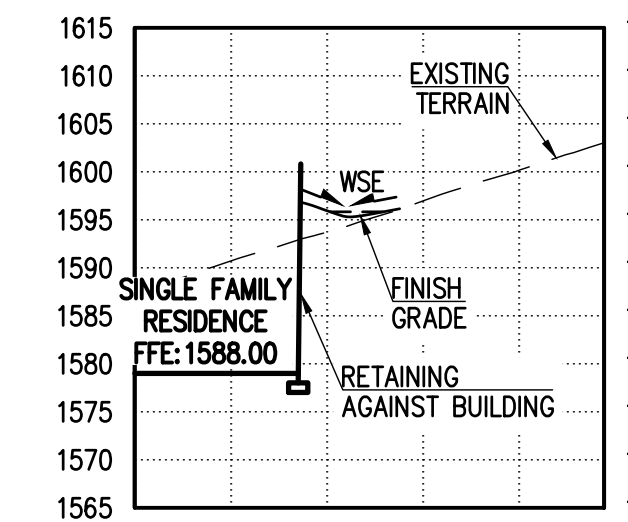
CROSS SECTION 8 - 8
SCALE HOR. 1" = 20', VER. 1" = 20'



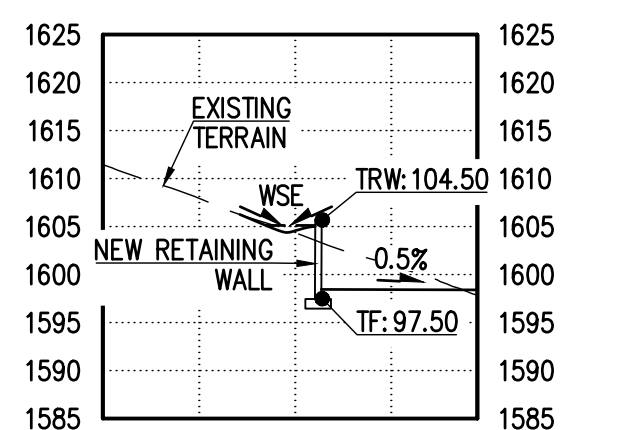
CROSS SECTION 1 - 1
SCALE HOR. 1" = 20', VER. 1" = 20'



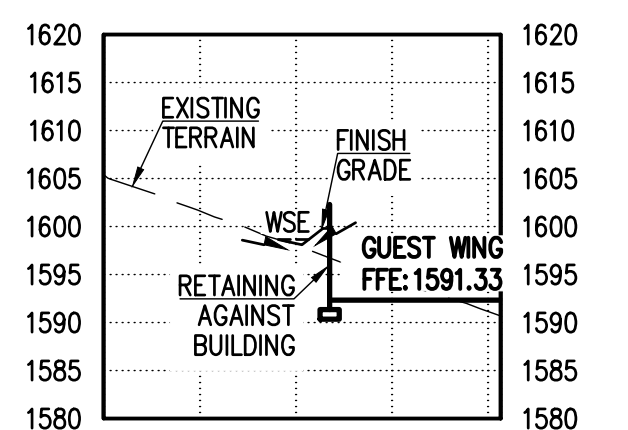
CROSS SECTION 2 - 2
SCALE HOR. 1" = 20', VER. 1" = 20'



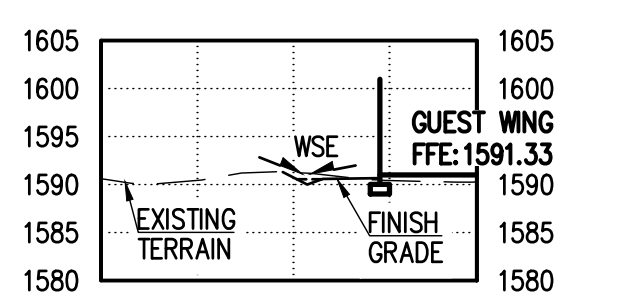
CROSS SECTION 3 - 3
SCALE HOR. 1" = 20', VER. 1" = 20'



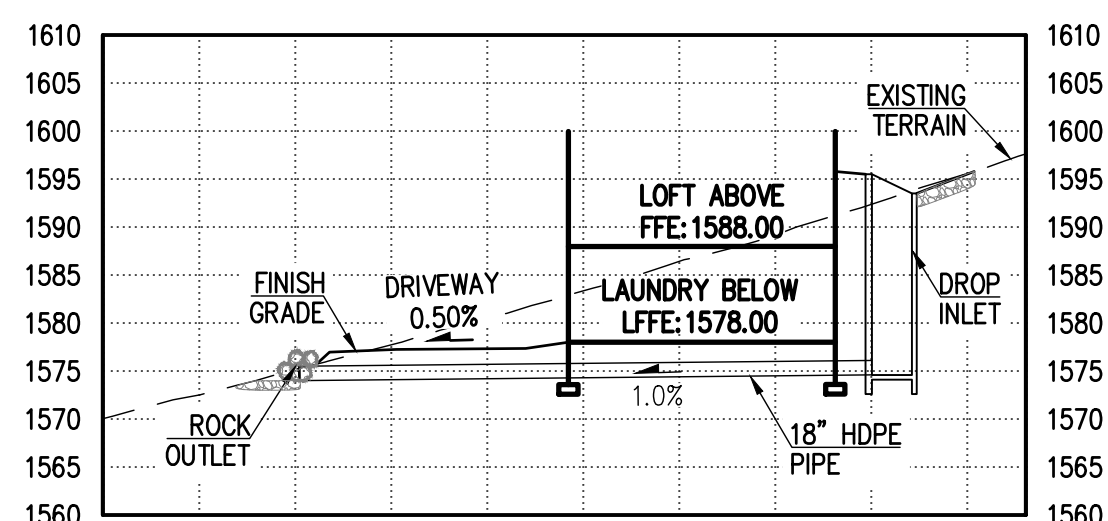
CROSS SECTION 4 - 4
SCALE HOR. 1" = 20', VER. 1" = 20'



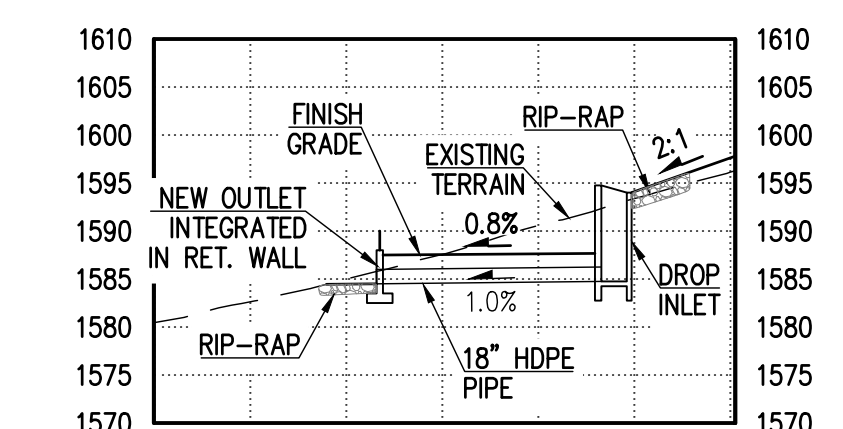
CROSS SECTION 5 - 5
SCALE HOR. 1" = 20', VER. 1" = 20'



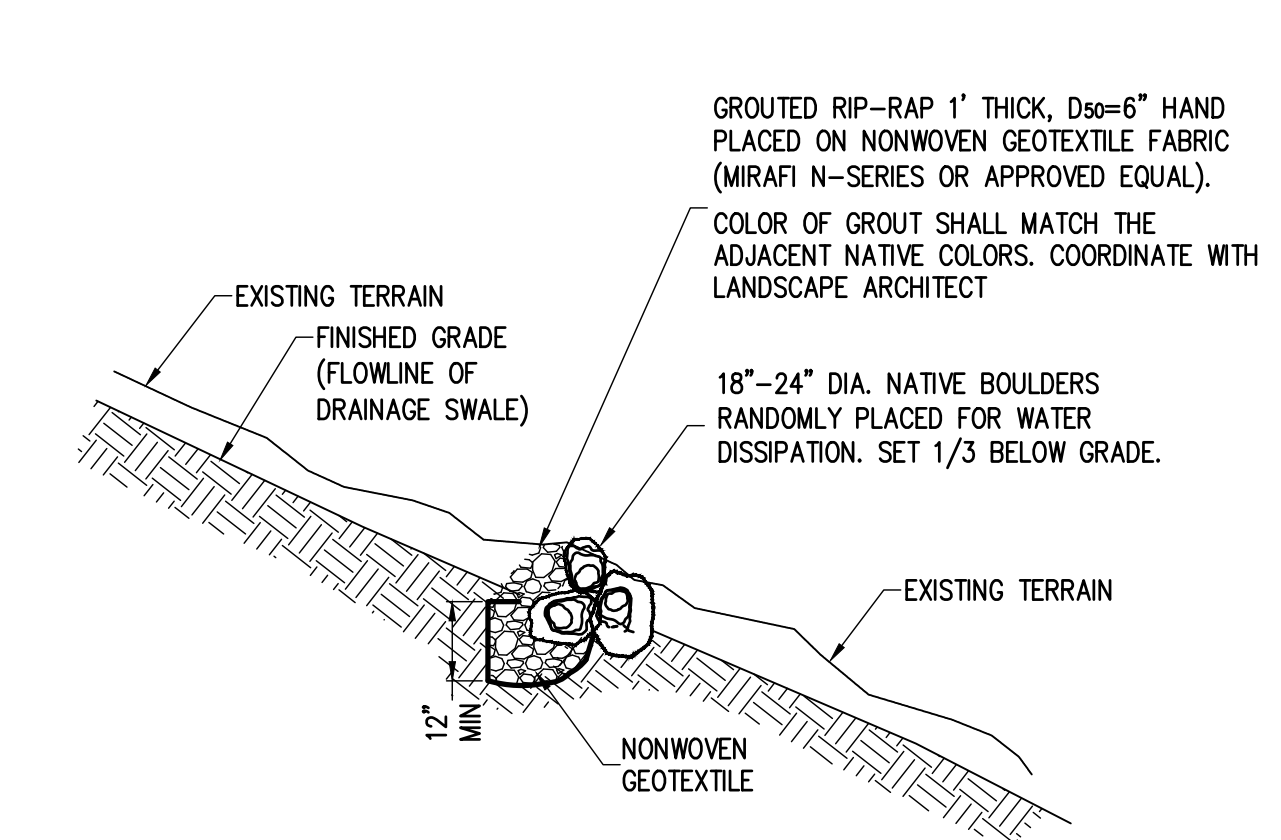
CROSS SECTION 6 - 6
SCALE HOR. 1" = 20', VER. 1" = 20'



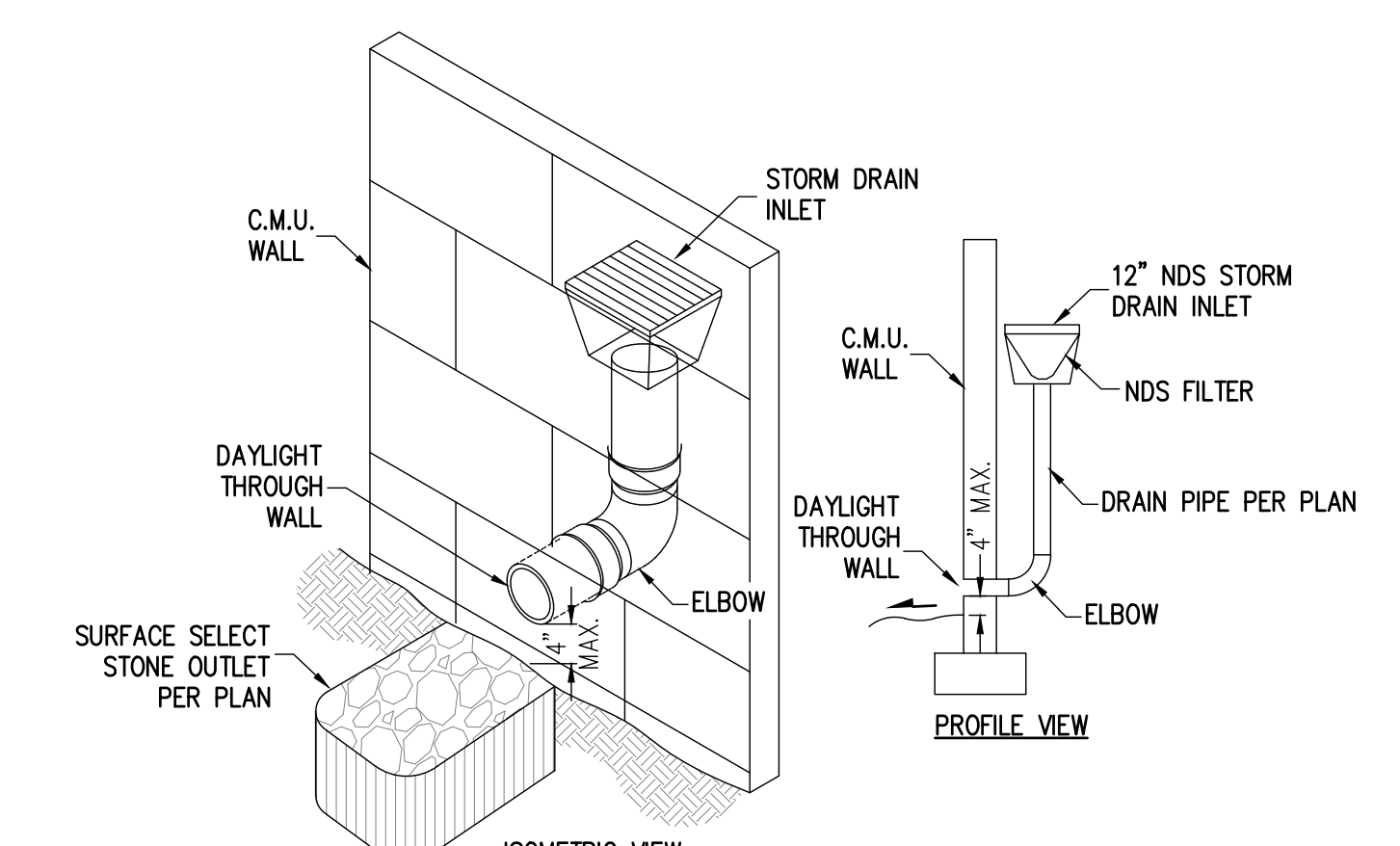
CROSS SECTION 9 - 9
SCALE HOR. 1" = 20', VER. 1" = 20'



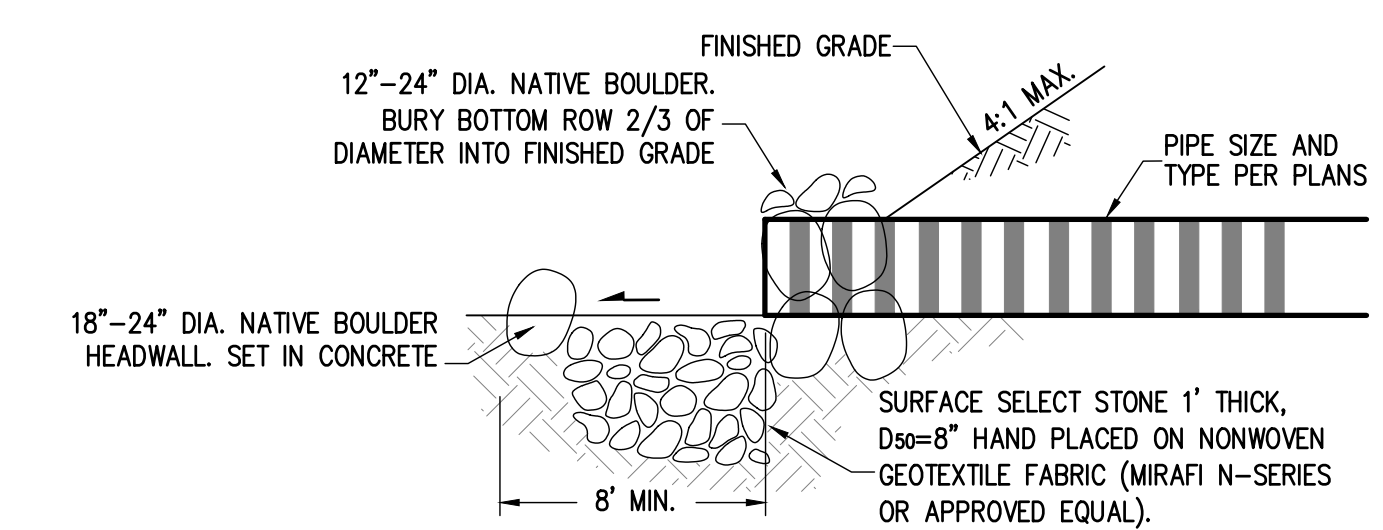
CROSS SECTION 10 - 10
SCALE HOR. 1" = 20', VER. 1" = 20'



CHECK DAM DETAIL
N.T.S.



STORM DRAIN OUTLET AT WALL DETAIL
N.T.S.



DETAIL 3 - PIPE OUTLET DETAIL
N.T.S.

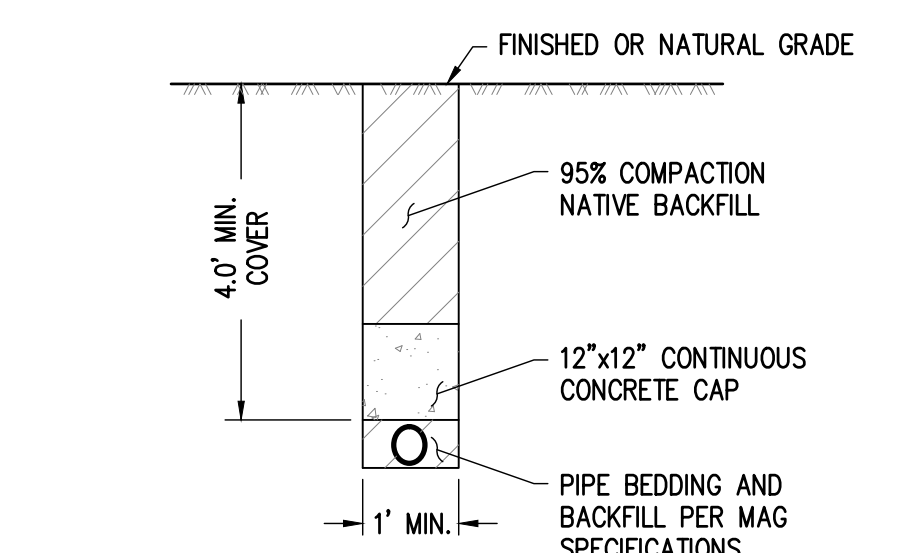
APRON LENGTH AND THICKNESS
N.T.S.

PIPE SIZE AND TYPE PER PLANS

SURFACE SELECT STONE THICKNESS PER PLAN, HAND PLACED ON NONWOVEN GEOTEXTILE FABRIC (MIRAFI N-SERIES OR APPROVED EQUAL).

d ₅₀ (in)	APRON LENGTH (L, ft)	APRON THICKNESS (ft)
5	4D	3.5d ₅₀
6	4D	3.3d ₅₀
10	5D	2.4d ₅₀
14	6D	2.2d ₅₀
20	7D	2.0d ₅₀
22	8D	2.0d ₅₀

APRON LENGTH AND THICKNESS
N.T.S.



SCOUR PROTECTION OF UTILITIES IN FLOODPLAIN/FLOODWAY
N.T.S.

NOTE: ALL RIP RAP AND BOULDERS TO MATCH ADJACENT UNDISTURBED SURFACE ROCK IN COLOR AND SIZES AND ARE NOT TO BE GROUTED. ALL CUT SLOPES AND SCARRED BOULDERS SHALL BE CHEMICALLY COLOR TREATED TO BLEND WITH THE ADJACENT NATIVE ROCK OR DESERT.

RIP-RAP GRADATION TABLE

PERCENT PASSING	SIZE	D ₅₀ CLASS, INCHES
100	10	1.5 D ₅₀
85	10	1.3 D ₅₀
50	10	1.0 D ₅₀
15	10	0.67 D ₅₀
5	10	0.50 D ₅₀

#H23023
KIVA # 98-5675
SPAD # 2302669
CPHG # 2305260
Q.S. # 09-31
CURRENT ZONING: R1-8 PCD



NDS
WE PUT WATER IN ITS PLACE

1200GB™ Next Generation Catch Basin

1246 Offset Universal Outlet

CATCH BASIN FILTER
N.T.S.

CATCH BASIN
N.T.S.

INFILTRATION
12" catch basin filter

1200GB™ Next Generation Catch Basin

1246 Offset Universal Outlet

CATCH BASIN FILTER
N.T.S.

CATCH BASIN
N.T.S.

GRADING & DRAINAGE PLAN ON HILLSIDE LOT CROSS SECTIONS DETAILS

LOT 22 - PARCEL 8C AT THE FOOTHILLS 14004 S 19TH PL., PHOENIX, AZ 85048

DATE: 11/10/23
JOB: 2308286
VERSION: 1.1
PLOT DATE: 11/10/23

SCALE: AS NOTED
DESIGNED BY: NP
DRAWN BY: ZA
CHECKED BY: JJ

REVISIONS:

REGISTERED PROFESSIONAL ENGINEER
CIVIL ENGINE
4105 NICKOLA J. PRODANOV
PHOENIX, AZ 85020
PHOENIXAZENR.COM

C-4

004 OF 012

January 12, 2005

The Planning Commission concurred with the Zoning Hearing Officer and recommended this request be denied as filed and approved R-2 subject to staff stipulations.

DISTRICT 8
AVALON DRIVE AND
44TH STREET
OWNER: ED SUCATO -
PHOENIX SCAFFOLDING &
EQUIPMENT
APPLICANT: STEPHANIE
ROWE - REECE ANGELL ROWE
REPRESENTATIVE:
STEPHANIE ROWE - REECE
ANGELL ROWE

- H. Application: Z-104-04-8
Request: Rezone from R1-6 to R-O; Acreage: 0.49
Location: Approximately 250 feet south of the southwest corner of
Avalon Drive and 44th Street
Proposal: Residential office

On November 2, 2004, the Camelback East Village Planning Committee reviewed this request and recommended approval with staff stipulations plus two additional stipulations (vote 11-0).

The Planning Commission concurred with the Zoning Hearing Officer and recommended this request be approved with staff and Village Planning Committee stipulations.

MOTION was made by Mr. Stanton, **SECONDED** by Mr. Siebert, that Item 9 be granted per agenda recommendation. **MOTION CARRIED UNANIMOUSLY.**

Items 10 and 11 were heard together.

January 12, 2005

ITEM 10

DISTRICT 6

**MODIFICATION OF
STIPULATION REQUEST FOR
RATIFICATION OF PLANNING
HEARING OFFICER ACTION**

The Council heard request to approve the Planning Hearing Officer's recommendation without further hearing by the City Council. This matter was heard by the Planning Hearing Officer on Wednesday, December 1, 2004.

**DISTRICT 6
ROCKY SLOPE DRIVE AND
18TH STREET
OWNER: MARK WORISCHECK
APPLICANT: ROBERT LONG
REPRESENTATIVE: ROBERT
LONG**

Application: **Z-289-D-84-6**

Request: Modification of Hillside Stipulation 7 regarding individual grading and drainage for Lot 39 within Parcel 8C of the Foothills PCD within Tapestry Canyon (1841 East Rocky Slope Drive)

Location: Approximately 530 feet east of South 18th Street at the end of East Rocky Slope Drive (1841 East Rocky Slope Drive); Acreage: 1.27

Ahwatukee Foothills Village Planning Committee recommended approval of the request by a 7-3 vote.

The Planning Hearing Officer approved the request for modification of Stipulation 7 as filed by the applicant.

1. That the total project development shall not exceed that permitted by the CAP water allocation except as such development may be supported by alternative water sources.
2. That the master developer provide, through each site plan or subdivision submission to the Development Coordination Office, a status update of water commitments and water available to support future developments.
3. That the Intensity Schedule be amended to limit C-2 and Industrial Park development units to one story in height and C-O development units to two stories in height with discretion given to the Development Coordination Office to permit additional height. The Phasing Schedule shall also reflect the square footage allowed on each commercial development unit so as not to exceed a FAR of 0.2.

January 12, 2005

4. That any major development within the commercial zoning (office, hotel, etc.) which may be permitted in a more restrictive zoning district will seek such rezoning prior to site plan approval by the Development Coordination Office.
5. That acceptable areas devoted to public use such as park and school sites be designated in locations approved by the responsible department. Other areas such as police and fire station sites shall be dedicated in locations approved by the responsible department. In the event that such sites are dedicated, they shall be reserved for one year from the date of approval of the site plan or subdivision development.
6. That an overall landscaping plan, reflecting the developer's theme for Pecos Road, Williams Field Road, the loop roadway, major entries to the PCC and public areas be submitted and approved by the Development Coordination Office. Plant materials used in these landscaped areas should be drought resistant and promote water conservation.
7. That prior to issuance of any building permit for individual buildings within the project, a master pedestrian/bike circulation plan shall be submitted and approved by the City's Parks, Recreation and Library Department and the Planning Department. All individual projects within the development shall be required to make accommodations necessary to implement this plan.
8. That the recycling plants, water retention areas, and water tanks be designed and treated in a fashion that will blend with the surrounding environment and be architecturally sensitive to adjacent land use, as approved by the Development Coordination Office.
9. That a lighting plan for the area be submitted for review and approval by the Development Coordination Office and establish lighting standards which minimize atmospheric light pollution. Such standards are to include street lighting for roads in hillside areas and outdoor lighting for the entire project.
10. That street right-of-way be dedicated in accordance with the Master Street Plan to be approved by the Traffic Engineering and Planning Departments. A two-foot right-of-way for Pecos Road is to be dedicated for its entire length within one year of final City Council rezoning approval of the PCD.

January 12, 2005

11. That the two entry points to the PCD from the South Mountain Park Scenic Drive be dedicated and improved as approved by the Parks, Traffic Engineering, and Planning Departments.
12. That improvements of all roadways within the PCD will be the responsibility of the developer, or his successors, in accordance with the phasing schedule agreed to by the City and contained in the PCD's Legal Agreement.
13. That any drainage ways to be dedicated to the City are to be improved and maintained by the developer for a three-year period prior to acceptance by the City.

Hillside Stipulations Z-289-D-84

1. That a slope analysis be submitted on each development unit or portion thereof, prior to subdivision or site plan approval to determine the allowed hillside density. All areas that have been previously scarred, both restored and unrestored, shall be defined on the slope analysis.
2. That waivers to exceed the hillside density limitations shall be considered only within areas below the 25 percent slope line and/or have been previously scarred, and meet the conditions of the Hillside Ordinance under which the City Council may grant waivers.
3. The hillside portion utilized in each development, excluding those designated open space areas, will be restored to the extent practicable by the application of such processes as chemical color treating (e.g. eoniting); revegetation (e.g. desert mulch) or regarding or combination thereof, especially in the upper slope areas. Any other process proposed must be approved by the Development Coordination Office.
4. That no development occur within the PCD above the 1,600-foot elevation or the 25 percent slope line, except for Lots 1 to 55, and Pads 1 to 23, 25, 26, 34, 36, and 37 with Development Unit 8 as designated on Exhibit A or areas below the 1,600-foot contour elevation where extensive scarring has occurred and as approved by the Development Coordination Office. Provided, however, if developer demonstrates that additional lots (not to exceed nine) can be developed which will generally not be visible from adjacent properties, developer is not precluded by this stipulation from developing these additional lots. Appropriate agreements shall be executed to preserve open space as determined by the City's Law Department.

January 12, 2005

5. That approval of hillside development within Development Unit 8 be conditioned upon the provisions of a roadway that assures accessibility for emergency and service vehicles and is designed in a manner that emphasizes aesthetics and safety.
6. That roadways within the hillside areas are to be designed to minimize cut/fill slopes and shall include retained slopes with native rock facing, where feasible, or fill slopes or existing roads which will be used are to be chemically color treated and/or landscaped. New cuts shall be included in the 10 percent allowable grading of each development unit. The intent of this stipulation is to minimize the visual impact of roadways, particularly the access from west within Development Unit 8.
7. That all developments providing single-family detached units shall submit individual grading and drainage plans prior to the issuance of building permits and shall be accompanied with a set of building plans. Except for Lot 3, 39, 63 and 64, no lot shall grade more than 20 percent of the net lot area, or 6,000 square feet, whichever is less, exclusive of those areas under structural roof, regardless of the overall 10 percent grading allowed and the development unit or portion thereof. Lot 39 within Parcel 8C (1841 East Rocky Slope Drive) shall be allowed an additional 600 square feet of grading with revegetation of the disturbed area as shown in the site plan date stamped December 1, 2004. Lot 63 shall be developed 100 percent within the limits of the building envelope as per site plan dated August 3, 2000. Lot 64 shall be developed within the limits of the site plan dated March 29, 2000. The gradable area for Lot 3 may be increased to 8,000 square feet. In addition, no tennis/game courts are to be provided on said hillside lots.
8. That residences within Development Unit 8 shall contain no exterior lighting on either the individual lots or roadways leading to the lots that exceed three feet in height.
9. That commercial and multi-family residential developments within hillside areas be designed in a manner sensitive to the native Arizona environment and shall include compatible architectural treatment design and landscaping. Skylining of structures is to be avoided except where hilltops have been leveled and the development will help restore a "natural" character to the slopes.

January 12, 2005

- 7.8. That the following right-of-way be dedicated through the Development Services Department Site Plan Review process to include:
- a. The applicant shall conditionally dedicate a 55-foot east half street for 64th Street on the section line.
 - b. Additional easements (slope, landscape and/or sidewalk) and right-of-way dedications may be required by the Development Services Department at time of preliminary site plan review.
 - c. The applicant shall dedicate a 10-foot by 10-foot triangle at the northeast corner of Bell Road and 64th Street.

MOTION was made by Mr. Stanton, **SECONDED** by Mr. Siebert, that Items 10 and 11 be granted per agenda recommendation. **MOTION CARRIED UNANIMOUSLY.**

ITEM 12

DISTRICT 2

**PUBLIC HEARING -
PROPOSED JONES
ANNEXATION**

The Council held a public hearing to discuss an annexation proposal for the area encompassed by Calle De Los Arboles alignment on the north, Calle Del Sol alignment on the south, 44th Way on the east, and 44th Place on the west. The size of the proposed Jones Annexation was approximately 1 parcel, 1 owner and 0.002 square miles (1.033 acres).

This action was in response to the property owner's request for annexation. The property owner's motivation for the request related to the desire to obtain City services.

Mayor Gordon opened the public hearing. Noting there was no one present to speak, Mayor Gordon closed the public hearing.

ITEM 13

DISTRICT 8

**PUBLIC HEARING -
APPEAL OF DECISION BY
THE ABANDONMENT
HEARING OFFICER -
V-040073A**

The Council held a public hearing to consider the decision of the Abandonment Hearing Officer regarding Application V-040073A submitted by

The neighborhood mix of commercial uses is appropriate for this location. Staff recommends approval with stipulations.

Jay Bansal, representing the applicant stated that this would be a professional medical plaza with offices for medical, dental and plastic surgery. The offices for plastic surgery want to provide ancillary services for clients i.e. hair, nail salon, day spa. Services would be for their clients only. These services are permitted in C-1.

Doug Cole commented that the committee previously discussed egress and ingress to the site. Mr. Yin Pang, Architect stated that the site plan is still under review by the City of Phoenix Development Services Department.

Laurel Arndt stated that this is being advertised as medical condominiums but day spa, and personal trainers are retail. Is this change really warranted? Dr. Merchant stated that they are looking to change because of the demand for the medical facilities and the ancillary services. The CC&R's are very restricting to professional business.

Katie Muller Kowalski asked if the office spaces could be sublet. Mrs. Merchant said no, the services will not be sublet, by referral only, and there will not be any street visibility.

Larry Hanson asked if a traffic study had been done. Chris Hood stated that there were no stipulations from Streets Department.

Laurel Arndt concerned about grading into hillside and the set backs between the road and the slope. Mr. Yin Pang stated that the set back is 30 feet and the grading into the hillside is only a couple of feet. Laurel Arndt asked if they have approval for grading and drainage. Mr. Yin Pang said yes, they do have approval.

Max Masel made a motion to approve. Patrick Panetta seconded the motion.
Approved, Vote: 7-3

5. Discussion and possible recommendation on PHO-8-04 – Z-289-84-6: Request to modify stipulation #7 regarding grading and drainage of a hillside lot. The location is approximately 530 feet east of South 16th Street along east Rocky Slope Drive.

Chris Hood commented that there is no staff report. The applicant is requesting a modification of hillside stipulation #7 regarding individual grading and drainage of a lot.

Robert Long, 427 W. 5th St., Mesa, AZ is the architect for this project. He stated that his client was asking for an additional 600 square feet from what was permitted in the Foothills PCD Hillside stipulation #7. The additional square feet would be used for driveway, patio, pool, etc. There is severe slope on the buildable area. The modification is being requested for this lot only.

Laurel Arndt stated that she has looked at the site three different occasions and compared it to similar requests in the area. All the projects in the area blend in very well. This project is no more challenged than some of the others. Laurel felt it should not be impossible to work with the site without this modification. There are other lots in the area that are much more difficult to work with. Each case stands on its own merits and we do not want to set a precedence.

Laurel Arndt asked why the applicant didn't try to prepare the size of the site first and fit the home, driveway, walls, etc. within the area allowed by the stipulation. Mr. Long stated that the other properties in the area had similar requests and were approved; he thought that the request for his client's property could be approved as well. We are asking for only a minimal amount of 600 feet.

Gordon Miner made a motion to approve the request for an additional 600 square feet. Larry Hanson seconded the motion. **Approved, Vote: 7-3**

6. Discussion regarding issues that Water and Wastewater Department are researching for the existing land uses at the southwest corner of 28th Street alignment and Frye Road. Chris Hood is making the presentation, which is for information only.

Chris Hood stated that a slope analysis review was being studied by Development Services Department (DSD) and will be available for public review by the end of the year. The issues of public accessibility are being reviewed by the Law Department.

No action was taken.

7. Nomination and election of new officers.

Doug Cole announced that John McComish had submitted his letter of resignation as Chairperson and committee member.

Paul Everett made a nomination for Doug Cole as committee chairperson. Gordon Miner seconded the motion. **Approved, Vote: 9-0**

Paul Everett nominated Mel Hannah as committee vice chair. Gordon Miner seconded the motion. **Approved, Vote: 9-0**

8. Discussion and possible recommendation on regarding cancellation of the December meeting.

Katie Muller Kowalski made a motion to cancel the December 27th meeting for the Ahwatukee Village Planning Committee. Van Braswell seconded the motion. **Approved, Unanimous, Vote: 10-0**

9. AF VPC subcommittee reports:

- a. I-10 Corridor Subcommittee; Chair: Larry Hanson (members: Max Masel). - **No report**
- b. Pecos Road Subcommittee; Chair: Van Braswell (members – Ron Tompkins, Paul Everett, Rudy Martinez). - **No report**
- c. 620 Subcommittee; Chair: Doug Cole (members: John McComish, Laurel Arndt). - **No report**
- d. Public Safety/Public Facilities Subcommittee; Chair: Katie Muller-Kowalski